CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

June 21, 2024

Genevieve L. Donart, P.E Isaacson & Arfman Inc. 128 Monroe St. NE Albuquerque, NM 87108

Re: San Pedro Apartments Phase 1 (Building 6 and Clubhouse)

9320 San Pedro Dr. NE

Request for Certificate of Occupancy

Transportation Development Final Inspection Architect's Stamp dated 12-20-2022 (C18D108)

Certification dated 06-14-2024

Dear Ms. Donart,

Based upon the information provided in your submittal received 6/14/2024 and photos provided 6/21/2024, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u> for Phase 1. The sidewalk and pathway from the public sidewalk needs to still be completed. Please include this in the next Phase of the project. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> for Phase 1 to be issued by the Building and Safety Division.

Albuquerque

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.

Principal Engineer, Planning Dept. Development Review Services

\xxx via: email C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

	Hydrology File #
City Address, UPC, OR Parcel:	
Applicant/Agent:	Contact:
	Phone:
Email:	
Applicant/Owner:	Contact:
	Phone:
Email:	
(Please note that a DFT SITE is one that needs Site P	lan Approval & ADMIN SITE is one that does not need it.)
TYPE OF DEVELOPMENT: PLAT (#of lo	ots) RESIDENCE
DFT SITE	ADMIN SITE
RE-SUBMITTAL: YES NO	
DEPARTMENT: TRANSPORTATION	HYDROLOGY/DRAINAGE
Check all that apply under Both the Type of Subn	nittal and the Type of Approval Sought:
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
ENGINEER/ARCHITECT CERTIFICATION	BUILDING PERMIT APPROVAL BUILDING PERMIT APPROVAL BLDG PERMIT #: CLUBHOUSE BP-2023-04143 BLDG 6 BP-2023-04142
PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY CLUBHOUSE & BLDG
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DFT APPROVAL
GRADING & DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
DRAINAGE REPORT	FINAL PLAT APPROVAL
DRAINAGE MASTER PLAN	SITE PLAN FOR BLDG PERMIT DFT
CLOMR/LOMR	APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE TRAFFIC CIRCULATION LAYOUT FOR DET	SIA/RELEASE OF FINANCIAL GUARANTEE
	FOUNDATION PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL	OKADINOTEKWIT ATTKOVAL
TRAFFIC IMPACT STUDY (TIS)	SO-19 APPROVAL
STREET LIGHT LAYOUT	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	GRADING PAD CERTIFICATION
	WORK ORDER APPROVAL
	CLOMR/LOMR
DATE SUBMITTED:	OTHER (SPECIFY)
D. 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	

REV. 09/13/23



128 Monroe Street NE Albuquerque, NM 87108 505-268-8828 | www.iacivil.com

Date: June 14, 2024

Project: San Pedro Apts (C18D108)

Subject: Permanent TCL Certification: Phase 1

TRAFFIC CERTIFICATION

I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, P.A., hereby certify that Phase 1 of this project are in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 1/20/2023. I further certify that I or someone under my direct supervision visited the project site on June 14, 2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the following exceptions that must be completed before any futher certifications on the site:

- Install sidewalk on the east side of the entrance.
- Stripe ADA crossings around the clubhouse.
- Stripe words "COMPACT" on the compact parking spaces east of the entry
- Install 3 parking bumpers on spaces on the east side of the clubhouse.
- Install all bike racks near Building 6 and the clubhouse.
- Provide motorcycle parking signs at the 2 spaces on the northwest corner of the clubhouse.

