

CITY OF ALBUQUERQUE



July 7, 2016

Richard J. Berry, Mayor

J. Graeme Means, P.E.
High Mesa Consulting Group
4715 Moon St NE
Albuquerque, NM, 87111

**RE: APS La Cueva ISP & Weight Room Additions
Drainage Plan
Engineer's Stamp Date 5-23-2016 (File: C19D004)
Replacement Submittal Dated 6-28-2016**

**Revised Stamp Date 7-1-2016
(Minor changes do not affect
Hydrology). AC 10-27-2016**

Dear Mr. Means:

Based upon the information provided in your submittal received 5-24-2016 & 6-28-2016, the above referenced Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy (CO) release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development Review Services

www.cabq.gov

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
 ____ TRAFFIC/ TRANSPORTATION
 ____ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

____ ENGINEER/ ARCHITECT CERTIFICATION
 ____ CONCEPTUAL G & D PLAN
 ____ GRADING PLAN
 ____ DRAINAGE MASTER PLAN
 ____ DRAINAGE REPORT
 ____ CLOMR/LOMR
 ____ TRAFFIC CIRCULATION LAYOUT (TCL)
 ____ TRAFFIC IMPACT STUDY (TIS)
 ____ EROSION & SEDIMENT CONTROL PLAN (ESC)
 ____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY
 ____ PRELIMINARY PLAT APPROVAL
 ____ SITE PLAN FOR SUB'D APPROVAL
 ____ SITE PLAN FOR BLDG. PERMIT APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ SIA/ RELEASE OF FINANCIAL GUARANTEE
 ____ FOUNDATION PERMIT APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ SO-19 APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ GRADING/ PAD CERTIFICATION
 ____ WORK ORDER APPROVAL
 ____ CLOMR/LOMR
 ____ PRE-DESIGN MEETING
 ____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: ____

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

LA CUEVA HIGH SCHOOL IS AN EXISTING PUBLIC HIGH SCHOOL THAT LIES WITHIN A DEVELOPED AREA OF NORTH ALBUQUERQUE ACRES. THE SITE IS DEVELOPED AS A HIGH SCHOOL WITH THE ASSOCIATED PAVED PARKING AND SPORT FELD IMPROVEMENTS. THIS PROJECT CONSISTS OF THE CONSTRUCTION OF TWO BUILDING ADDITIONS ALONG WITH ADDITIONAL UTILITIES TO SERVICE EXISTING AND PROPOSED CONSTRUCTION AT TWO SEPARATE CORNERS OF THE EXISTING SCHOOL. THE PROPOSED DRAINAGE CONCEPT WILL CONTINUE TO FOLLOW THE EXISTING ESTABLISHED DRAINAGE PATTERNS.

THE SUBMITTAL IS MADE IN SUPPORT OF BUILDING PERMIT APPROVAL.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP HEREON, THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF ALAMEDA BLVD. NE AND WYOMING BLVD. NE. THE CURRENT LEGAL DESCRIPTION IS TRACT A, LA CUEVA HIGH SCHOOL. AS SHOWN BY PANEL 141 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, 09-26-2008, A PORTION OF THE SITE LIES WITHIN A DESIGNATED FLOOD HAZARD ZONE (AO) AT THE SOUTHEAST CORNER OF THE PROPERTY. THE FLOOD HAZARD ZONE IS NOT PHYSICALLY PRESENT ALTHOUGH NEVER OFFICIALLY REMOVED. THE CURRENT FEMA MAPPING IDENTIFIES DOWNSTREAM FLOODING THAT IS CONFINED TO THE CONSTRUCTED CHANNELS ASSOCIATED WITH THE NORTH DOMINGO BACA AND LA CUEVA ARROYOS. THIS PROJECT WILL NOT AGGRAVATE EITHER DESIGNATED FLOOD HAZARD AREA.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE ALL INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. DRAINAGE PLAN (MAPPING) DATED MARCH 23, 2007 FOR THE REROOF AND PARKING LOT REHABILITATION PROJECT OF LA CUEVA HIGH SCHOOL, PREPARED BY THIS OFFICE (FORMERLY JEFF MORRESEN & ASSOCIATES), AND APPROVED BY THE CITY ON APRIL 13, 2007, CITY HYDROLOGY FILE # C19/0004, THE PROPOSED DRAINAGE CONCEPT OF MAINTAINING EXISTING DRAINAGE PATTERNS IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENT.

B. GRADING AND DRAINAGE PLAN DATED MARCH 21, 2001 FOR THE LA CUEVA HIGH SCHOOL PARKING IMPROVEMENTS PREPARED BY WILSON & COMPANY AND APPROVED BY THE CITY ON APRIL 11, 2001, CITY HYDROLOGY FILE # C19/0004

IV. EXISTING CONDITIONS

THE PROPERTY IS DEVELOPED AS A PUBLIC HIGH SCHOOL. AS SHOWN ON SHEET CS-101 THE SITE IS DIVIDED INTO BASINS WHERE RUNOFF GENERALLY DRAINS FROM EAST TO WEST WITH THE EXCEPTION OF BASIN 204. THE MAJORITY OF SITE RUNOFF IS DISCHARGED THROUGH DETENTION BASINS TO WYOMING BLVD. NE WHENCE IT FLOWS SOUTH TO THE NORTH DOMINGO BACA ARROYO. BASIN 204 RUNOFF DISCHARGES DIRECTLY NORTH INTO ALAMEDA BLVD NE. VIA SIDEWALK CULVERTS.

V. DEVELOPED CONDITIONS

THE PROJECT CONSTRUCTION CONSISTS OF TWO NEW BUILDING ADDITIONS, AND MODIFICATIONS TO THE EXISTING FACILITY PARKING LOT TO ALLOW FOR BUS TRAFFIC TO THE NEW NORTHEAST BUILDING ADDITION. THE PROPOSED CONSTRUCTION WILL PRIMARILY IMPACT BASIN 205 WITH NEGLIGIBLE IMPACT ON SUBSEQUENT BASINS. A NEW PRIVATE STORM DRAIN SYSTEM WILL BE CONSTRUCTED IN ORDER TO MAINTAIN THE CURRENT DRAINAGE PATTERNS. THE NEW STORM DRAIN SYSTEM WILL CAPTURE AND CONVEY THE RUNOFF FROM THE NEW NORTHEAST ADDITION AND EXISTING SURFACE FLOWS THAT WILL BE BLOCKED FROM FLOWING WEST TO BASIN 203 DUE TO THE NEW ADDITION. THE NEW PRIVATE STORM DRAIN SYSTEM WILL CONNECT TO THE EXISTING DOWNSTREAM STORM DRAIN SYSTEM THAT RUNS ALONG THE NORTH AND WEST SIDES OF THE SCHOOL AND DISCHARGES INTO BASIN 203. THIS RUNOFF TRAVELS OVER PEROVUS SURFACE AND LANDSCAPING PROVIDING WATER QUALITY BENEFITS. RUNOFF FROM THE NORTHWEST ADDITION WILL BE DIVERTED INTO THE PREVIOUSLY MENTIONED EXISTING STORM DRAIN SYSTEM VIA ROOFDRAINS AND STORM INLETS.

THE INFILL SITE DOES NOT PROVIDE OPPORTUNITIES TO COLLECT ROOF RUNOFF FOR WATER QUALITY. HOWEVER, THE DRAINAGE IS PIPED TO THE EXISTING SYSTEM AS DESCRIBED ABOVE THAT INCORPORATES DISCONNECTED IMPERVIOUSNESS AND DETENTION IN FIELD AREAS. NEW PARKING ISLANDS WILL HAVE OPENINGS AND BE DERESSED TO CONTAIN RUNOFF TO QUALITATIVELY ADDRESS FIRST FLUSH FROM PAVED AREAS WHERE POSSIBLE.

VI. GRADING PLAN

THE GRADING PLANS ON SHEET CG-101-A AND CG-101-B SHOW 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FOOT INTERVALS AND SPOT ELEVATIONS FROM A TOPOGRAPHIC SURVEY PREPARED JULY 22, 2014 BY THIS OFFICE; 2) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY; 3) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS; 4) PROPOSED GRADES INDICATED BY CONTOURS AT 1 FOOT INTERVALS AND SPOT ELEVATIONS; AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES.

VII. CALCULATIONS

THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993 AND REVISED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED BY BASIN 205 WITHIN THE NEW CONSTRUCTION LIMITS. AS SHOWN BY THE CALCULATIONS, THERE WILL BE A NEGLIGIBLE INCREASE IN RUNOFF ATTRIBUTABLE TO DEVELOPMENT.

VIII. CONCLUSIONS

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED FROM THE EVALUATIONS CONTAINED HEREIN:

1. THE PROPOSED IMPROVEMENTS REPRESENT NEW CONSTRUCTION AND MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA.
2. THE PROPOSED IMPROVEMENTS WILL MAINTAIN AND NOT ALTER THE EXISTING DRAINAGE PATTERNS OF THE SITE.
3. THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR INCREASE IN THE DEVELOPED RUNOFF GENERATED BY THE SITE.
4. THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES OR DOWNSTREAM DRAINAGE CONDITIONS.
5. THE MAJORITY OF THE SITE DRAINS TO THE NORTH DOMINGO BACA ARROYO WATERSHED WITH THE EXCEPTION OF BASIN 204 WHICH DRAINS TO THE LA CUEVA ARROYO WATERSHED
6. THE FEMA DESIGNATED FLOOD HAZARD ZONE (AO) AT THE SOUTHEAST CORNER OF THE SITE WILL BE UNAFFECTED BY THIS PROJECT; NO CHANGED ARE PROPOSED
7. DEVELOPED ONSITE RUNOFF WILL DRAIN TO AN INTERNAL STORM DRAIN SYSTEM THAT DISCHARGES TO THE ONSITE SPORTS FIELDS AND PEROVUS AREAS WHERE INFILTRATION AND ABSTRACTION SERVE TO PROVIDE WATER QUALITY BENEFITS MEETING THE INTENTS OF CITY FIRST FLUSH REQUIREMENTS THAT CANNOT OTHERWISE BE MET DUE TO THE LIMITED OPPORTUNITY WITH THIS INFILL PROJECT.

CALCULATIONS

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE = 3

B. $P_{a,100} = P_{360} = 2.60$

C. TOTAL PROJECT AREA (A_T) = 77,245 SF
1.77 AC

D. LAND TREATMENTS

1. EXISTING BASIN 205
TOTAL BASIN AREA (A_T) = 77245 SF

TREATMENT	AREA (SF/AC)	%
A	14,420 / 0.33	19
B	9,750 / 0.22	13
C	53,075 / 1.22	69
D		100

2. DEVELOPED BASIN 205 A

TREATMENT	AREA (SF/AC)	%
A		
B		
C	3,823 / 0.09	28
D	9,856 / 0.23	72

3. DEVELOPED BASIN 205 B

TREATMENT	AREA (SF/AC)	%
A		
B		
C	5,121 / 0.12	50
D	5,121 / 0.12	50

4. DEVELOPED BASIN 205 C

TREATMENT	AREA (SF/AC)	%
A		
B		
C	7,822 / 0.18	15
D	45,502 / 1.04	85

II. HYDROLOGY

A. EXISTING CONDITION

a. VOLUME
 $E_w = (E_a A_A + E_b A_B + E_c A_C + E_d A_D) / A_T$
 $E_w = ((0.00^0.66) + (0.33^0.92) + (0.22^1.29) + (1.22^2.36)) / 1.77 = 1.96$ IN
 $V_{100} = (E_w / 12) A_T = (1.96 / 12) (77,245) = 2,891$ AC-FT = 12,592 CF
b. PEAK DISCHARGE
 $Q_p = Q_{pa} A_A + Q_{pb} A_B + Q_{pc} A_C + Q_{pd} A_D$
 $Q_p = Q_{100} = ((0.00^1.87) + (0.33^2.6) + (0.22^3.45) + (1.22^5.02)) = 7.7$ CFS

B. DEVELOPED CONDITION

BASIN 205 A
a. VOLUME
 $E_w = (E_a A_A + E_b A_B + E_c A_C + E_d A_D) / A_T$
 $E_w = ((0.00^0.66) + (0.00^0.92) + (0.09^1.29) + (0.23^2.36)) / 0.31 = 2.06$ IN
 $V_{100} = (E_w / 12) A_T = (2.06 / 12) (0.31) = 0.0539$ AC-FT = 2,349 CF
b. PEAK DISCHARGE
 $Q_p = Q_{pa} A_A + Q_{pb} A_B + Q_{pc} A_C + Q_{pd} A_D$
 $Q_p = Q_{100} = ((0.00^1.87) + (0.00^2.6) + (0.09^3.45) + (0.23^5.02)) = 1.4$ CFS

BASIN 205 B
a. VOLUME
 $E_w = (E_a A_A + E_b A_B + E_c A_C + E_d A_D) / A_T$
 $E_w = ((0.00^0.66) + (0.00^0.92) + (0.12^1.29) + (1.04^2.36)) / 0.24 = 1.83$ IN
 $V_{100} = (E_w / 12) A_T = (1.83 / 12) (0.24) = 0.0358$ AC-FT = 1,558 CF
b. PEAK DISCHARGE
 $Q_p = Q_{pa} A_A + Q_{pb} A_B + Q_{pc} A_C + Q_{pd} A_D$
 $Q_p = Q_{100} = ((0.00^1.87) + (0.00^2.6) + (0.12^3.45) + (1.04^5.02)) = 1.0$ CFS

BASIN 205 C
a. VOLUME
 $E_w = (E_a A_A + E_b A_B + E_c A_C + E_d A_D) / A_T$
 $E_w = ((0.00^0.66) + (0.00^0.92) + (0.18^1.29) + (1.04^2.36)) / 0.12 = 2.20$ IN
 $V_{100} = (E_w / 12) A_T = (2.20 / 12) (0.12) = 0.2247$ AC-FT = 9,790 CF
b. PEAK DISCHARGE
 $Q_p = Q_{pa} A_A + Q_{pb} A_B + Q_{pc} A_C + Q_{pd} A_D$
 $Q_p = Q_{100} = ((0.00^1.87) + (0.00^2.6) + (0.18^3.45) + (1.04^5.02)) = 5.9$ CFS

