

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 21, 2024

Genevieve L. Donart, P.E.
Isaacson & Arfman Inc.
128 Monroe St. NE
Albuquerque, NM 87108

Re: San Pedro Apartments Phase 1 (Building 6 and Clubhouse)
9320 San Pedro Dr. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 12-20-2022 (C18D108)
Certification dated 06-14-2024

Dear Ms. Donart,

Based upon the information provided in your submittal received 6/14/2024 and photos provided 6/21/2024, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy for Phase 1. The sidewalk and pathway from the public sidewalk needs to still be completed. Please include this in the next Phase of the project. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy for Phase 1 to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

BLDG PERMIT #:
CLUBHOUSE BP-2023-04143
BLDG 6 BP-2023-04142

CLUBHOUSE & BLDG 6

DATE SUBMITTED: _____

Date: June 14, 2024

Project: San Pedro Apts (C18D108)

Subject: Permanent TCL Certification: Phase 1

TRAFFIC CERTIFICATION

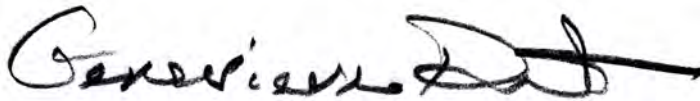
I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, P.A., hereby certify that Phase 1 of this project are in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 1/20/2023. I further certify that I or someone under my direct supervision visited the project site on June 14, 2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the following exceptions that must be completed before any further certifications on the site:

- Install sidewalk on the east side of the entrance.
- Stripe ADA crossings around the clubhouse.
- Stripe words "COMPACT" on the compact parking spaces east of the entry
- Install 3 parking bumpers on spaces on the east side of the clubhouse.
- Install all bike racks near Building 6 and the clubhouse.
- Provide motorcycle parking signs at the 2 spaces on the northwest corner of the clubhouse.

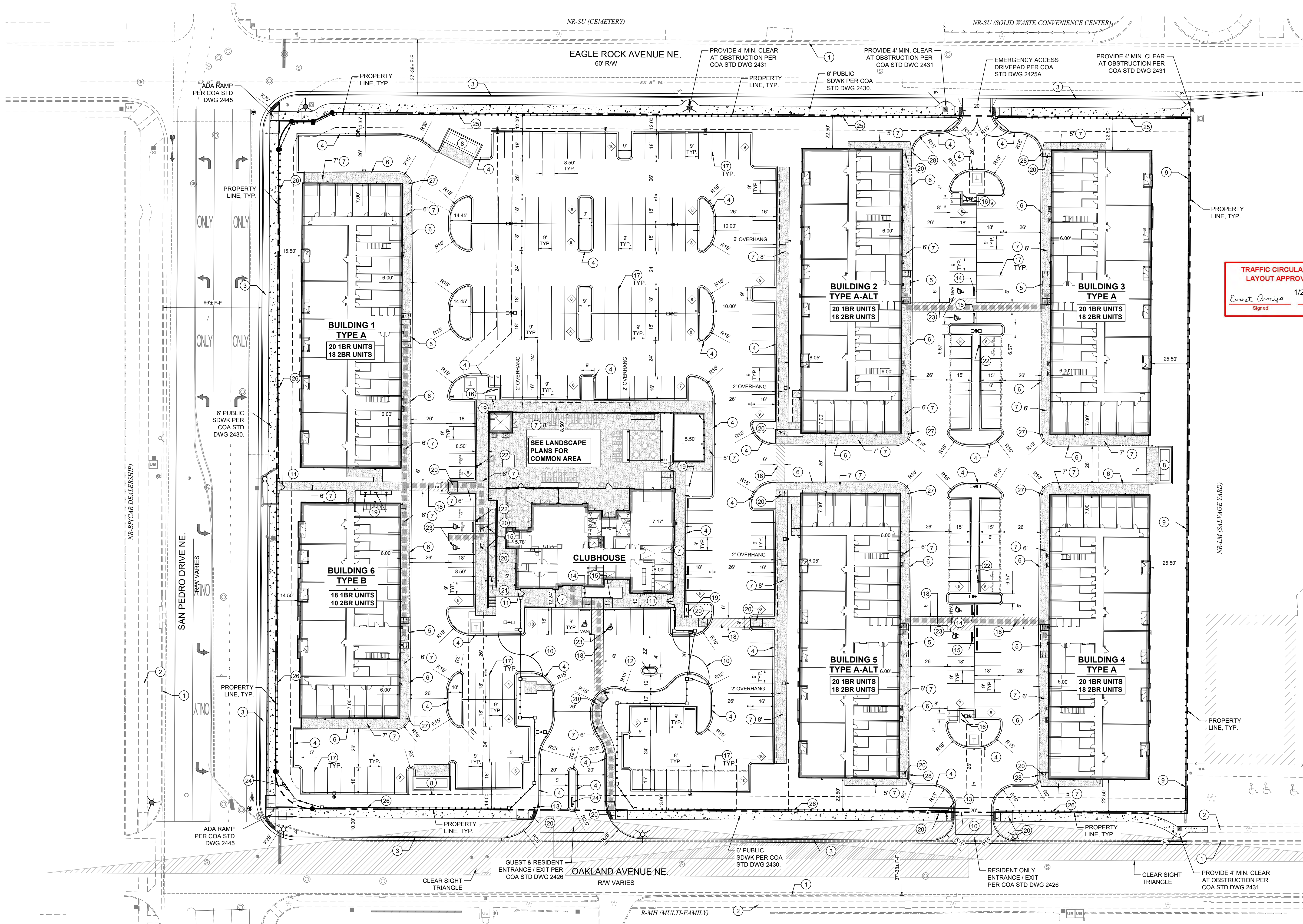
This certification is submitted in support of a request for **Permanent** Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