This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

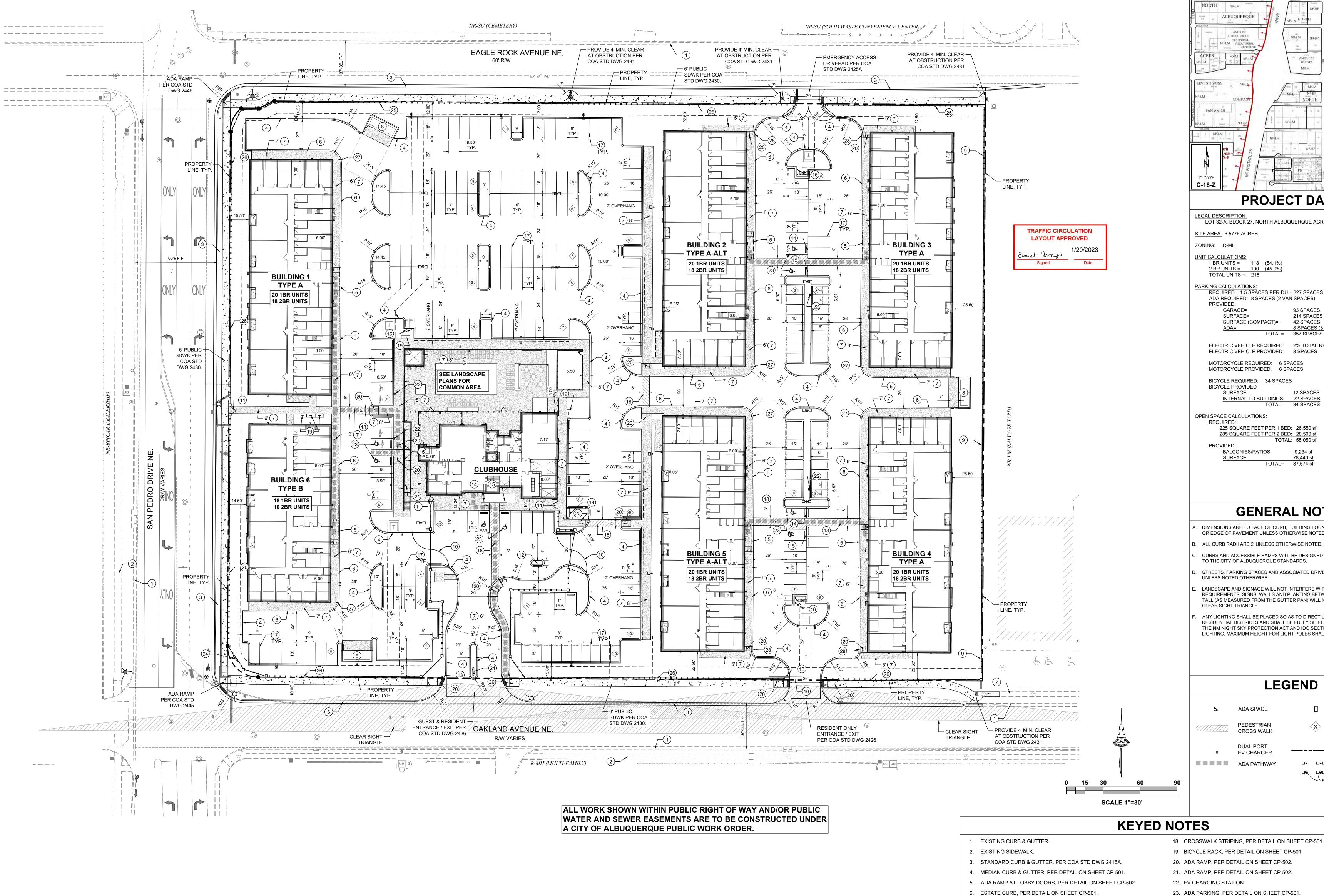
Sincerely,

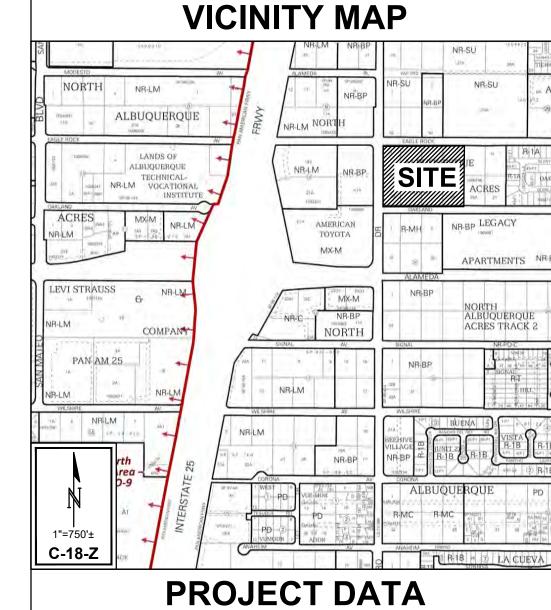
Isaacson & Arfman, Inc.

Genevieve L Donart, NMPE No. 15088

Jeneviewa &

2471 TCL Cert Letter.Docx 1 June 14, 2024





ISSUE DATE: 2022-11-30

Date 2 PERMIT COMMENTS

<u>LEGAL DESCRIPTION:</u>
LOT 32-A, BLOCK 27, NORTH ALBUQUERQUE ACRES SITE AREA: 6.5776 ACRES

1 BR UNITS = 118 (54.1%) 2 BR UNITS = 100 (45.9%) TOTAL UNITS = 218

PARKING CALCULATIONS: REQUIRED: 1.5 SPACES PER DU = 327 SPACES ADA REQUIRED: 8 SPACES (2 VAN SPACES)

ELECTRIC VEHICLE REQUIRED: 2% TOTAL REQUIRED = 7 SPACES

214 SPACES

ELECTRIC VEHICLE PROVIDED: 8 SPACES MOTORCYCLE REQUIRED: 6 SPACES

BICYCLE REQUIRED: 34 SPACES BICYCLE PROVIDED

> INTERNAL TO BUILDINGS: 22 SPACES TOTAL= 34 SPACES

OPEN SPACE CALCULATIONS: 225 SQUARE FEET PER 1 BED: 26,550 sf 285 SQUARE FEET PER 2 BED: 28,500 s

PROVIDED: BALCONIES/PATIOS: 9,234 sf

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, BUILDING FOUNDATION, FACE OF WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND SHALL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING. MAXIMUM HEIGHT FOR LIGHT POLES SHALL BE 16 FEET TALL.

LEGEND

ADA SPACE PEDESTRIAN CROSS WALK BIKE RACK PARKING ROW COUNT

— PROPERTY LINE □• □•□ SITE LIGHTING □ SEE LIGHTING PLANS EXTRUDED CONCRETE BASE

- 7. SIDEWALK, PER DETAIL ON SHEET CP-501.
- 8. REFUSE ENCLOSURE, PER DETAIL ON SHEET CP-501.
- 9. EXISTING SOLID WALL TO REMAIN.
- 10. VEHICULAR ACCESS GATE, SEE LANDSCAPE.
- 11. PEDESTRIAN ACCESS GATE, SEE LANDSCAPE.
- 12. GUEST GATE CALL BUTTON.
- 13. SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CP-501.
- 15. SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CP-501.
- 16. SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET

14. SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CP-501.

CP-501. 17. 4" WHITE STRIPE.