C. COMPARISON

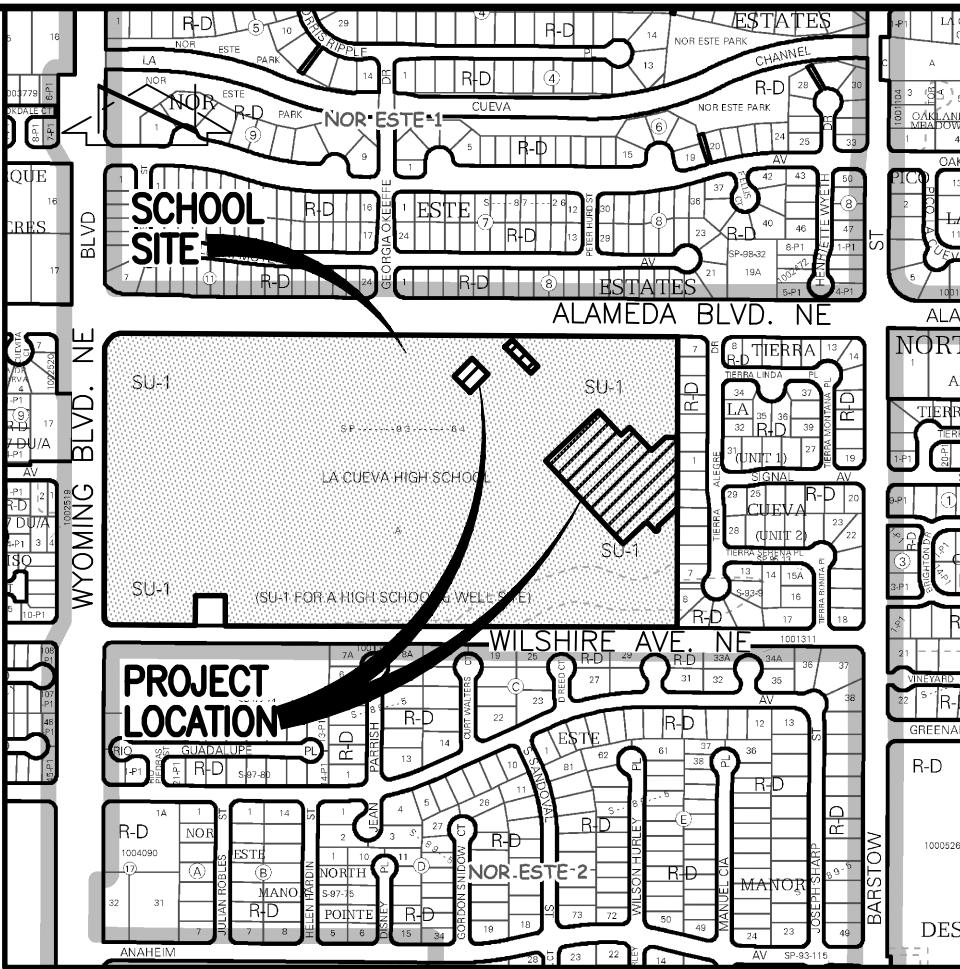
a. VOLUME
 $\Delta V_{100} = 13697 - 12592 = 1,105$ CF (INCREASE)
b. PEAK DISCHARGE
 $\Delta Q_{100} = 8.3 - 7.7 = 0.5$ CFS (INCREASE)

GENERAL NOTES:

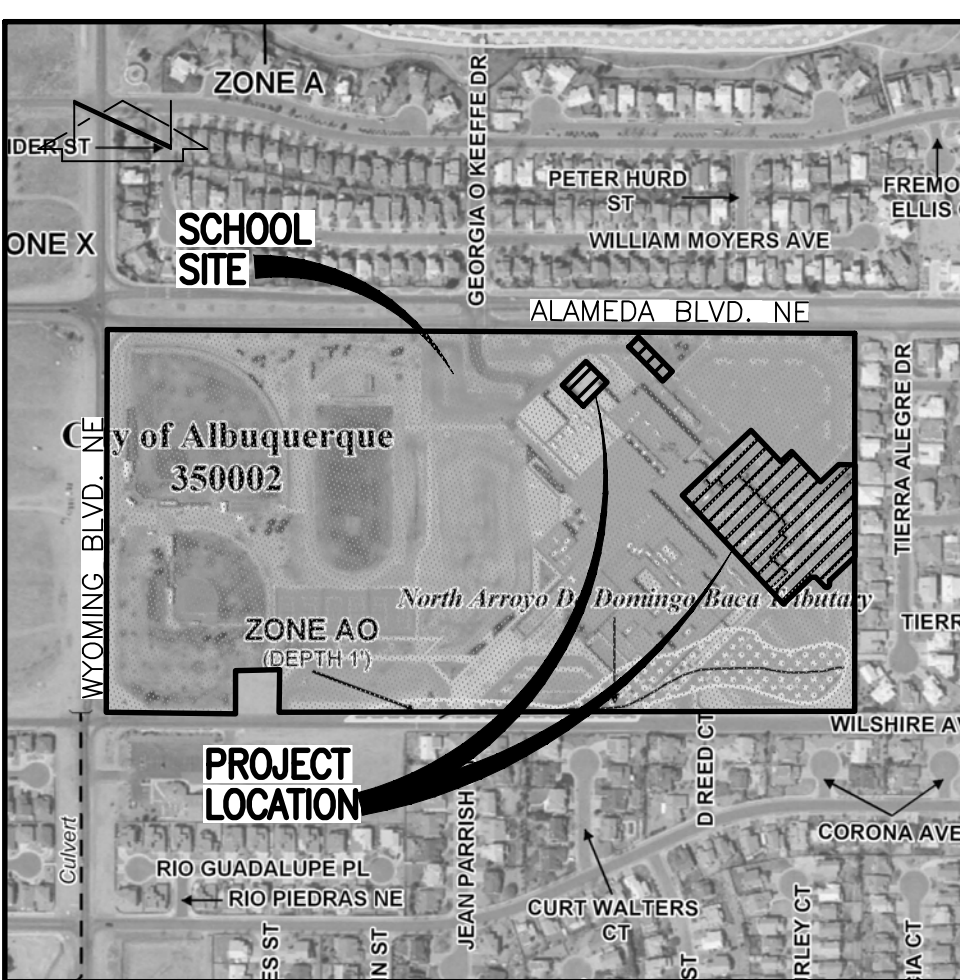
1. ALL WORK DETAILD ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1987 (EDITED BY THE NEW MEXICO CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION. (REVISED 12/06)
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SERVICE.
3. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ONSITE SURFACE EVIDENCE, ABCWUA DISTRIBUTION MAPS AND UTILITY LINE-SPOTS PROVIDED BY ONPOINT UTILITY LOCATING SERVICES, SITE UTILITY DIAGRAM (PRIVATE) DATED JUNE 18, 2014. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (703) 425-2222. UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE CONTRACTOR OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING TO THE LOCATION AND ASSURANCE OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
8. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
9. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SPONSORED MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
10. ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
11. IF THE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK, AND/OR PAVING IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT. WHEN ABUTTING NEW PAVEMENT TO EXISTING, THE CONTRACTOR SHALL CUT BACK THE EXISTING PAVING TO A STRAIGHT LINE IN ORDER TO REMOVE ANY BROKEN OR CRACKED PAVEMENT. EXISTING UTILITY AND/OR PAVEMENT SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT AND WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
12. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALT PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
13. A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND APPLY THE REQUIRED COMPACTION METHOD, WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
15. THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND/OR INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES EXISTING UNDER OR ADJACENT TO THE WORK AREA. ANY DAMAGE INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
18. ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
19. THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO STRIPING SO THAT LAYOUT CAN BE VERIFIED.
20. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
21. THE CONTRACTOR SHALL PROVIDE SWPPP AND SHALL SECURE ON BEHALF OF THE OWNER AND OPERATORS, "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
22. ALL FILL SHALL BE CLEAN, FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS, AND SHALL NOT BE CONTAMINATED WITH HYDROCARBONS OR OTHER CHEMICAL CONTAMINANTS.
23. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED.
24. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.

LEGEND

ASPH	ASPHALT	W/	TYP	TYPICAL
BBG	BASKETBALL GOAL	WB	WITH	
BOD	BUILDING OVERHANG	WF	WOOD BENCH	
BS	BACKSTOP	W/PM	WATER FAUCET	
C&G	CURB AND GUTTER	WB	WATERLINE BY PAINT MARK	
CC	CONCRETE CURB	WCR	WATER METER BOX	
CCL	CONCRETE COLUMN	WB	WHEELCHAIR RAMP	
CL	CENTERLINE	WB	WATER VALVE BOX	
CLO	CENTERLINE OF DOOR	WS	WATERLOD SHED	
CLOD	CENTERLINE OF DOUBLE DOOR	WT	WATERLOD TREE	
OLF	CHAINLINK FENCE	WT	WATERLOD TREE	
MR	COMMUNICATION RISER	WT	WATERLOD TREE	
CMS	CONCRETE MOW STRIP	WT	WATERLOD TREE	
CO	CONCRETE SEWER CLEANOUT	WT	WATERLOD TREE	
COMM	COMMUNICATION	WT	WATERLOD TREE	
CONC	CONCRETE	WT	WATERLOD TREE	
CPLTR	CONCRETE PLANTER	WT	WATERLOD TREE	
CPT	CONCRETE PICNIC TABLE	WT	WATERLOD TREE	
CR	CONCRETE RAMP	WT	WATERLOD TREE	
CRD	CONCRETE RUN DOWN	WT	WATERLOD TREE	
CS	CONCRETE STEPS	WT	WATERLOD TREE	
CTC	CONCRETE TRASH CAN	WT	WATERLOD TREE	
CWALL	CONCRETE WALL	WT	WATERLOD TREE	
DYS	DOUBLE YELLOW STRIPE	WT	WATERLOD TREE	
E/PM	ELECTRIC BY PAINT MARK	WT	WATERLOD TREE	
EA	EDGE OF ASPHALT	WT	WATERLOD TREE	
EBB	ELECTRIC BREAKER BOX	WT	WATERLOD TREE	
EP	ELECTRIC PANEL	WT	WATERLOD TREE	
ET	ELECTRIC TRANSFORMER	WT	WATERLOD TREE	
FH	FIRE HYDRANT	WT	WATERLOD TREE	
FL	FLOWLINE	WT	WATERLOD TREE	
FLC	FIRELINE CONNECTION	WT	WATERLOD TREE	
GM	GAS METER	WT	WATERLOD TREE	
GAT	GATE POST	WT	WATERLOD TREE	
GS	GAS SERVICE	WT	WATERLOD TREE	
HCS	HANDICAP SIGN	WT	WATERLOD TREE	
INV	INVERT ELEVATION	WT	WATERLOD TREE	
IRR/FRD	IRRIGATION FROM RECORD DRAWING	WT	WATERLOD TREE	
IVB	IRRIGATION VALVE BOX	WT	WATERLOD TREE	
MB	METAL BENCH	WT	WATERLOD TREE	
MC/IC	METER CAN WITH IRRIGATION CONTROLS	WT	WATERLOD TREE	
MCB	METER CAN WITH BIB-VALVE	WT	WATERLOD TREE	
MCV	METER CAN WITH VALVE	WT	WATERLOD TREE	
MH	MANHOLE	WT	WATERLOD TREE	
MHR	METAL HANDRAIL	WT	WATERLOD TREE	
MLP	METAL LIGHT POLE	WT	WATERLOD TREE	
PS	PARKING BUMPER	WT	WATERLOD TREE	
PI	PAINTED ISLAND	WT	WATERLOD TREE	
PS	PARKING STRIP	WT	WATERLOD TREE	
RD	ROOF DRAIN	WT	WATERLOD TREE	
SAS	SANITARY SEWER	WT	WATERLOD TREE	
SB	SPEED BUMP	WT	WATERLOD TREE	
SC	STEEL COVER	WT	WATERLOD TREE	
SD	STORM DRAIN	WT	WATERLOD TREE	
SGP	STEEL GUARD POST	WT	WATERLOD TREE	
SDI	STORM DRAIN INLET	WT	WATERLOD TREE	
SP	STEEL POLE	WT	WATERLOD TREE	
SWC	SIDEWALK CULVERT	WT	WATERLOD TREE	
SWS	SOLID WHITE STRIPE	WT	WATERLOD TREE	
TA	TOP OF ASPHALT	WT	WATERLOD TREE	
TC	TOP OF CURB	WT	WATERLOD TREE	
TCO	TOP OF CONCRETE	WT	WATERLOD TREE	
TS	TRAFFIC SIGN	WT	WATERLOD TREE	
TW	TOP OF WALL	WT	WATERLOD TREE	



VICINITY MAP J-21
SCALE: 1" = 750'



F.I.R.M. PANEL 141 OF 825
SCALE: 1" = 500'
DATE: 09-26-2008

BENCHMARKS

PROJECT BENCHMARK
AN ACS 3 1/4" ALUMINUM DISK STAMPED "7-C19 1995" SET IN THE TOP OF CURB. THE STATION IS LOCATED IN NNW CURB RETURN OF THE INTERSECTION OF BARTLOW STREET NE AND SIGNAL AVENUE NE. ELEVATION = 5485.72 FEET (NAVD 1988)
TEMPORARY BENCHMARK #1 (T.B.M.)
A MAG NAIL SET IN ASPHALT, AS SHOWN ON SHEET CS-101. ELEVATION = 5427.91 FEET (NAVD 1988)
TEMPORARY BENCHMARK #2 (T.B.M.)
A #5 REBAR W/CAP STAMPED "HMC CONTROL NMP5 11184" SET JUST WEST OF NORTHERN ENTRANCE TO PARKING LOT, AS SHOWN ON SHEET CS-101. ELEVATION = 5441.14 FEET (NAVD 1988)
TEMPORARY BENCHMARK #3 (T.B.M.)
A #5 REBAR W/CAP STAMPED "HMC CONTROL NMP5 11184" SET SOUTH OF THE PARKING LOT, AS SHOWN ON SHEET CS-101. ELEVATION = 5458.32 FEET (NAVD 1988)
TEMPORARY BENCHMARK #4 (T.B.M.)
A MAG NAIL SET IN SOUTHERN ASPHALT PARKING LOT, AS SHOWN ON SHEET CS-101. ELEVATION = 5458.66 FEET (NAVD 1988)

LEGAL DESCRIPTION

TRACT A, LA CUEVA HIGH SCHOOL, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 23, 1993, PLAT BOOK 93C, PAGE 114, DOCUMENT NO. 1993041180.

SHEET	DESCRIPTION
C-001	CIVIL COVER SHEET, DRAINAGE PLAN AND CALCULATIONS
CS-101	CIVIL SITE PLAN
CG-101-A	GRADING PLAN, ISP ADDITION
CP-101-A	PAVING PLAN, ISP ADDITION
CU-101-A	WATER AND SANITARY SEWER SITE PLAN, ISP ADDITION
CU-102-B	SANITARY SEWER SITE PLAN, WEIGHT ROOM ADDITION
CG-101-B	GRADING PLAN, WEIGHT ROOM ADDITION
CP-101-B	PAVING PLAN, WEIGHT ROOM ADDITION
CG-501	GRADING AND DRAINAGE SECTIONS AND DETAILS
CG-502	GRADING AND DRAINAGE SECTIONS AND DETAILS
CP-501	SITE PAVING SECTIONS AND DETAILS & ISP TRAFFIC CIRCULATION MODIFICATIONS
CU-501	WATER AND SANITARY SEWER SECTIONS AND DETAILS

INDEX OF DRAWINGS

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CP-101-B	PAVING PLAN, WEIGHT ROOM ADDITION
CG-501	GRADING AND DRAINAGE SECTIONS AND DETAILS
CG-502	GRADING AND DRAINAGE SECTIONS AND DETAILS
CP-501	SITE PAVING SECTIONS AND DETAILS & ISP TRAFFIC CIRCULATION MODIFICATIONS
CU-501	WATER AND SANITARY SEWER SECTIONS AND DETAILS

RMKM

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RMKM ARCHITECTURE, P.C.