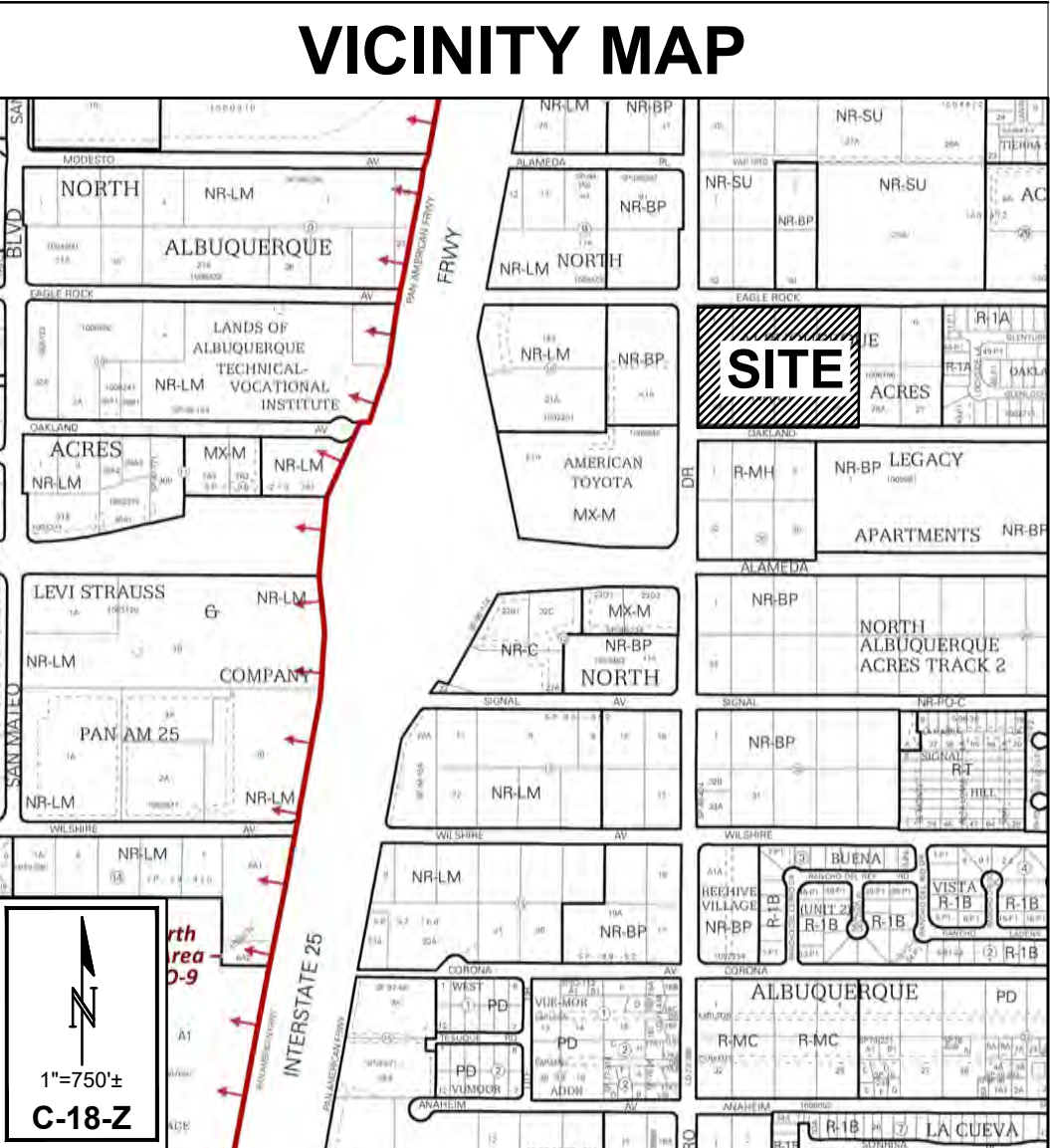
Sincerely,
Isaacson & Arfman, Inc.