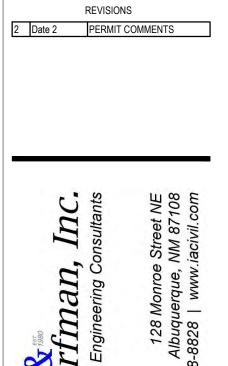
- 19. BICYCLE RACK, PER DETAIL ON SHEET CP-501.
- 20. ADA RAMP, PER DETAIL ON SHEET CP-502.
- 21. ADA RAMP, PER DETAIL ON SHEET CP-502.
- 22. EV CHARGING STATION.
- 23. ADA PARKING, PER DETAIL ON SHEET CP-501. 24. MONUMENT SIGNAGE: MAXIMUM SIZE 24 SQUARE FEET AND 4
- FEET TALL PER IDO SECTION 5-12 AND TABLE 5-12-1.
- 25. 6' SOLID CMU WALL ALONG EAGLE ROCK AVENUE (REAR). 26. 3' SOLID CMU WALL WITH 3' VIEW FENCE ABOVE (6' TOTAL
- 27. CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET CP-501.
- 28. TRANSITION FROM MEDIAN CURB & GUTTER TO ESTATE CURB AT

||||| D O D DESIGN www.bsbdesign.com 11211 Gold Country Blvd, Suite 101 Gold River, California 95670 JOB NO: LP210398.00 SITE PLAN

PED

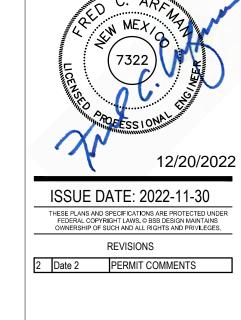
ALBUQUER



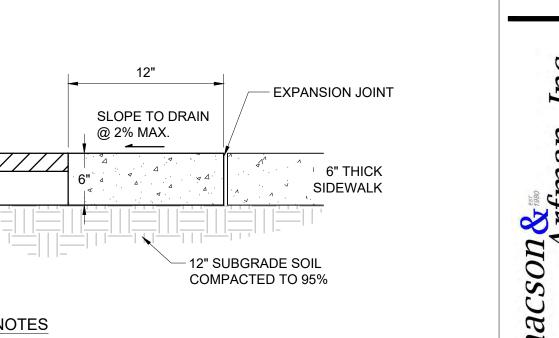




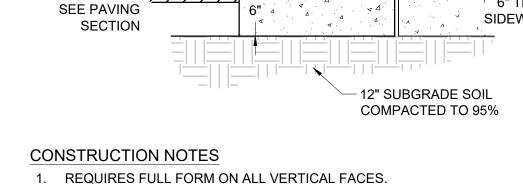




- EXPANSION JOINT 6" THICK SIDEWALK - 12" SUBGRADE SOIL COMPACTED TO 95%



- 2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
- 3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF
- 4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8"



MEDIAN CURB AND GUTTER

3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF

4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

SLOPE TO DRAIN

REQUIRES FULL FORM ON ALL VERTICAL FACES.

2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.

SEE PAVING SECTION

CONSTRUCTION NOTES

6" WIDE THEORETICAL FACE OF CURB

2" DIA. STANDARD STEEL PIPE,

PAINTED, SET INTO

STEEL SLEEVES.

STEEL PIPE SLEEVE,

GALVANIZED, SET IN

A 1-FOOT CLEAR ZONE MUST

BE PROVIDED AROUND

BICYCLE PARKING STALL

CONC. FOOTING.

THEORETICAL
FACE OF CURB

12" SUBGRADE SOIL

COMPACTED TO 95%

EXPANSION JOINT IF

ADJACENT TO WALK

BACK OF CURB TO

HAVE FINISHED

PONDING AREAS OR WHEN EXPOSED

FACE AT ALL

SCALE: N.T.S.

ESTATE CURB

SCALE: N.T.S.