HIGH MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.hightmesacg.com

PROJECT
APS

SCALE

RMKM PROJECT NO.
1401

DRAWING FILE NO.
2014017.1

DATE
JUNE 8TH, 2016

PROJECT MANAGER
DRAKENE MEANS

DRAWN BY
J.V.R./S.C.C./J.C.

SHEET TITLE
CIVIL COVER SHEET, DRAINAGE PLAN AND CALCULATIONS

100% CONSTRUCTION DOCUMENTS

SHEET NUMBER
C-001



HIGH MESA Consulting Group

This aerial map illustrates the layout of the La Cueva High School campus. The site is bounded by Alameda Boulevard N.E. to the north, Wilshire Avenue N.E. to the south, Wyoming Boulevard N.E. to the west, and Schoolway 3 to the east. Key features include:

- Sports Facilities:**
 - Basin 201:** A baseball field located in the northwest corner.
 - Basin 202:** A tennis court complex situated south of Basin 201.
 - Basin 203:** A large oval-shaped field, likely for soccer or football, located in the center-west.
- Academic and Support Buildings:**
 - Basin 204:** A rectangular building located north of Basin 203.
 - Basin 205:** A large, multi-winged building complex in the center-east, housing the main school operations.
 - Basin 206:** A smaller building located south of Basin 205.
 - Basin 207:** A building located in the southeast corner.
 - Basin 205C:** An addition to Basin 205, located on the eastern side.
 - Weight Room:** A specialized facility located north of Basin 205.
- Parking and Access:**
 - Multiple parking lots are distributed throughout the campus, primarily along the northern and eastern boundaries.
 - Access points are marked with arrows and labels such as L1, L2, L3, L4, E1, E2, E3, E4, E5, E6, E7, E8, E9, E10, E11, E12, E13, E14, E15, E16, E17, E18, E19, E20, E21, E22, E23, E24, E25, E26, E27, E28, E29, E30, E31, E32, E33, E34, E35, E36, E37, E38, E39, E40, E41, E42, E43, E44, E45, E46, E47, E48, E49, E50, E51, E52, E53, E54, E55, E56, E57, E58, E59, E60, E61, E62, E63, E64, E65, E66, E67, E68, E69, E70, E71, E72, E73, E74, E75, E76, E77, E78, E79, E80, E81, E82, E83, E84, E85, E86, E87, E88, E89, E90, E91, E92, E93, E94, E95, E96, E97, E98, E99, E100.
- Other Features:**
 - LA CUEVA HIGH SCHOOL:** The main name of the institution is prominently displayed across the central and eastern portions of the map.
 - Basin 205C ADDITION:** A specific area of expansion or renovation is highlighted within Basin 205.
 - Weight ROOM:** A dedicated space for physical education or sports equipment is located near the main building complex.

The map includes various survey data points, such as bearings (e.g., S 89°37'04" E, N 00°08'47" E, N 89°13'14" W) and distances (e.g., 892.66', 1842.50', 1500.00'). It also shows existing structures, parking spaces, and landscaping elements like trees and lawns.

PROJECT BENCHMARK

AN ACS 3 1/4" ALUMINUM DISK STAMPED "7"-C19
1995" SET IN THE TOP OF CURB. THE STATION IS
LOCATED IN NNW CURB RETURN OF THE
INTERSECTION OF BARSTOW STREET NE. AND SIGNAL
AVENUE NE.
ELEVATION = 5485.72 FEET (NAVD 1985)

TEMPORARY BENCHMARK #1 (T.B.M.)

A MAG NAIL SET IN ASPHALT, AS SHOWN THIS
SITE SHEET
ELEVATION = 5427.91 FEET (NAVD 1988)

TEMPORARY BENCHMARK #2 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMC/C CONTROL NMPS
1184" SET JUST WEST OF NORTHERN ENTRANCE TO
PARKING LOT AS SHOWN THIS SHEET
ELEVATION = 5441.14 FEET (NAVD 1988)

TEMPORARY BENCHMARK #3 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMC/C CONTROL NMPS
1184" SET SOUTH OF THE PARKING LOT, AS SHOWN
THIS SHEET
ELEVATION = 5458.32 FEET (NAVD 1988)

TEMPORARY BENCHMARK #4 (T.B.M.)

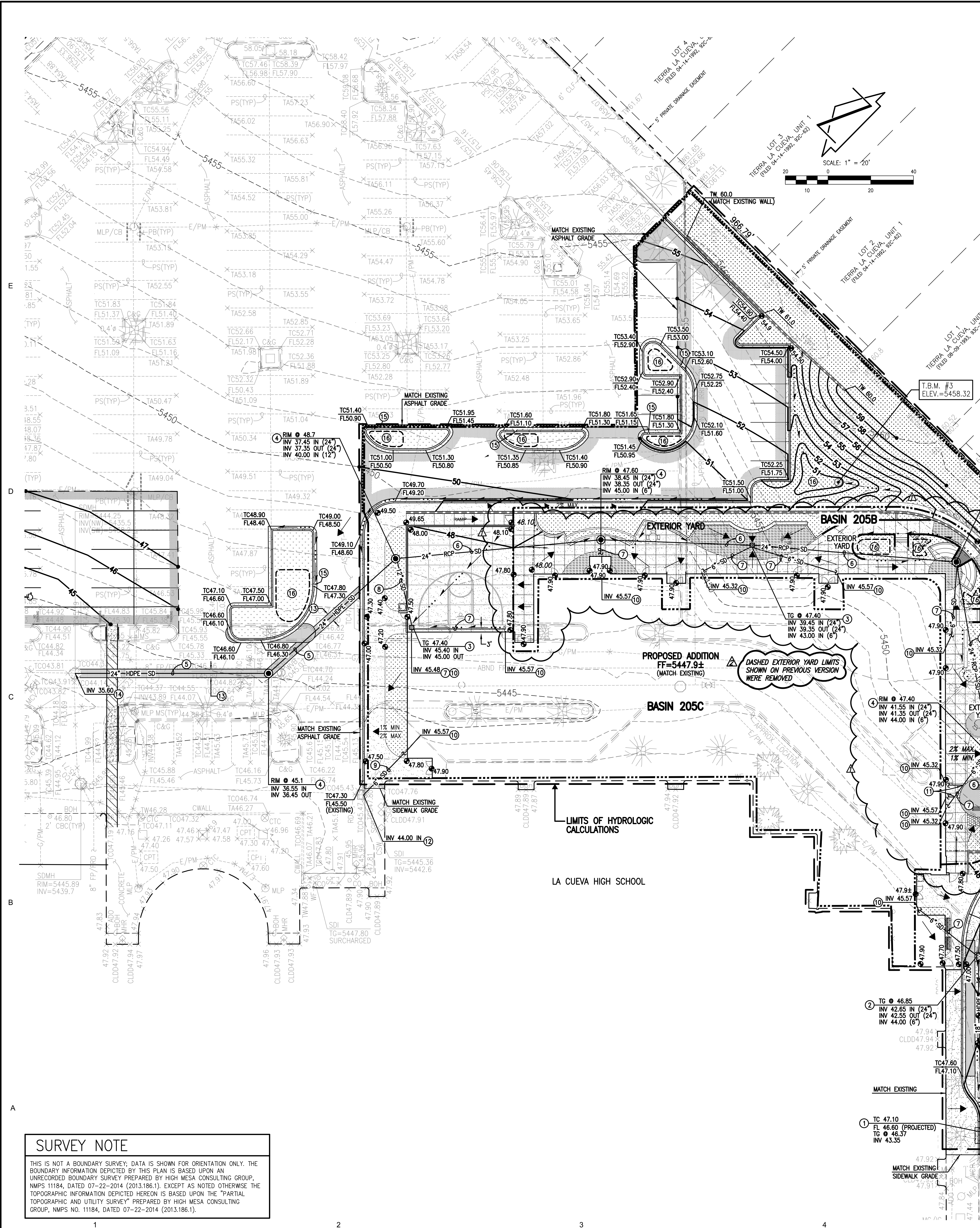
A MAG NAIL SET IN SOUTHERN ASPHALT PARKING
LOT AS SHOWN THIS SHEET
ELEVATION = 5458.66 FEET (NAVD 1985)

SHEET NUMBER
CS-101

2014.017.1

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File Name:	140171_CS-101.DWG	Plot Time:	10:07 am



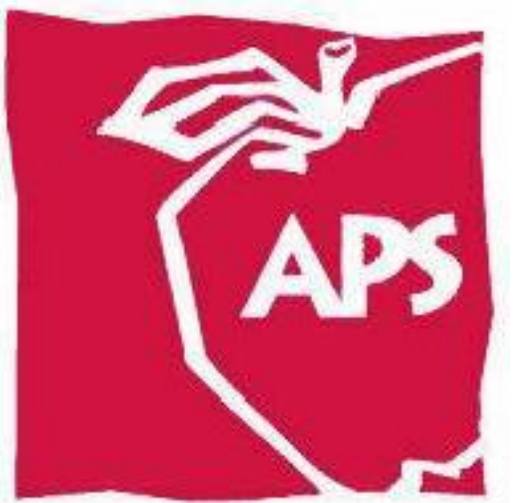
- RCP STORM DRAIN NOTES:**
1. ALL STORM DRAIN TO BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
 2. ALL MANHOLES SHALL BE 6' DIAMETER TYPE 'C' PER CITY OF ALBUQUERQUE STANDARD DRAWING 2101 UNLESS OTHERWISE NOTED.
 3. ALL STATIONING SHOWN HEREON IS BASED ON CONSTRUCTION BASELINE UNLESS OTHERWISE NOTED. SLOPES ARE BASED ON TRUE LENGTH OF PIPE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND INSTALL PIPE SO AS TO NOT INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING. THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
 6. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER APPROVAL.
- HDPE PIPE CONSTRUCTION NOTES:**
1. HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M 294 TYPE S FOR HDPE STORM DRAIN SYSTEMS.
 2. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D3212. THE SPOCKETS SHALL HAVE O-RING GASKETS MEETING THE REQUIREMENTS OF ASTM F 477.
 3. THE CONTRACTOR'S PROJECT SUPERINTENDENT AND FOREMAN OF THE PIPE-LAYING CREW SHALL SUBMIT TO THE OWNER A CERTIFICATE INDICATING COMPLETION OF AN ON-LINE TRAINING PROGRAM OFFERED BY ADS (ADS-PIPE.COM) OR OTHER MANUFACTURER AS APPROVED BY THE OWNER.
 4. INSTALLATION SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS.
 5. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 701 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
 6. THE PIPE SHALL BE BEDDED IN A FOUNDATION OF COMPACTED GRANULAR MATERIAL THAT IS FREE OF ORGANIC MATTER, CLAY LUMPS, AND OTHER DELETERIOUS MATTER. THIS MATERIAL SHALL EXTEND A MINIMUM OF 6 INCHES BELOW THE OUTERMOST CORRUGATIONS AND BE USED FOR BACKFILL UP TO A MINIMUM OF 1 FOOT ABOVE THE TOP OF PIPE. UNTIL A MINIMUM COVER OF 1 FOOT IS ATTAINED, ONLY HAND OPERATED TAMPING EQUIPMENT MAY BE USED IN THE TRENCH PRIOR TO THE PIPE.
 7. CONCRETE STRUCTURE CONNECTIONS FOR HDPE PIPE WILL REQUIRE THE USE OF A WATER STOP THAT MEETS THE PHYSICAL PROPERTIES OF ASTM C923. INSTALLATION SHALL BE PER MANUFACTURER'S SPECIFICATIONS.
 8. NEW HDPE LINE INSTALLATIONS SHALL INCLUDE INSULATED 12 GAUGE COPPER TRACER WIRE INSTALLED CONTINUOUSLY ALONG THE PIPE WITH WATER-PROOF SPLICE BOXES AT JUNCTIONS AND TEES. TRACER WIRE SHALL BE ACCESSIBLE AT CLEANOUTS AND SERVICES. TRACER WIRE INSTALLATION SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

- CONSTRUCTION NOTES:**
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM, 811, FOR DESIGNATION OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
 5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE, ABOVEGROUND DISTRIBUTION MAPS AND UTILITY LINE-SPOTS PROVIDED BY ONPOINT UTILITY LOCATING SERVICES, SITE UTILITY DIAGRAM (PRIVATE) DATED JUNE 18, 2014. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE-CALL SERVICE (TICKET # 2014232322). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
- EROSION CONTROL MEASURES:**
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

- KEYED NOTES:**
1. CONSTRUCT TYPE "A" INLET PER STD DWG 2201, SHEET CG-501
 2. CONSTRUCT TYPE "D" INLET PER STD DWG 2206, SHEET CG-501
 3. CONSTRUCT 24"x24" STORM INLET WITH ADA COMPLIANT GRATE, PER TYPICAL SECTION SHEET, CG-501
 4. CONSTRUCT SDMH PER STD DWG'S 2101 AND 2102, SHEET CG-502 WITH VENTED COVER
 5. INSTALL 24" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S=0.0100
 6. INSTALL 24" RCP (CLASS III) STORM DRAIN @ S=0.0100
 7. INSTALL 6" HDPE (SMOOTH INTERIOR) STORM DRAIN
 8. INSTALL 12" HDPE (SMOOTH INTERIOR) STORM DRAIN
 9. INSTALL 18" HDPE (SMOOTH INTERIOR) STORM DRAIN
 10. CONNECT TO ROOF DRAIN REFER TO PLUMBING PLANS FOR CONTINUATION. INSTALL TRACER WIRE PORT AT CLEANOUT
 11. INSTALL 6"x6" HDPE WYE
 12. CONSTRUCT NEW STORM INLET CONNECTION TO EXISTING INLET CORE DRILL 12" OPENING AND INSERT NEW PIPE WITH WATER STOP AND GROUT OPENING
 13. NEATLY SAWCUT, REMOVE, AND REPLACE ASPHALT PAVEMENT PER UTILITY PAVING CUT SECTION, SHEET CG-501
 14. CONSTRUCT NEW STORM DRAIN CONNECTION TO EXISTING MANHOLE CORE DRILL 30" OPENING AND INSERT NEW PIPE WITH WATER STOP AND GROUT OPENING
 15. CURB OPENING FOR RUNOFF TO ENTER ISLAND
 16. DEPRESS LANDSCAPING FOR WATER RETENTION
- NOTE:**
FOR IMPROVEMENTS AND DETAILED GRADING IN EXTERIOR YARD - SEE LANDSCAPING PLANS, SHEET LL-101. GRADING AT ALL AREAS INDICATED AS "LANDSCAPING, GRAVEL, OR AS CRUSHER FINES" SHALL BE MINUS 4" BELOW GRADES INDICATED. GRADING AT AREAS INDICATED AS "ARTIFICIAL TURF" SHALL BE MINUS 6" BELOW GRADES INDICATED.