Genevieve L Donart, NMPE No. 15088



TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Armijo 1/20/2023
Signed Date



PROJECT DATA

LEGAL DESCRIPTION:
LOT 32-A, BLOCK 27, NORTH ALBUQUERQUE ACRES

SITE AREA: 6.5776 ACRES

ZONING: R-MH

UNIT CALCULATIONS:
1 BR UNITS = 118 (54.1%)
2 BR UNITS = 100 (45.9%)
TOTAL UNITS = 218

PARKING CALCULATIONS:
REQUIRED: 1.5 SPACES PER DU = 327 SPACES
ADA REQUIRED: 8 SPACES (2 VAN SPACES)
PROVIDED:
GARAGE= 93 SPACES
SURFACE= 214 SPACES
SURFACE (COMPACT)= 42 SPACES
8 SPACES (3 VAN SPACES)
TOTAL= 357 SPACES

ELECTRIC VEHICLE REQUIRED: 2% TOTAL REQUIRED = 7 SPACES
ELECTRIC VEHICLE PROVIDED: 8 SPACES

MOTORCYCLE REQUIRED: 6 SPACES
MOTORCYCLE PROVIDED: 6 SPACES

BICYCLE REQUIRED: 34 SPACES
BICYCLE PROVIDED:
SURFACE= 12 SPACES
INTERNAL TO BUILDINGS= 22 SPACES
TOTAL= 34 SPACES

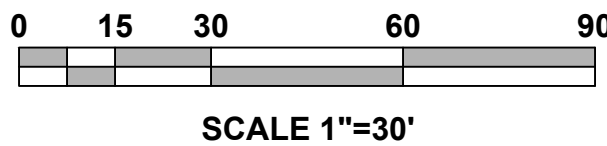
OPEN SPACE CALCULATIONS:
REQUIRED:
225 SQUARE FEET PER 1 BED: 26,550 sf
285 SQUARE FEET PER 2 BED: 28,500 sf
TOTAL: 55,050 sf
PROVIDED:
BALCONIES/PATIOS: 9,234 sf
SURFACE: 78,440 sf
TOTAL= 87,674 sf

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, BUILDING FOUNDATION, FACE OF WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND SHALL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING. MAXIMUM HEIGHT FOR LIGHT POLES SHALL BE 18 FEET TALL.