ARTMENT

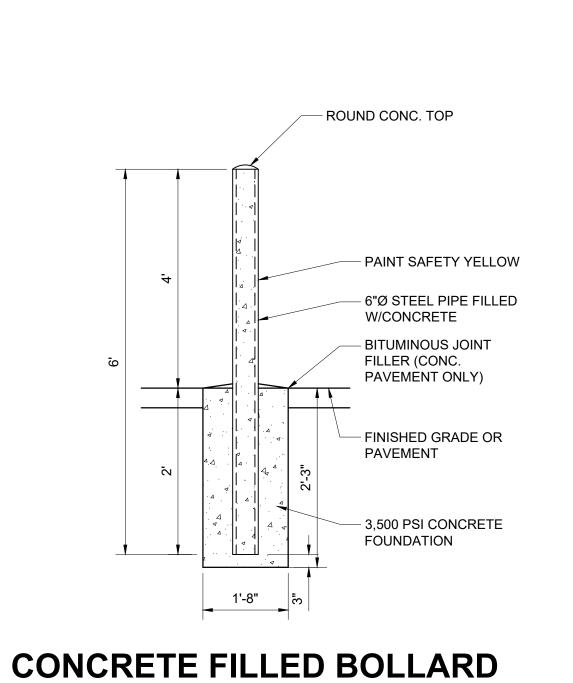
PEDRO

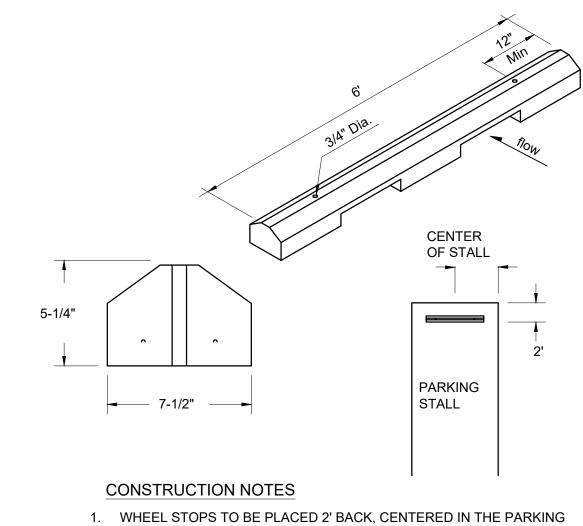
SAN

TEKIN

ALBUQUE

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STANDARD CONCRETE

DIRECTION OF WALK.

SIDEWALK. LIGHT BROOM

FINISH PERPENDICULAR TO

CONSTRUCTION NOTES

CONCRETE (TYP).

BROOM FINISH

2. SEE CONCRETE JOINTS DETAIL

4. 3/8" RADII AT ALL EXPOSED EDGES.

CONCRETE WALK

(W)

1. 4000 PSI COMPRESSIVE STRENGTH CONCRETE

SCALE: N.T.S.

4 X (W) O.C

TYPICAL

1/2 EXPANSION JOINT SPACING

3. FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF

- CONTRACTION /

CONTROL JOINT

(W) WIDTH

SEE PLAN

SCALE: N.T.S.

PER PLAN

AT ESTATE CURB

PER PLAN

AT LANDSCAPING

@ 2% MAX.

SCALE: N.T.S.

SLOPE TO DRAIN

@ 2% MAX.

- 4" YELLOW PAINT

— 4" YELLOW PAINT

ALONG EDGE

ALONG EDGE

ESTATE CURB PER -

2"-4" AVG. DIA. -

LANDSCAPE ROCK

EXPANSION -JOINT

CONSTRUCTION NOTES

1. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.

3. REQUIRES FULL FORM ON ALL FACES.

4. 3/8" RADII AT ALL EXPOSED EDGES.

SCALE: N.T.S.

6' TALL CMU WALL

6" THICK CONCRETE SLAB -4,000 P\$I WITH 6"X6" WWM OR EQUAL. SLOPE TO

MATERIAL AND

BUILDINGŞ

24.00'

COLOR TO MATCH

DRAIN

COLOR TO MATCH BUILDINGS

3' 4.5'

2. 1/2" EXPANSION JOINTS @ 24' O.C., CURB RETURNS AND EACH SIDE OF

SIDEWALK - TURNED DOWN EDGE

DETAIL THIS

SHEET

STALL WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK.

2. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.

3. INSTALL EACH WITH TWO DOWELS PER MANUFACTURERS SPECIFICATIONS.

CONCRETE WHEEL STOP



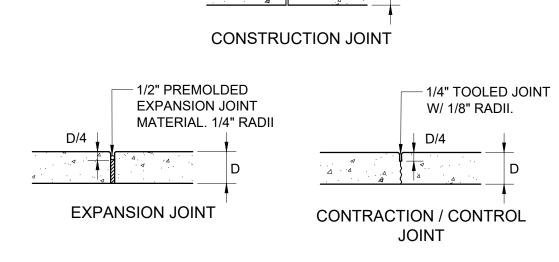
TRAFFIC CIRCULATION LAYOUT APPROVED

PLAN VIEW

SCALE: N.T.S.

1.00'

DIAMETER



CONSTRUCTION NOTES

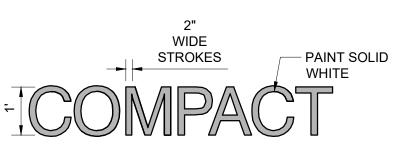
- 1. ODD-SHAPED AREAS OF PAVEMENT SHOULD BE AVOIDED TO MINIMIZE RANDOM CRACKING
- 2. LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 12.5'
- 3. TRANSVERSE JOINT SPACING SHALL BE AT REGULAR INTERVALS OF 15'
- 4. OFFSETS AT RADIUS POINTS SHALL BE AT LEAST 1.5' WIDE

CONCRETE JOINTS

SCALE: N.T.S.