SURVEY NOTE

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RMKM

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07/01 R/C ADDENDUM #1
06/28 R/C ADDENDUM #1

PROJECT
APS
APS LA CUEVA ISP &
WEIGHT ROOM -
RENOVATIONS &
ADDITIONS

7801 WILSHIRE AVE NE ALBUQUERQUE,
NM 87122

SHEET TITLE
GRADING PLAN ISP ADDITION

100% CONSTRUCTION
DOCUMENTS

SHEET NUMBER
CG-101-A

SCALE

NAD83 PROJECT NO.

1401

DRAWING FILE NO.

2014.017.1

DATE

JUNE 07TH, 2016

PROJECT MANAGER

GRAEME MEANS

DRAWN BY

J.V.R./C.C.R./J.C.

CHECKED BY

J.V.R./C.C.R./J.C.

DATE

05-23-2016

06-28-2016

07-01-2016

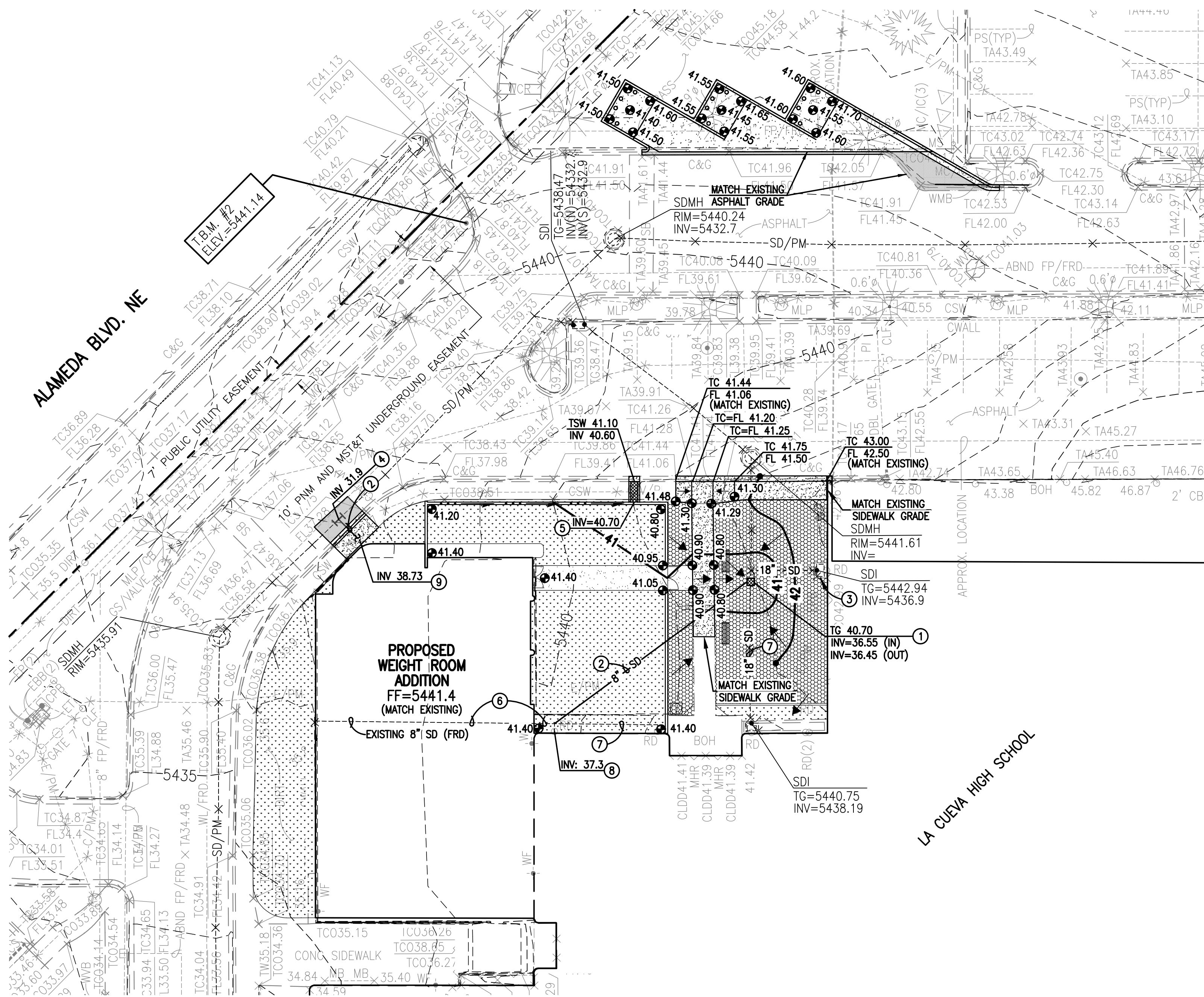
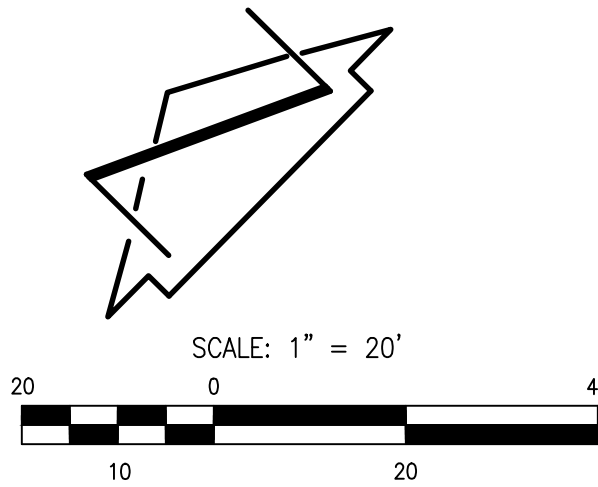
2014.017.1

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HDPE PIPE CONSTRUCTION NOTES:

1. HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M 284 TYPE S FOR HDPE STORM DRAIN SYSTEMS.
2. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D3212. THE SPIGOTS SHALL HAVE O-RING GASKETS MEETING THE REQUIREMENTS OF ASTM F 477.
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5. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 701 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
6. THE PIPE SHALL BE BEDDED IN A FOUNDATION OF COMPACTED GRANULAR MATERIAL THAT IS FREE OF ORGANIC MATTER, CLAY LUMPS, AND OTHER DELETERIOUS MATTER. THIS MATERIAL SHALL EXTEND A MINIMUM OF 6 INCHES BELOW THE OUTERMOST CORRUGATIONS AND BE USED FOR BACKFILL UP TO A MINIMUM OF 1 FOOT ABOVE THE TOP OF PIPE. UNTIL A MINIMUM COVER OF 1 FOOT IS ATTAINED, ONLY HAND OPERATED TAMPING EQUIPMENT MAY BE USED IN THE TRENCH PRISM OVER THE PIPE.
7. CONCRETE STRUCTURE CONNECTIONS FOR HDPE PIPE WILL REQUIRE THE USE OF A WATER STOP THAT MEETS THE PHYSICAL PROPERTIES OF ASTM C923. INSTALLATION SHALL BE PER MANUFACTURER'S SPECIFICATIONS.
8. NEW HDPE LINE INSTALLATIONS SHALL INCLUDE INSULATED 12 GAUGE COPPER TRACER WIRE INSTALLED CONTINUOUSLY ALONG THE PIPE WITH WATER-PROOF SPICE BOXES AT JUNCTIONS AND TEES. TRACER WIRE SHALL BE ACCESSIBLE AT ALL CLEANOUTS AND SERVICES. TRACER WIRE INSTALLATION SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.



CONSTRUCTION NOTES:

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2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ONSITE SURFACE EVIDENCE, ABOVEGROUND DISTRIBUTION MAPS AND UTILITY LINE-SPOTS PROVIDED BY ONPOINT UTILITY LOCATING SERVICES, SITE UTILITY DIAGRAM (PRIVATE) DATED JUNE 18, 2014. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET # 2014232522). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (NOI) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES:

- ① CONSTRUCT 24"x24" STORM INLET WITH (ADA) COMPLIANT GRATE PER TYPICAL SECTION SHEET, CG-501
- 2 INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN
- 3 EXISTING INLET TO REMAIN.
- 4 INSTALL 18"x18"x8" HDPE TEE
- 5 CORE DRILL 6" WALL OPENING. ALIGN OPENING WITH PROPOSED SIDEWALK CULVERT
- 6 REMOVE AND DISPOSE OF EXISTING STORM DRAIN
- 7 EXISTING STORM DRAIN TO REMAIN
- 8 CONNECT NEW 8" STORM DRAIN TO EXISTING 8" ROOF DRAIN
- ⑨ CONNECT TO BUILDING ROOF DRAIN. REFER TO PLUMBING PLANS FOR CONTINUATION

NOTE:
GRADING AT ALL AREAS INDICATED AS "LANDSCAPING, GRAVEL, OR AS CRUSHER FINES" SHALL BE MINUS 4" BELOW GRADES INDICATED. GRADING AT AREAS INDICATED AS ARTIFICIAL TURF SHALL BE MINUS 6" BELOW GRADES INDICATED.



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PROJECT
APS
APS LA CUEVA ISP &
WEIGHT ROOM -
RENOVATIONS &
ADDITIONS

7801 WILSHIRE AVE NE ALBUQUERQUE,
NM 87122

SHEET TITLE
GRADING PLAN
WEIGHT ROOM ADDITION
100% CONSTRUCTION
DOCUMENTS

SHEET NUMBER
CG-101-B

SCALE
NADN PROJECT NO.
1401
DRAWING FILE NO.
2014.017.1
DATE
JUNE 8TH, 2016
PROJECT MANAGER
GRAEME MEANS
DRAWN BY
J.V.R./E.C.C./R.J.C.



File Path: P:\DATA\20140717\N661 Plot Date: 05-23-2016
File Name: 140177_05-301.DWG Plot Time: 12:06 pm