LEGEND

- | | |
|-----------------------|----------------------------------|
| ADA SPACE | BIKE RACK |
| PEDESTRIAN CROSS WALK | PARKING ROW COUNT |
| DUAL PORT EV CHARGER | PROPERTY LINE |
| ADA PATHWAY | SITE LIGHTING SEE LIGHTING PLANS |
| | EXTRUDED CONCRETE BASE |



ALL WORK SHOWN WITHIN PUBLIC RIGHT OF WAY AND/OR PUBLIC WATER AND SEWER EASEMENTS ARE TO BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.

KEYED NOTES

- EXISTING CURB & GUTTER.
- EXISTING SIDEWALK.
- STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
- MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CP-501.
- ADA RAMP AT LOBBY DOORS, PER DETAIL ON SHEET CP-502.
- ESTATE CURB, PER DETAIL ON SHEET CP-501.
- SIDEWALK, PER DETAIL ON SHEET CP-501.
- REFUSE ENCLOSURE, PER DETAIL ON SHEET CP-501.
- EXISTING SOLID WALL TO REMAIN.
- VEHICULAR ACCESS GATE, SEE LANDSCAPE.
- PEDESTRIAN ACCESS GATE, SEE LANDSCAPE.
- GUEST GATE CALL BUTTON.
- SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET CP-501.
- 4" WHITE STRIPE.
- CROSSWALK STRIPING, PER DETAIL ON SHEET CP-501.
- BICYCLE RACK, PER DETAIL ON SHEET CP-501.
- ADA RAMP, PER DETAIL ON SHEET CP-502.
- ADA RAMP, PER DETAIL ON SHEET CP-502.
- EV CHARGING STATION.
- ADA PARKING, PER DETAIL ON SHEET CP-501.
- MONUMENT SIGNAGE: MAXIMUM SIZE 24 SQUARE FEET AND 4 FEET TALL PER IDO SECTION 5-12 AND TABLE 5-12-1.
- 6" SOLID CMU WALL ALONG EAGLE ROCK AVENUE (REAR).
- 3" SOLID CMU WALL WITH 3' VIEW FENCE ABOVE (6' TOTAL HEIGHT).
- CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET CP-501.
- TRANSITION FROM MEDIAN CURB & GUTTER TO ESTATE CURB AT ADA RAMP.



12/20/2022
ISSUE DATE: 2022-11-30

REVISIONS
1 Date 2 PERMIT COMMENTS



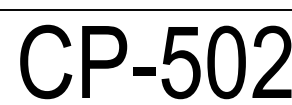
TEKIN - SAN PEDRO APARTMENTS
ALBUQUERQUE, NEW MEXICO