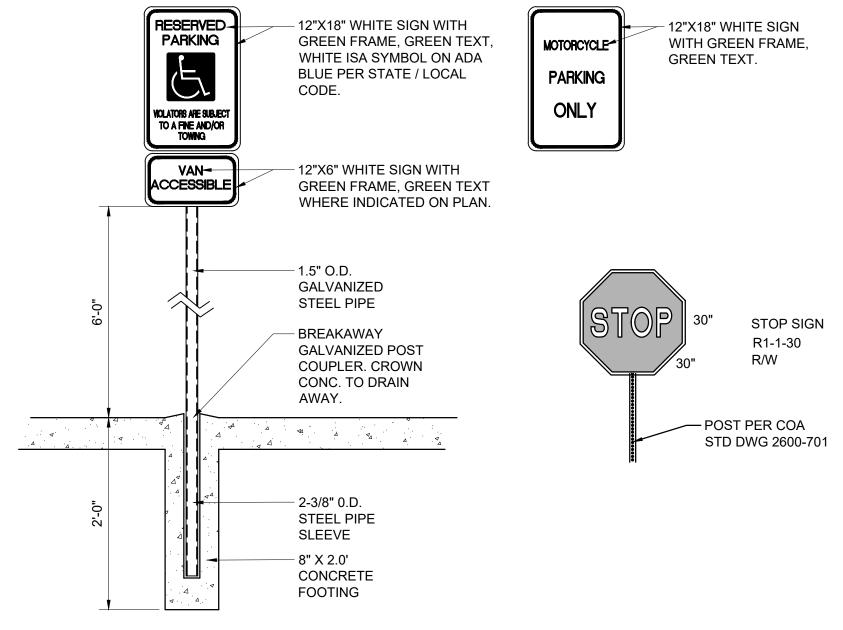
6' MIN. – 4" WHITE PAINTED STRIPING

PAINTED CROSSWALK MARKINGS



PAINTED 'COMPACT'

SCALE: N.T.S.



SIGNAGE

BSB DESIGN 11211 Gold Country Blvd, Suite 101 JOB NO: LP210398.00 SITE DETAILS

REFUSE ENCLOSURE

SCALE: N.T.S.

CONCRETE FILLED BOLLARD, TYP.

POSTS

6" THICK CONCRETE SLAB

OR EQUAL. SLOPE TO DRAIN

4,000 PSI WITH 6"X6" WWM

CONCRETE APRON

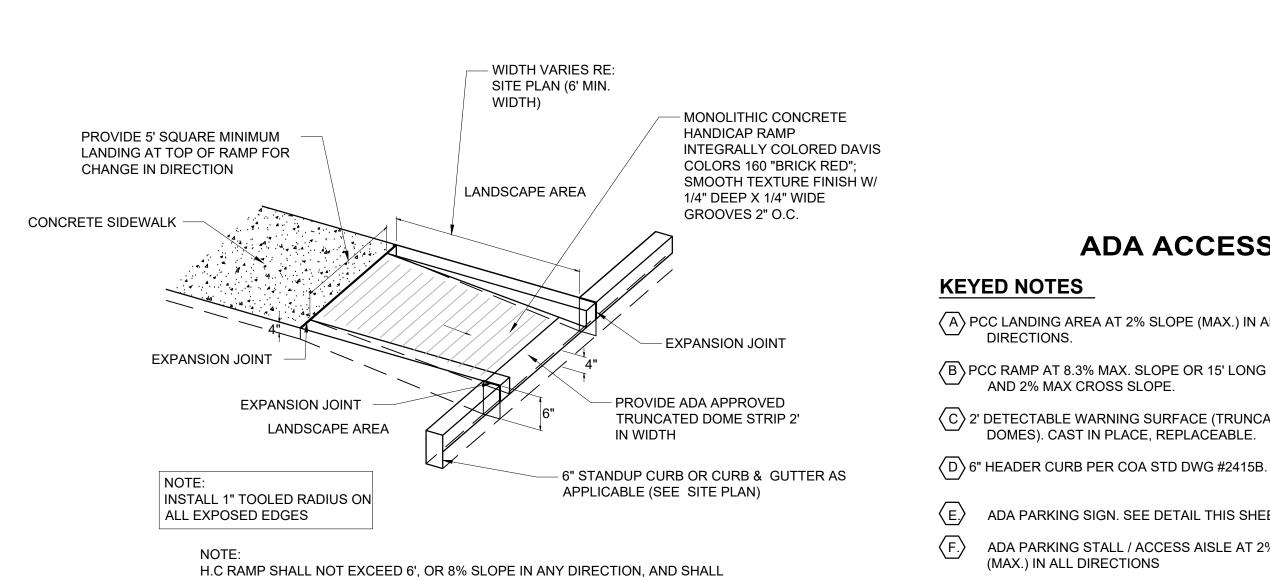
PER DETAIL THIS SHEET

SCALE: N.T.S.

CP-501

JOB NO: LP210398.00 SITE ADA DETAILS

CP-502



CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/

ALL APPLICABLE ANSI REQ'S

ADA CURBED RAMP DETAIL

ADA ACCESSIBLE RAMP NOTES

KEYED NOTES

SCALE: N.T.S.

A PCC LANDING AREA AT 2% SLOPE (MAX.) IN ALL DIRECTIONS.

B PCC RAMP AT 8.3% MAX. SLOPE OR 15' LONG (MAX.) AND 2% MAX CROSS SLOPE.

© 2' DETECTABLE WARNING SURFACE (TRUNCATED DOMES). CAST IN PLACE, REPLACEABLE.

(E) ADA PARKING SIGN. SEE DETAIL THIS SHEET.