A

C

D

E

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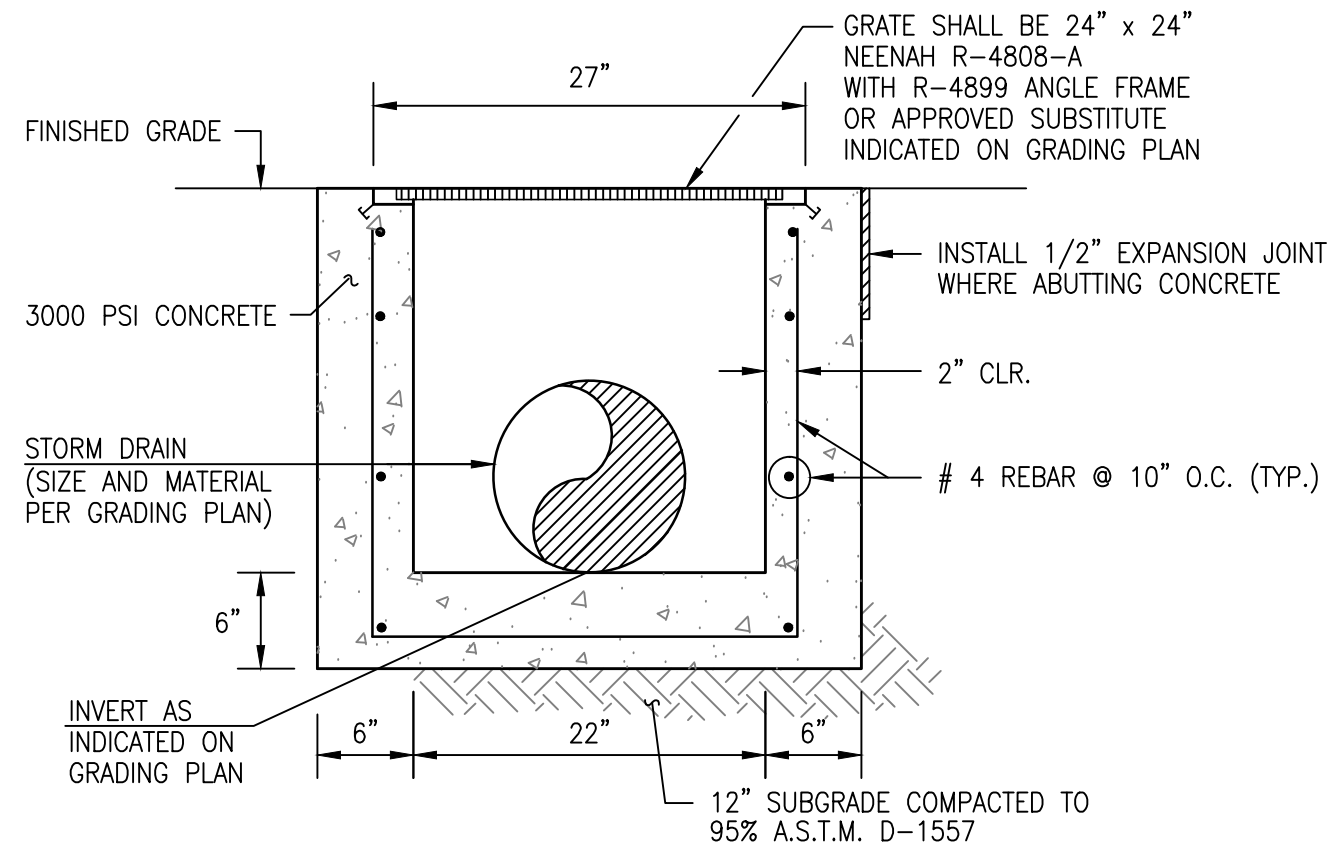
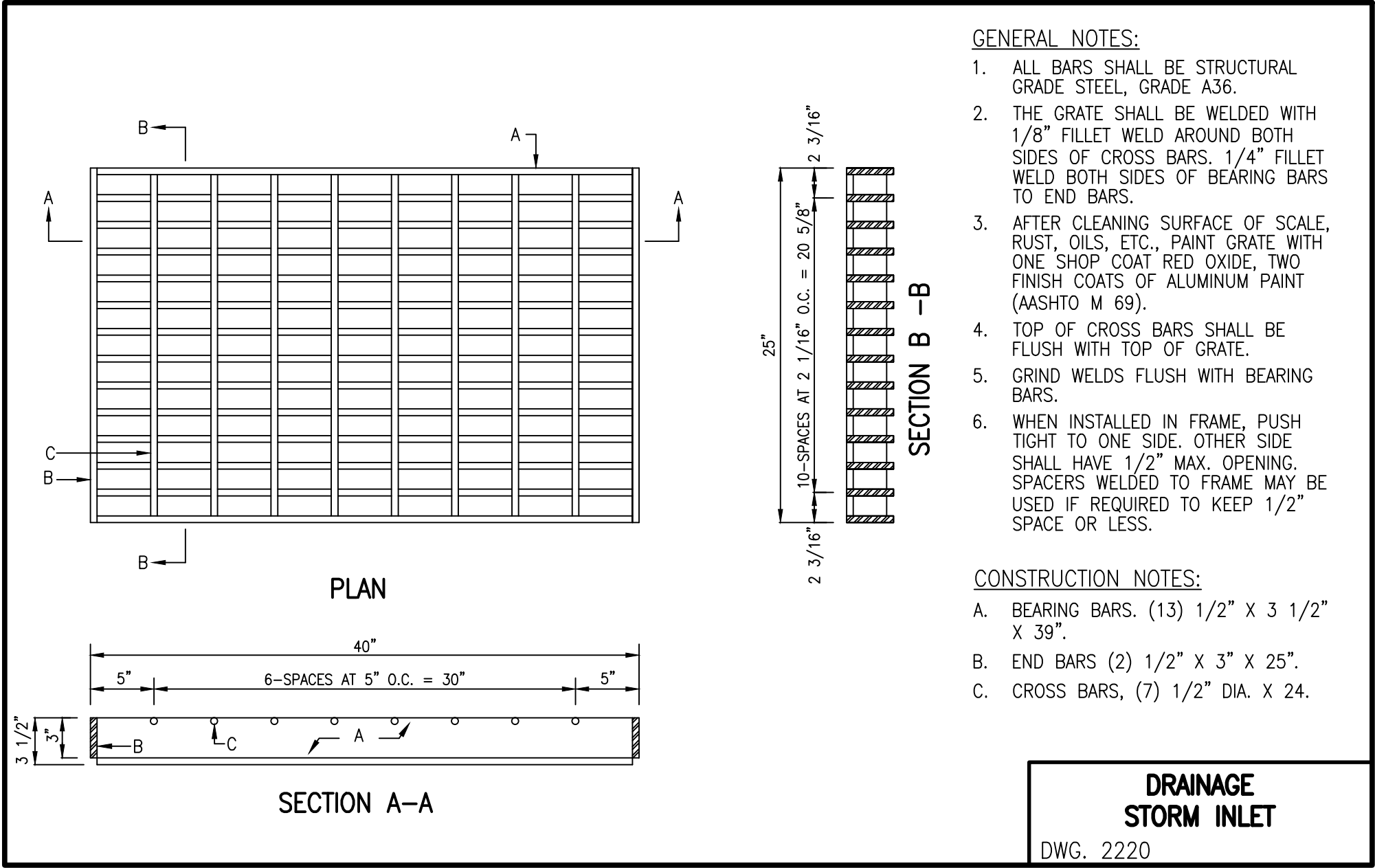
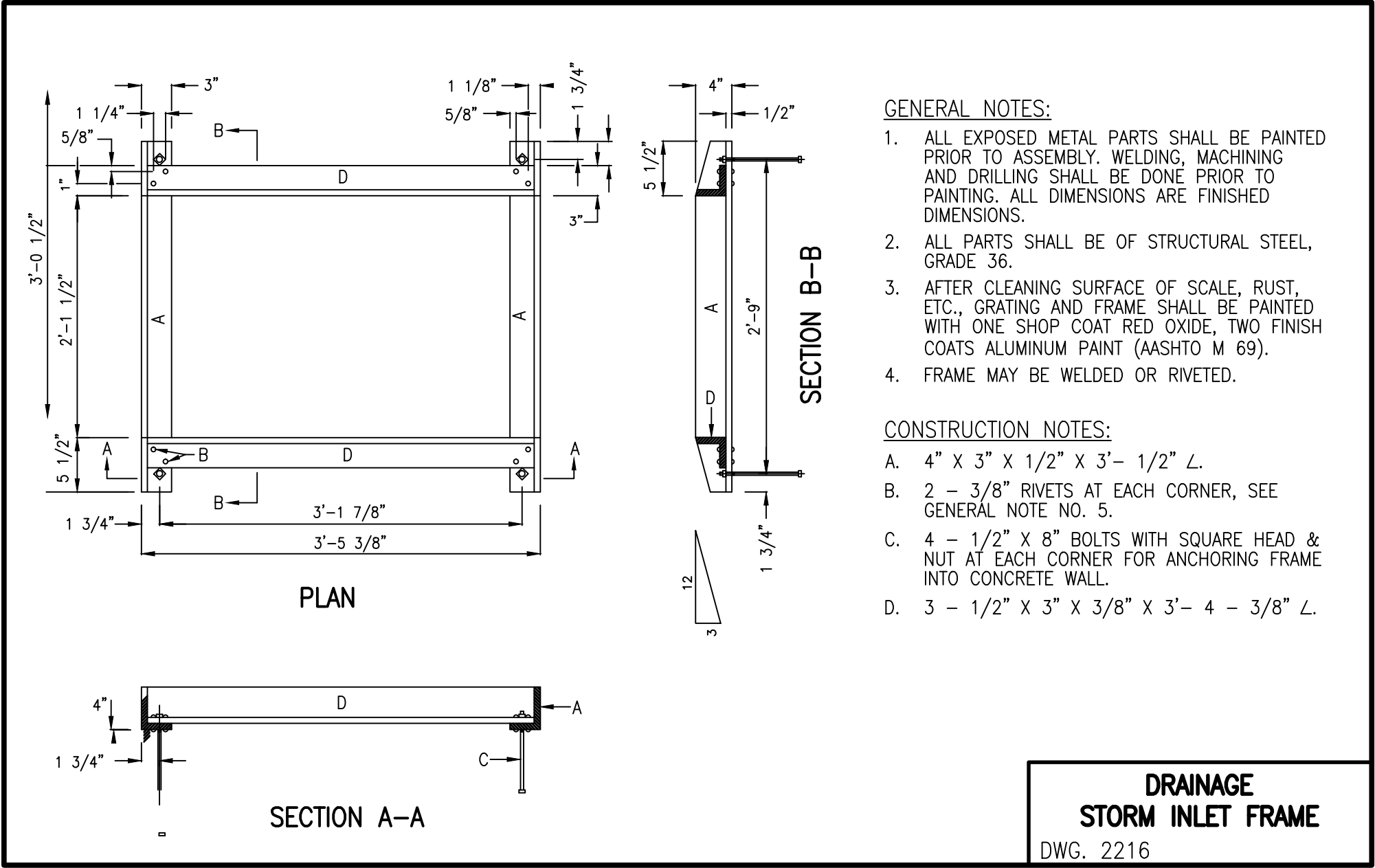
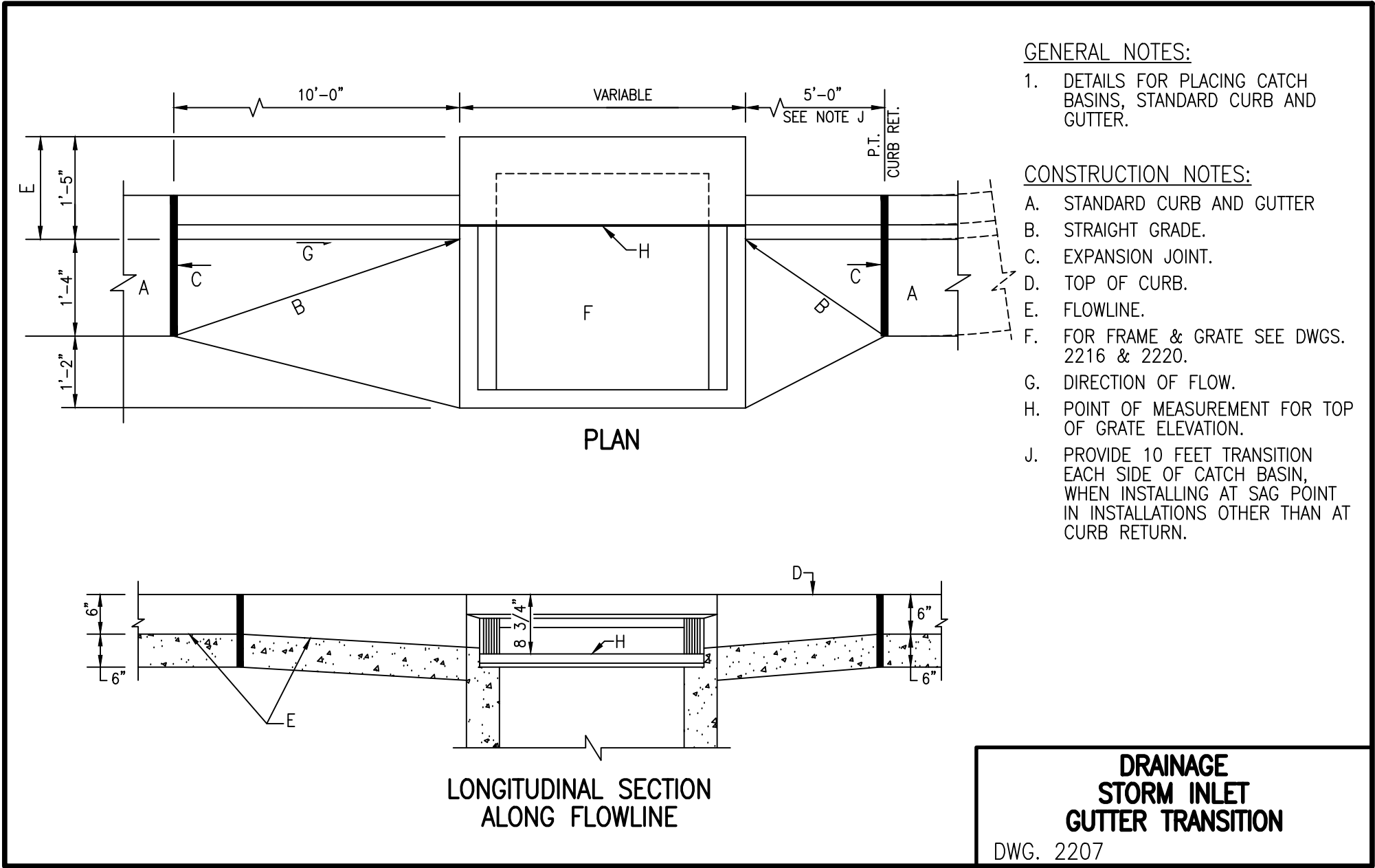
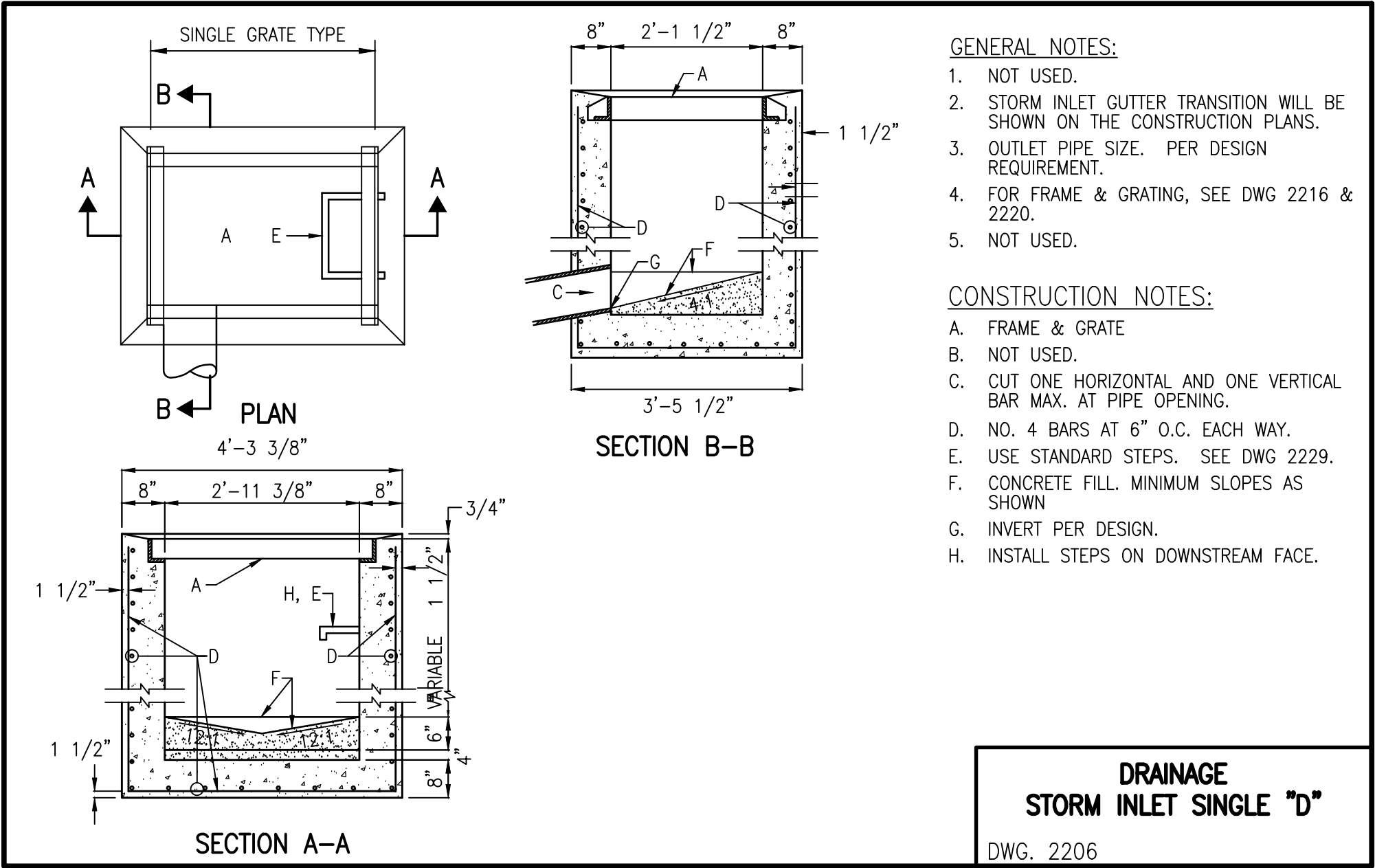
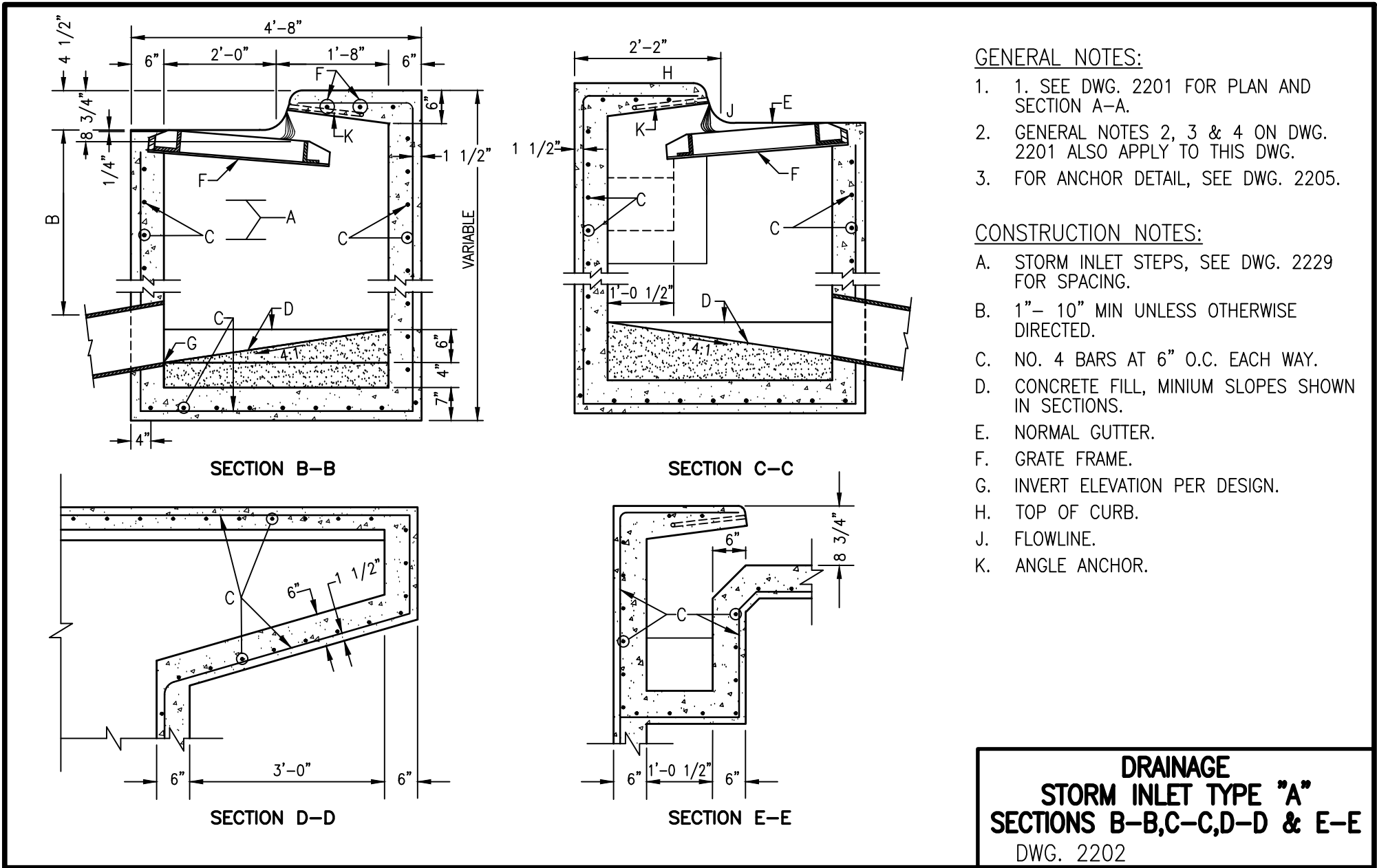
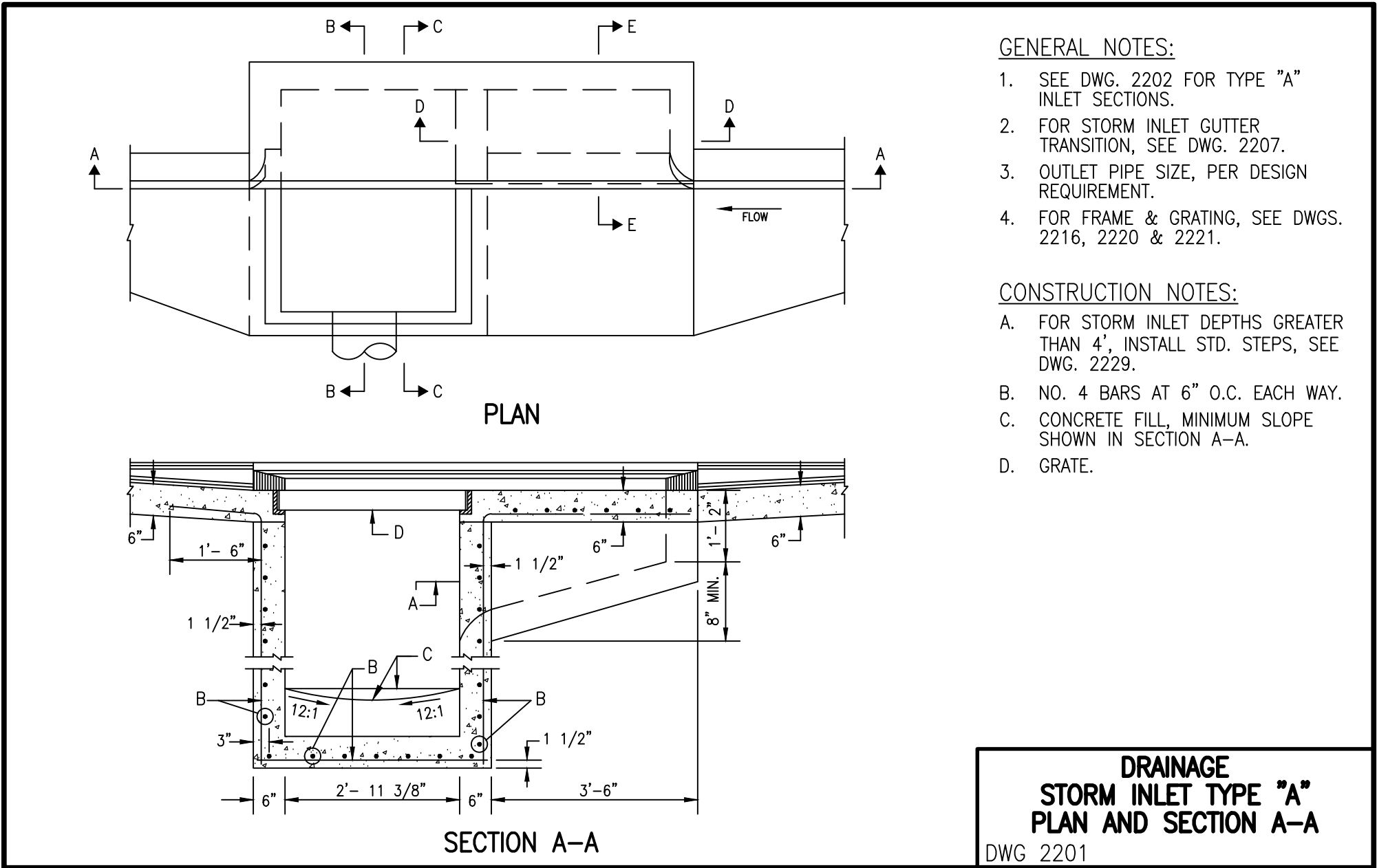
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3