10111 Gual County Blvd, Suite 101
Gual County, California 95021
916-841-0880

JOB NO. LP210398.00
SITE PLAN

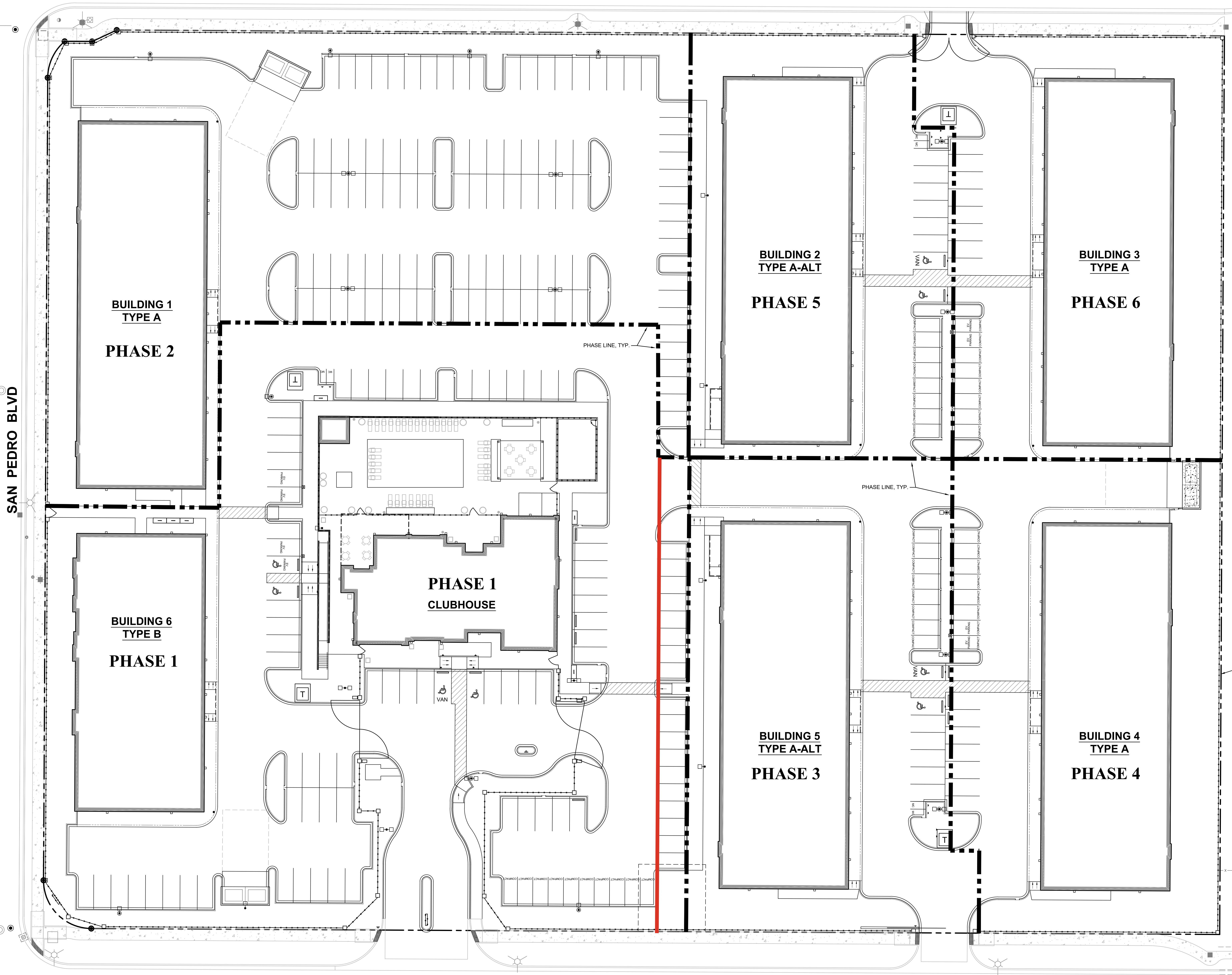
CP-100



EAGLE ROCK AVE

SAN PEDRO BLVD

OAKLAND AVE



GENERAL NOTES

1. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. UPON WRITTEN REQUEST COORDINATED THROUGH THE PROJECT ARCHITECT, THE ELECTRONIC SITE PLAN FILE WILL BE PROVIDED TO THE CONTRACTOR FOR HORIZONTAL CONTROL STAKING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THE CONFORMITY OF THE SURVEYED STAKES WITH THE STAMPED PLANS WITH REGARDS TO WRITTEN DIMENSIONS, NOTES AND DETAILS PROVIDED IN THE APPROVED PLANS. IF THERE IS A DISCREPANCY BETWEEN THE ELECTRONIC FILE PROVIDED FOR STAKING AND THE STAMPED PLANS, THE STAMPED PLANS WILL GOVERN.

TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Arfman
Signed Date 1/20/2023



ISSUE DATE: 2022-11-30
REVISIONS
Date 2 PERMIT COMMENTS

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87109
505-266-8828 | www.isacv.com

TEKIN - SAN PEDRO APARTMENTS
ALBUQUERQUE, NEW MEXICO



11011 Grand County Blvd, Suite 101
Oak View, California 94552
916-841-1880
JOB NO. LP210388.00
SITE PHASING
PLAN

CP-103