ADA PARKING STALL / ACCESS AISLE AT 2% SLOPE (MAX.) IN ALL DIRECTIONS

DETECTABLE WARNING SURFACE NOTES

1. DESIGN PER ADA ACCESSIBILITY GUIDELINES (ADAAG). 2. PAYMENT FOR DETECTABLE WARNING SURFACE IS

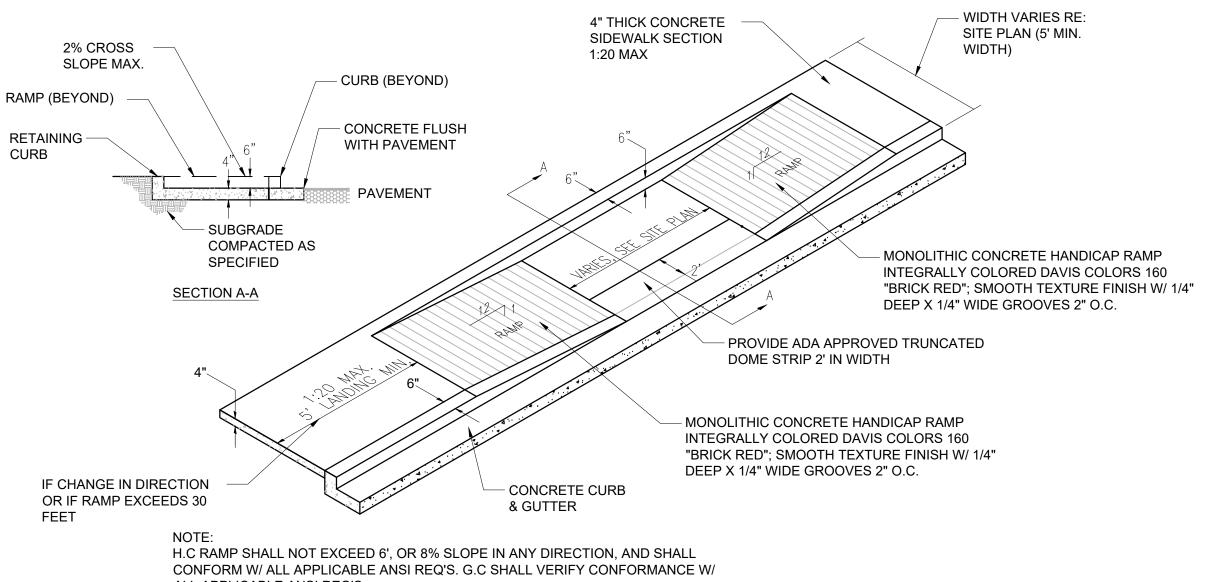
INCIDENTAL TO ADA ACCESSIBLE RAMP PAYMENT ITEM.

3. SUBMIT SPECS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

4. DETECTABLE WARNING SURFACE TO BE A PRODUCT THAT IS CAST-IN-PLACE AND REPLACABLE.

5. SEGMENTED DETECTABLE WARNING SURFACE AT BACK OF CURB TO BE CUT AND FIT PER MANUFACTURER'S INSTRUCTIONS. THE DETECTABLE WARNING SURFACE SHALL BE NO MORE THAN 5" FROM BACK OF CURB.