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5

6



(B4) TYPICAL 24"x24" STORM INLET SECTION
SCALE: 1" = 1' - 0"



RMKM

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PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

PROJECT APS	SCALE
APS LA CUEVA ISP & WEIGHT ROOM - RENOVATIONS & ADDITIONS	
7801 WILSHIRE AVE NE ALBUQUERQUE, NM 87122	
SHEET TITLE GRADING AND DRAINAGE SECTIONS AND DETAILS	
100% CONSTRUCTION DOCUMENTS	
SHEET NUMBER CG-501	
DATE JUNE 6TH, 2016	
PROJECT MANAGER GRAEME MEANS	
DRAWN BY J.V.R./S.C.C./R.J.C.	
APPROVED GRAEME MEANS	
DATE 05-23-2016	

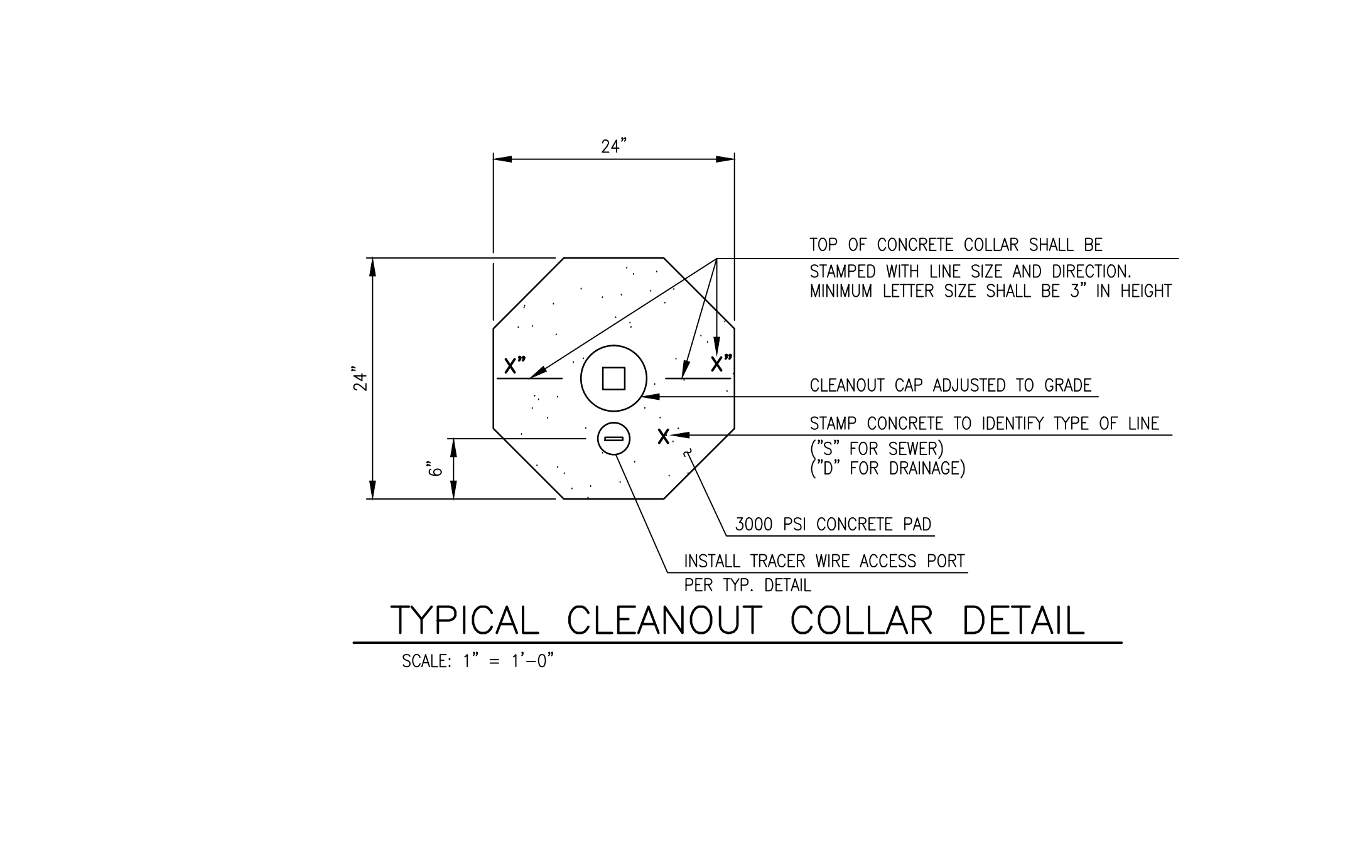
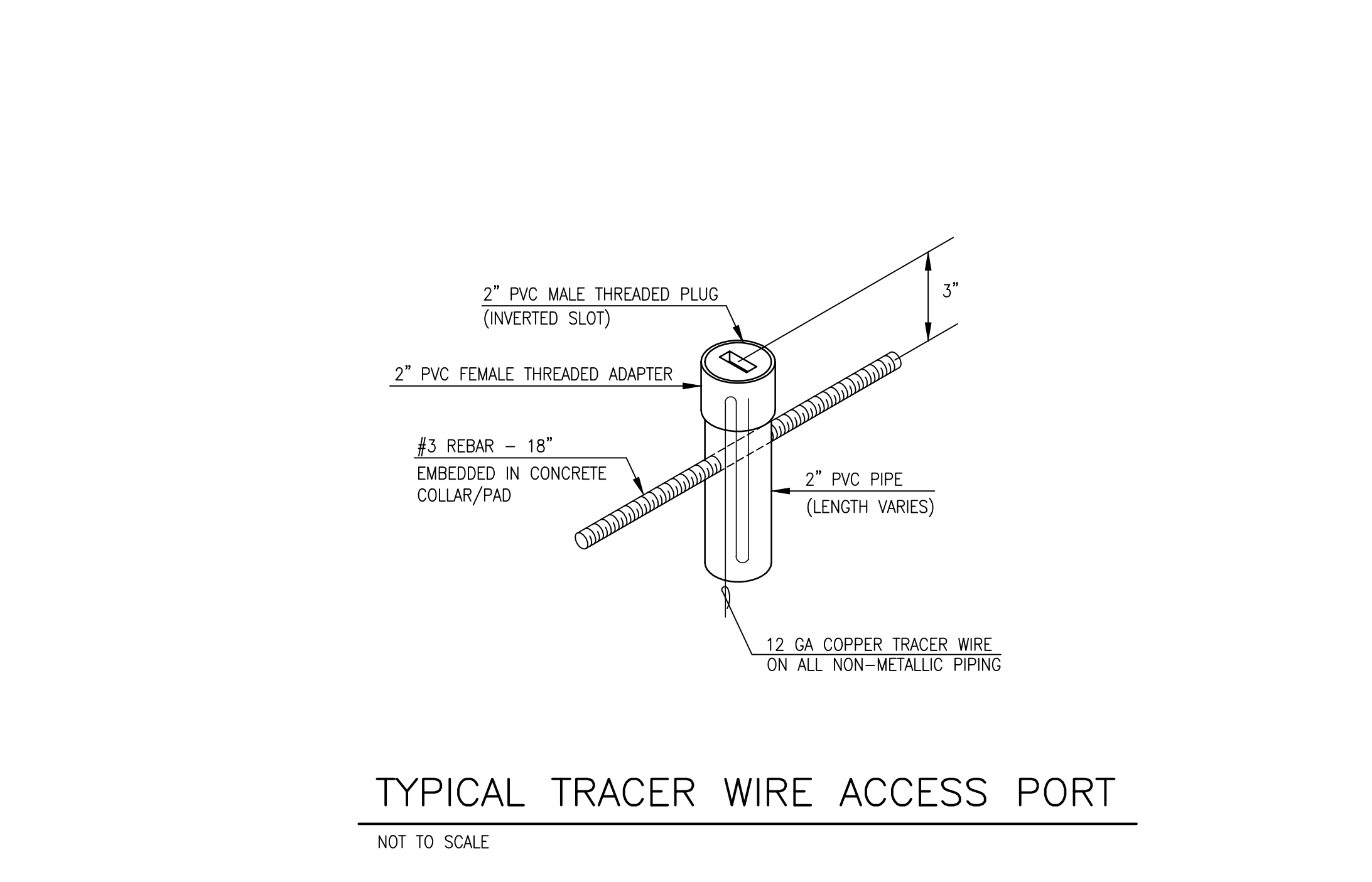
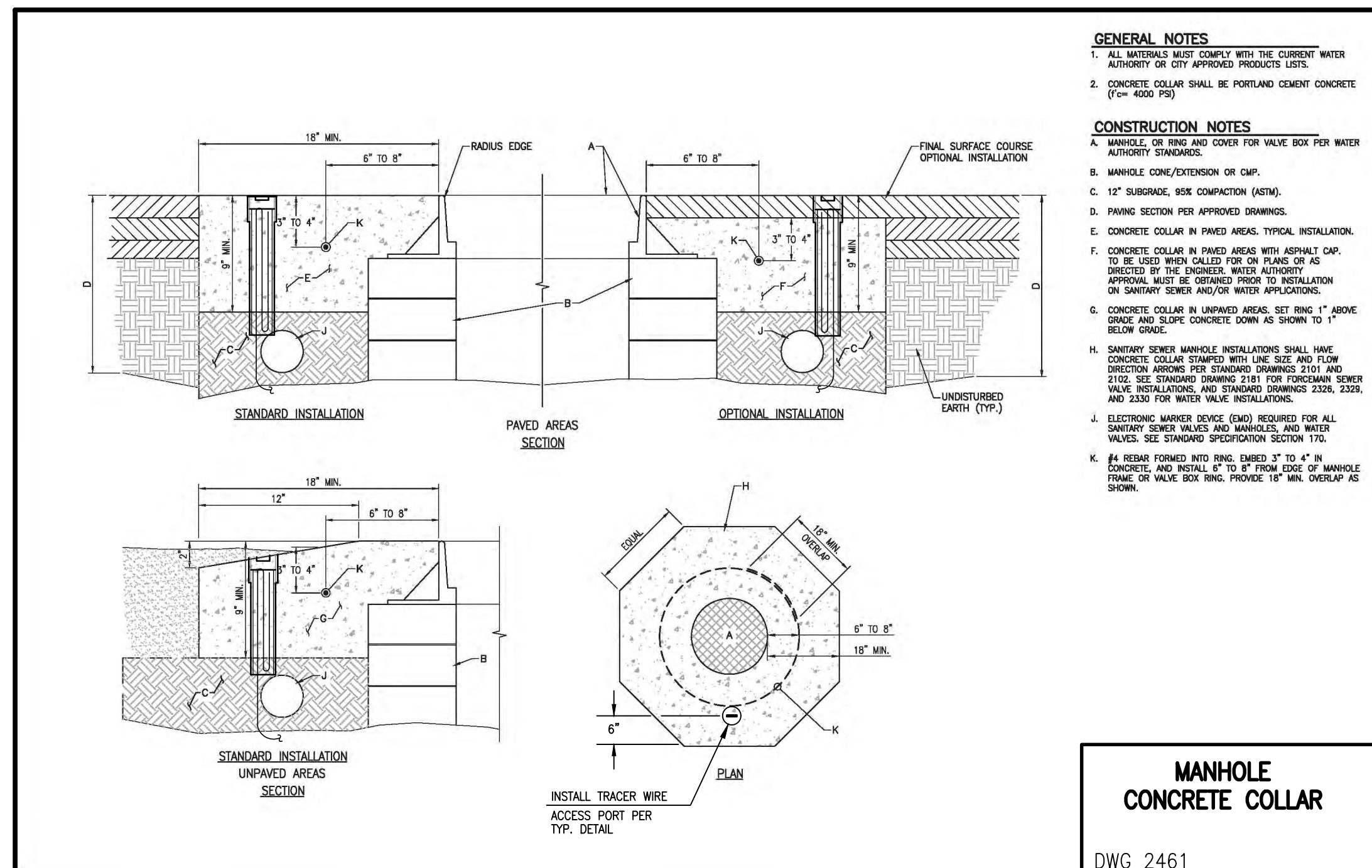
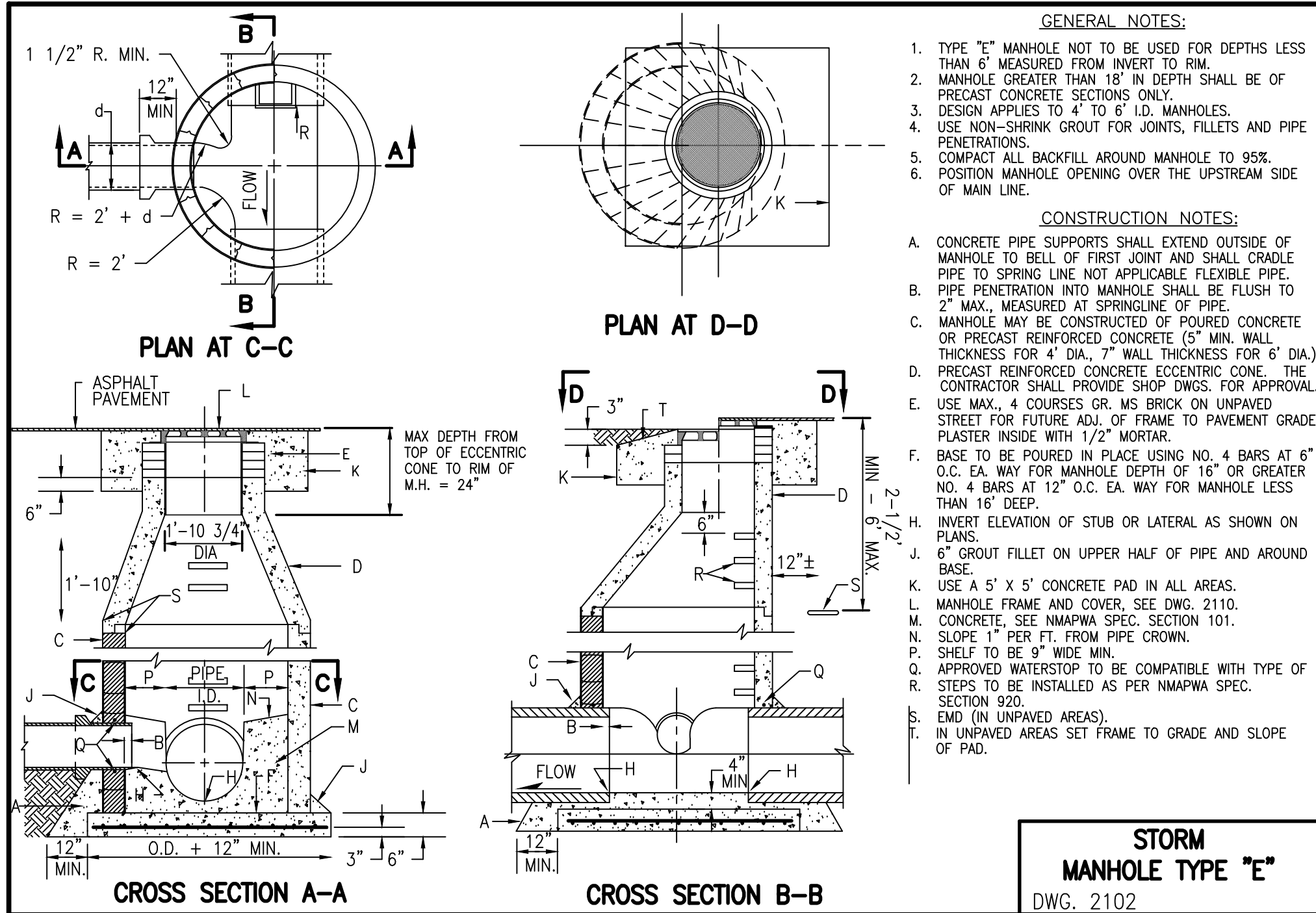
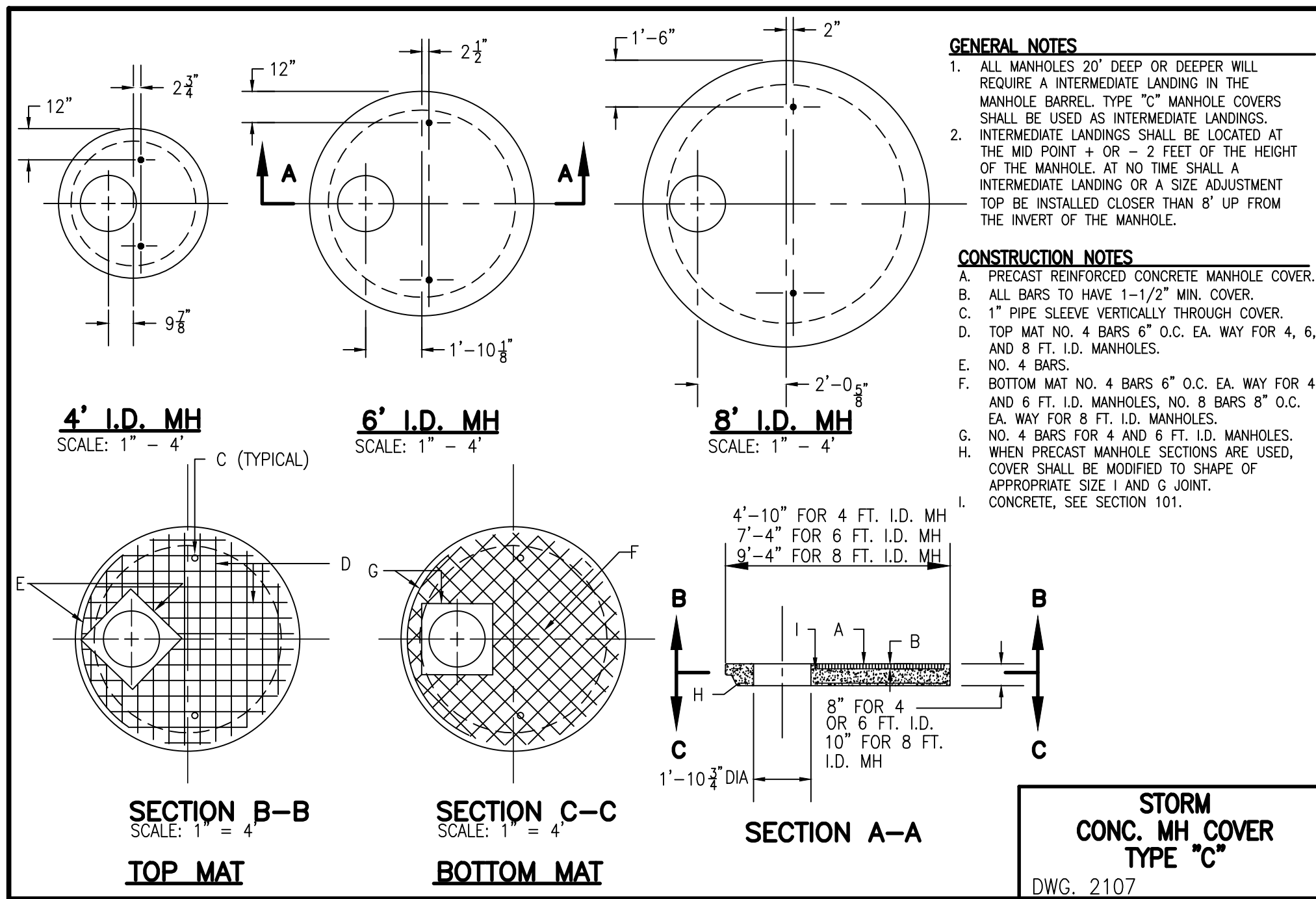
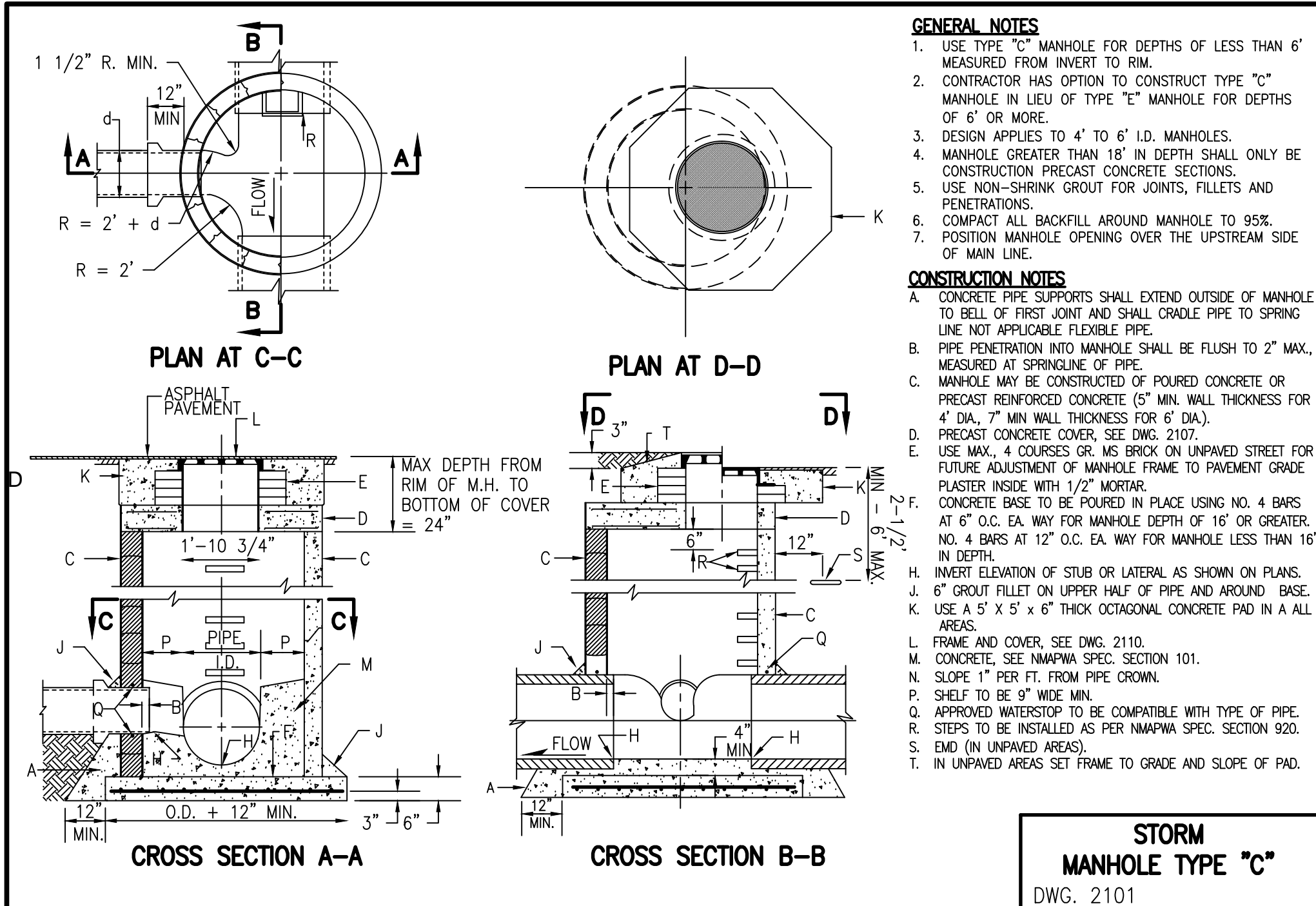
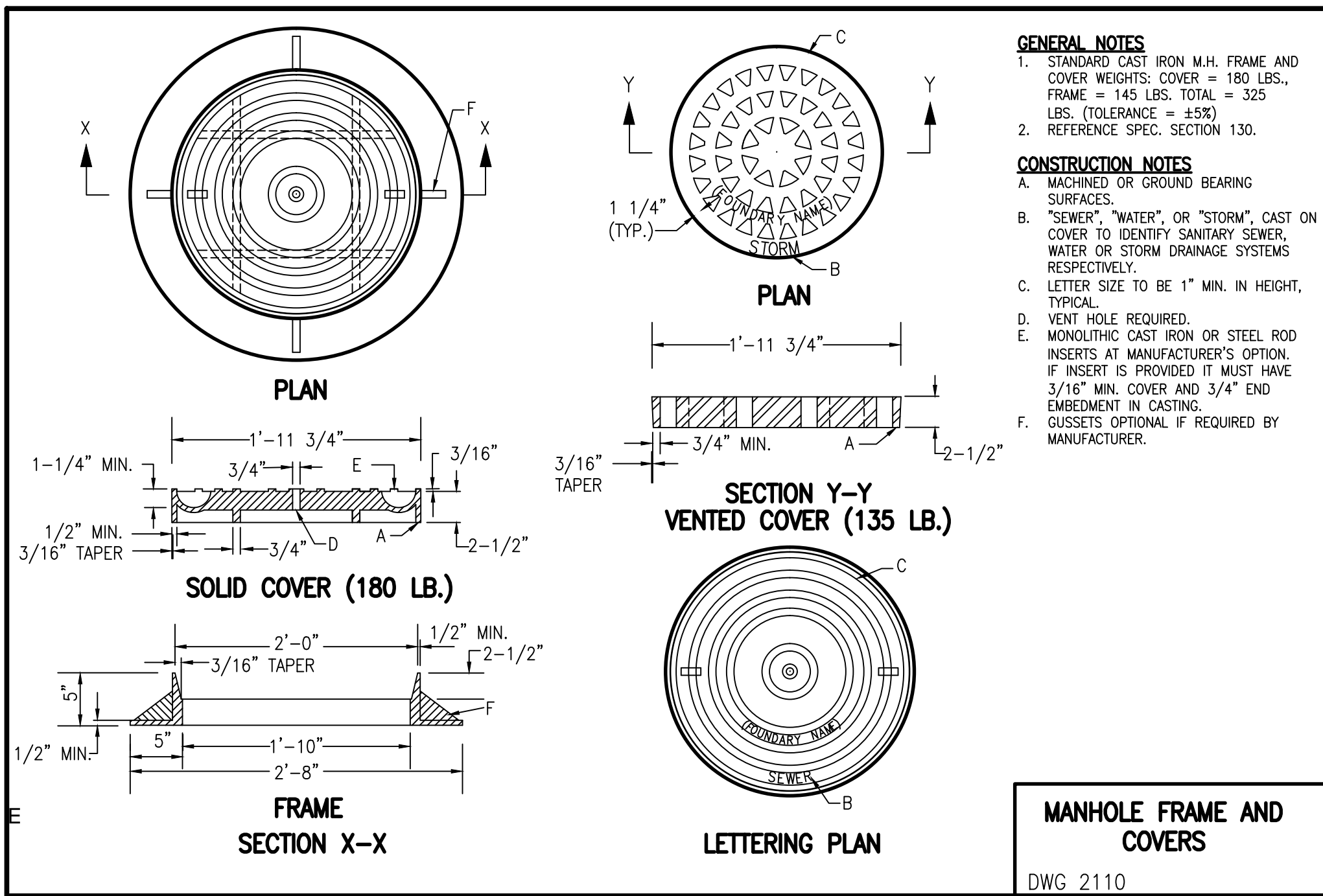