> TRAFFIC CIRCULATION LAYOUT APPROVED

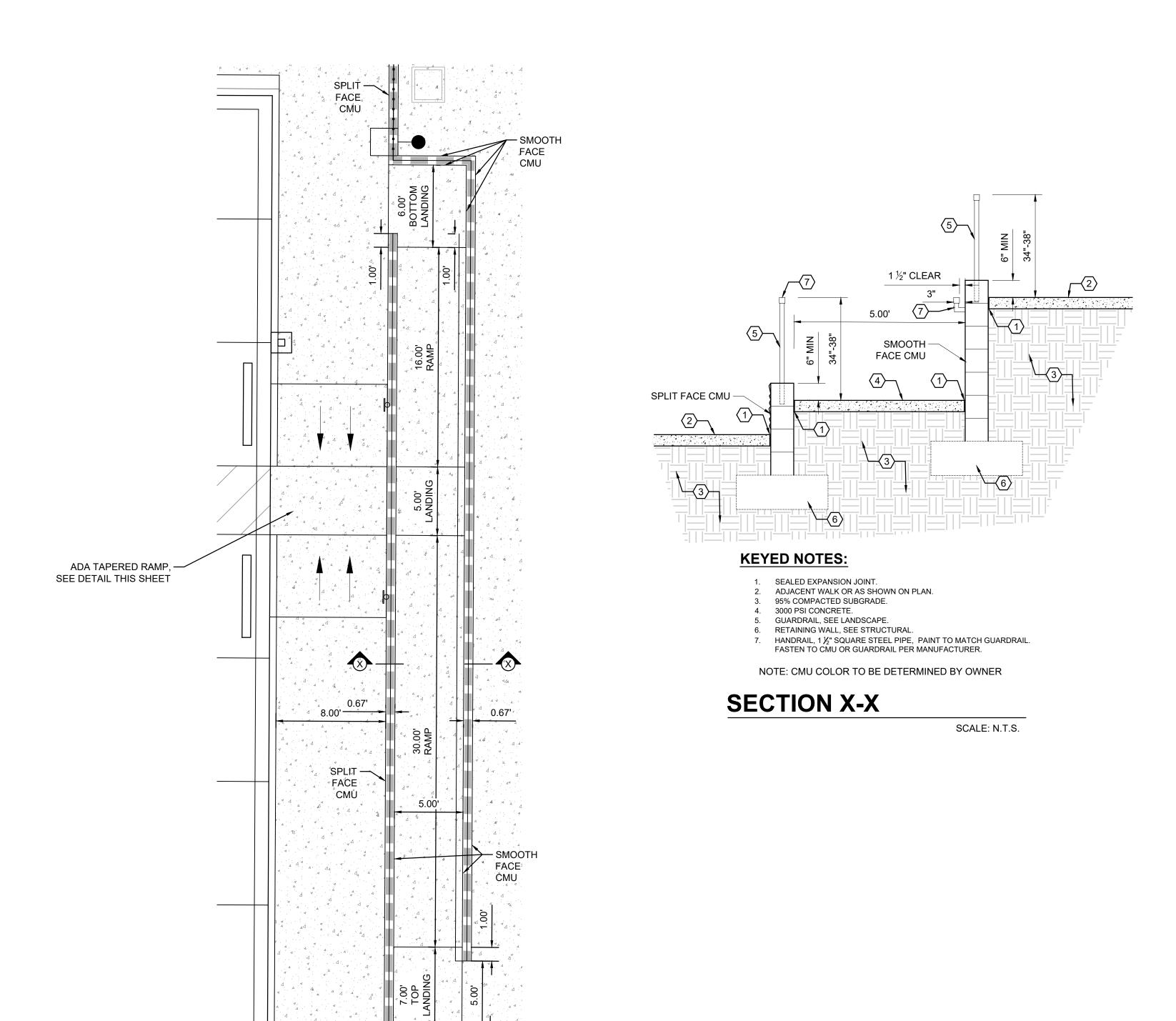


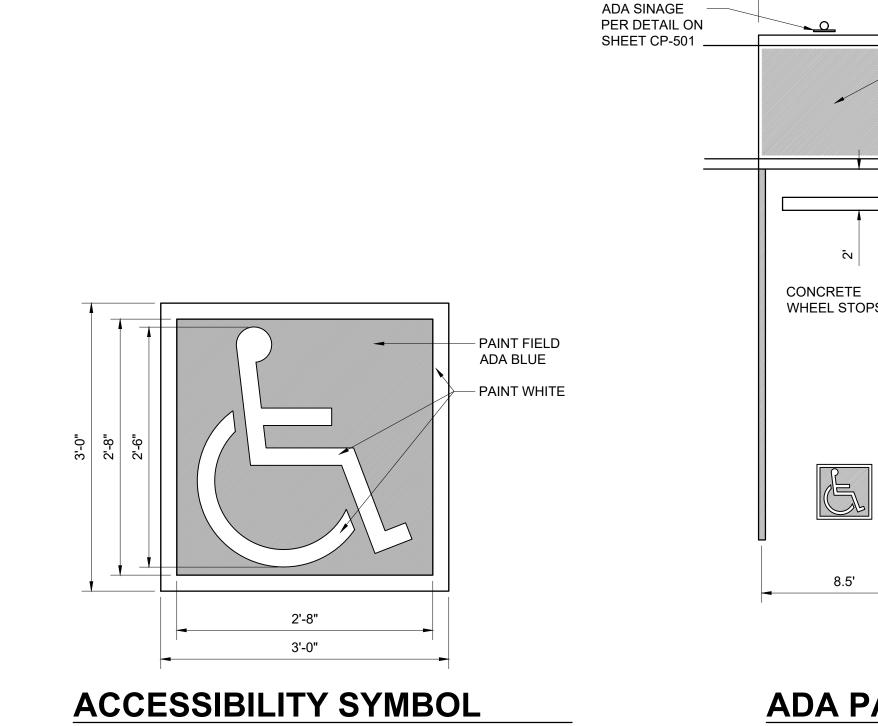
ALL APPLICABLE ANSI REQ'S

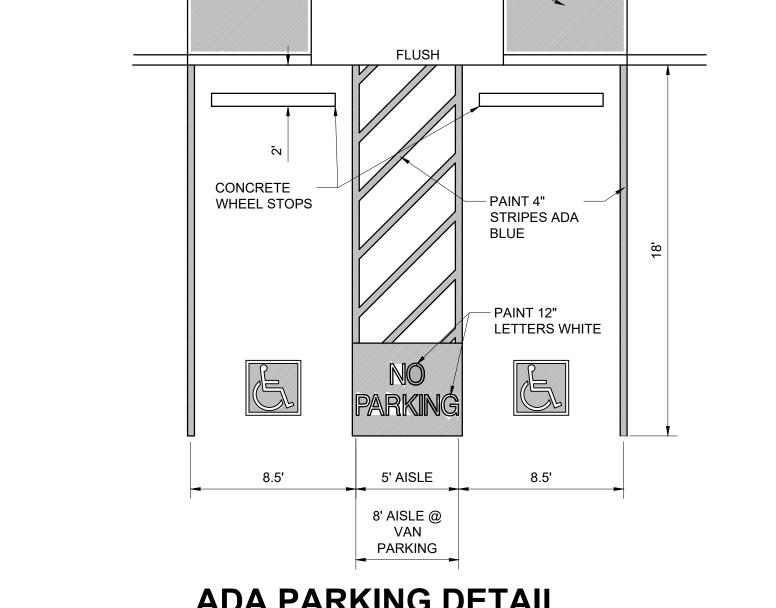
ADA TAPERED RAMP DETAIL

SCALE: N.T.S.

TRANSITION







COMPLIANT

TRANSITION

1V:12H MAX.

SCALE: N.T.S.

- ADA SINAGE

PER DETAIL ON

SHEET CP-501

SCALE: N.T.S.

ADA PARKING DETAIL

2% CROSS SLOPE MAX. FACE OF BUILDING - ESTATE CURB (FLUSH WITH - WIDTH VARIES RE: PAVEMENT) SITE PLAN (5' MIN. WIDTH) PAVEMENT - SUBGRADE COMPACTED AS SPECIFIED TURNED DOWN SECTION A-A **EDGE SIDEWALK**

H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/

TURNED DOWN EDGE SIDEWALK

ALL APPLICABLE ANSI REQ'S

ADA RAMP AT LOBBY DOORS DETAIL

SCALE: N.T.S.

ADA RAMP DETAIL

SCALE: 1"=5'

CROSS SLOPE OF RAMP RUNS SHALL NOT BE

2. IF A RAMP HAS A RISE GREATER THAN 6" OR A

3 1/2" MAX AT THE HANDRAIL HEIGHT

SHALL BE 36" MIN. BETWEEN HANDRAILS

HANDRAILS ON BOTH SIDES ARE REQUIRED

THE CLEAR WIDTH OF A RAMP RUN SHALL BE 48" MINIMUM. HANDRAILS MAY PROJECT INTO THE

HORIZONTAL PROJECTION GREATER THAN 72", THEN

REQUIRED CLEAR WIDTH OF THE RAMP AT EACH SIDE

THE CLEAR WIDTH OF RAMPS IN RESIDENTIAL USES

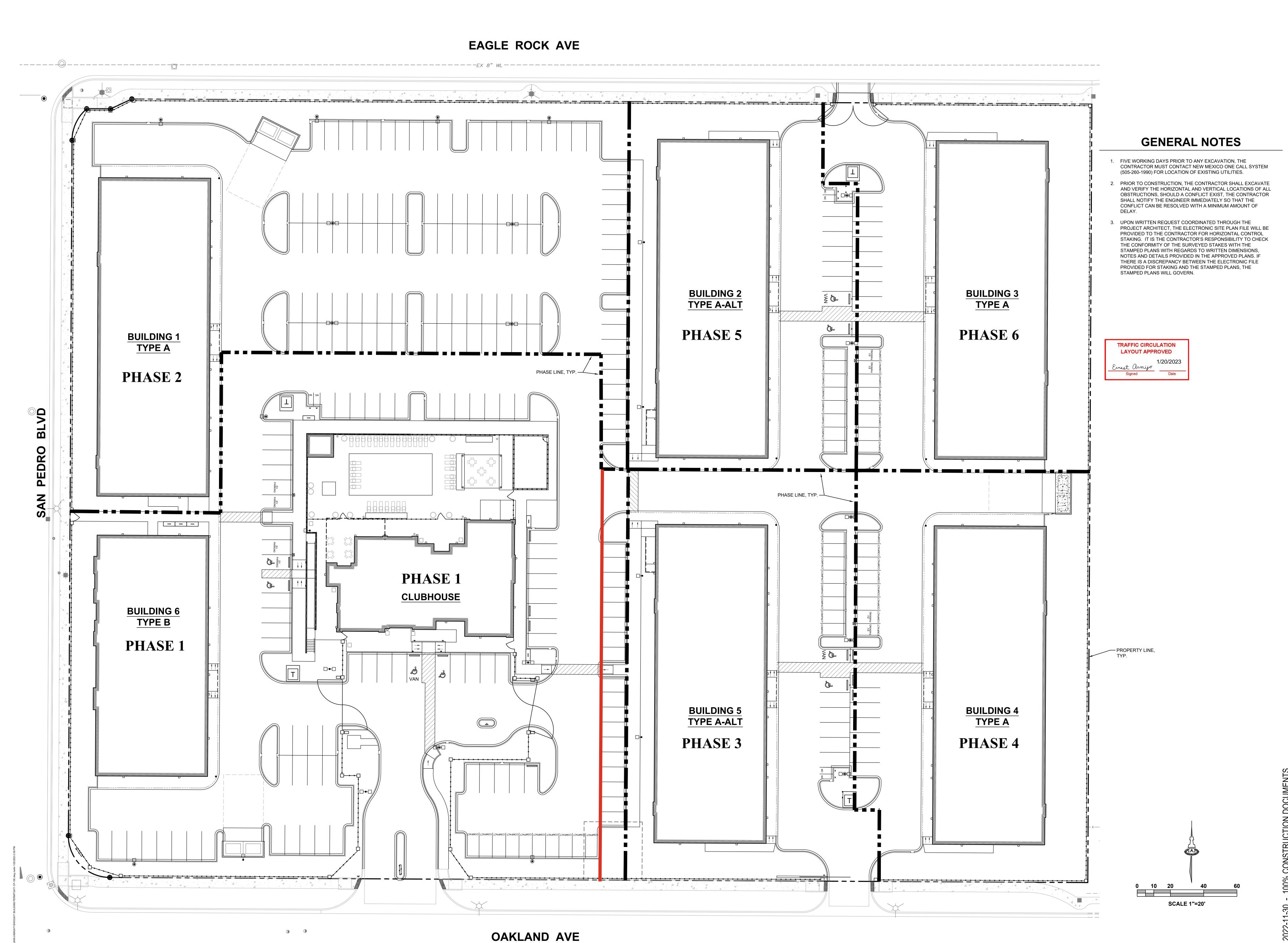
SERVING AN OCCUPANT LOAD OF FIFTY OR LESS

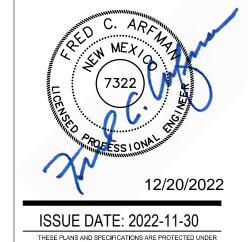
5. THE RISE FOR ANY RAMP RUN SHALL BE 30" MAXIMUM

STEEPER THAN 1:48

- STAIRS WITH

HANDRAIL, SEE STRUCTURAL





2 Date 2 PERMIT COMMENTS

APARTMENTS SAN PEDRO

BSB DESIGN 11211 Gold Country Blvd, Suite 101 Gold River, California 95670 916.941.0990

JOB NO: LP210398.00 SITE PHASING