2014.017.1

C

B

A



RMKM

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PROJECT
APS

8701 WILSHIRE AVE NE ALBUQUERQUE, NM 87122

SHEET TITLE
GRADING AND DRAINAGE SECTIONS AND DETAILS

100% CONSTRUCTION DOCUMENTS

SHEET NUMBER
CG-502

SCALE
1" = 1'-0"

NAWMVA PROJECT NO.
1401

DRAWING FILE NO.
2014.017.1

DATE
JUNE 8TH, 2016

PROJECT MANAGER
GRAEME MEANS

DRAWN BY
J.V.R./S.C.C./R.J.C.

13676

NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

05-23-2016

2014.017.1

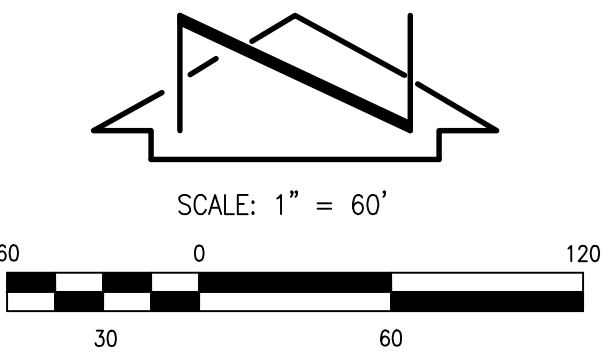
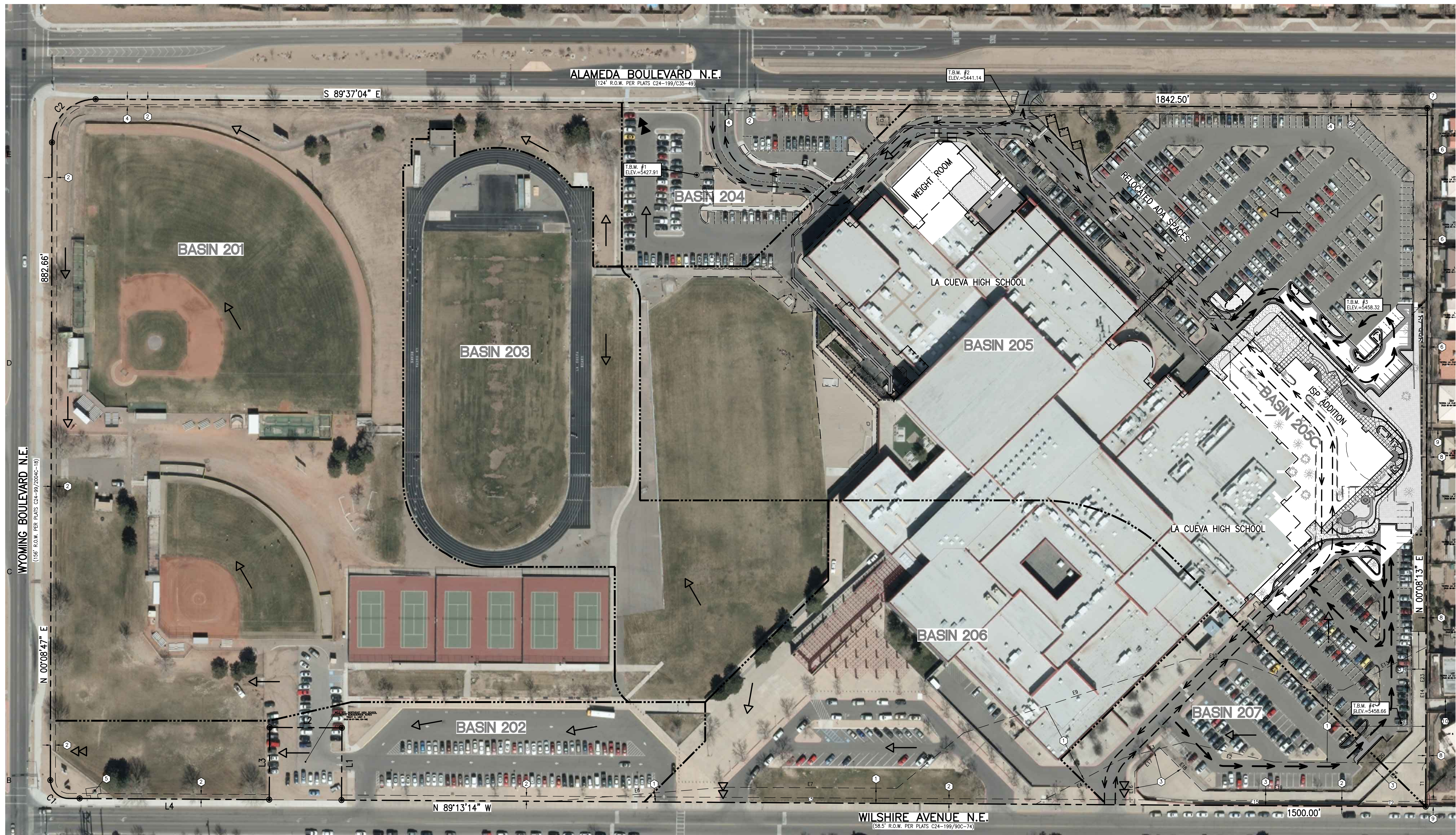


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LEGEND	BOUNDARY TABLES	EASEMENT TABLE	KEYED NOTES	BENCHMARKS																																																																																																																					
<div><div><div>←</div><div>←</div><div>←</div></div><div>EXISTING TRAFFIC FLOW</div><div><div>←</div><div>←</div><div>←</div></div><div>PROPOSED TRAFFIC FLOW</div></div>	<table><tr><th>LINE</th><th>DIRECTION</th><th>DISTANCE</th></tr><tr><td>L1</td><td>N 00°20'46" E</td><td>100.00'</td></tr><tr><td>L2</td><td>N 89°39'14" W</td><td>100.00'</td></tr><tr><td>L3</td><td>S 00°20'46" W</td><td>100.00'</td></tr><tr><td>L4</td><td>N 89°39'14" W</td><td>277.99'</td></tr></table> <table><tr><th>CURVE</th><th>RADIUS</th><th>LENGTH</th><th>CHORD</th><th>CHORD BEARING</th><th>DELTA</th></tr><tr><td>C1</td><td>25.00'</td><td>39.35'</td><td>35.41'</td><td>N 44°33'35" W</td><td>90°11'08"</td></tr><tr><td>C2</td><td>60.00'</td><td>94.50'</td><td>85.03'</td><td>N 45°15'51" E</td><td>90°14'22"</td></tr></table> <div>LEGAL DESCRIPTION</div> <div>TRACT A, LA CUEVA HIGH SCHOOL, ALBUQUERQUE, NEW MEXICO, FILED APRIL 23, 1993, PLAT BOOK 93C, PAGE 114, DOCUMENT NO. 1993041180.</div>	LINE	DIRECTION	DISTANCE	L1	N 00°20'46" E	100.00'	L2	N 89°39'14" W	100.00'	L3	S 00°20'46" W	100.00'	L4	N 89°39'14" W	277.99'	CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA	C1	25.00'	39.35'	35.41'	N 44°33'35" W	90°11'08"	C2	60.00'	94.50'	85.03'	N 45°15'51" E	90°14'22"	<table><tr><th>LINE</th><th>DIRECTION</th><th>DISTANCE</th></tr><tr><td>E1</td><td>N 89°39'03" W</td><td>210.50'</td></tr><tr><td>E2</td><td>N 77°20'00" W</td><td>126.00'</td></tr><tr><td>E3</td><td>S 75°21'00" W</td><td>87.00'</td></tr><tr><td>E4</td><td>S 62°21'00" W</td><td>138.00'</td></tr><tr><td>E5</td><td>N 89°39'03" W</td><td>670.00'</td></tr><tr><td>E6</td><td>N 85°20'00" E</td><td>240.00'</td></tr><tr><td>E7</td><td>S 89°39'03" E</td><td>238.00'</td></tr><tr><td>E8</td><td>N 50°21'00" E</td><td>120.00'</td></tr><tr><td>E9</td><td>N 71°50'00" E</td><td>328.00'</td></tr><tr><td>E10</td><td>S 89°39'03" E</td><td>65.00'</td></tr><tr><td>E11</td><td>S 67°39'00" E</td><td>111.00'</td></tr><tr><td>E12</td><td>S 89°39'03" E</td><td>46.46'</td></tr></table> <table><tr><th>LINE</th><th>DIRECTION</th><th>DISTANCE</th></tr><tr><td>E13</td><td>N 62°38'30" E</td><td>128.44'</td></tr><tr><td>E14</td><td>S 00°08'24" W</td><td>160.00'</td></tr><tr><td>E15</td><td>N 89°39'03" W</td><td>307.27'</td></tr><tr><td>E16</td><td>N 00°07'26" E</td><td>46.43'</td></tr><tr><td>E17</td><td>N 45°16'44" E</td><td>47.58'</td></tr><tr><td>E18</td><td>S 44°35'45" E</td><td>85.12'</td></tr><tr><td>E19</td><td>S 89°40'51" E</td><td>205.29'</td></tr><tr><td>E20</td><td>N 45°22'52" E</td><td>117.72'</td></tr><tr><td>E21</td><td>N 00°09'22" W</td><td>139.34'</td></tr><tr><td>E22</td><td>S 89°29'49" W</td><td>20.75'</td></tr><tr><td>E23</td><td>S 00°08'24" W</td><td>147.35'</td></tr><tr><td>E24</td><td>S 45°17'39" W</td><td>134.36'</td></tr></table> <table><tr><td>T1</td><td>S 00°08'24" W</td><td>60.42'</td></tr><tr><td>T2</td><td>N 89°39'03" W</td><td>95.27'</td></tr></table>	LINE	DIRECTION	DISTANCE	E1	N 89°39'03" W	210.50'	E2	N 77°20'00" W	126.00'	E3	S 75°21'00" W	87.00'	E4	S 62°21'00" W	138.00'	E5	N 89°39'03" W	670.00'	E6	N 85°20'00" E	240.00'	E7	S 89°39'03" E	238.00'	E8	N 50°21'00" E	120.00'	E9	N 71°50'00" E	328.00'	E10	S 89°39'03" E	65.00'	E11	S 67°39'00" E	111.00'	E12	S 89°39'03" E	46.46'	LINE	DIRECTION	DISTANCE	E13	N 62°38'30" E	128.44'	E14	S 00°08'24" W	160.00'	E15	N 89°39'03" W	307.27'	E16	N 00°07'26" E	46.43'	E17	N 45°16'44" E	47.58'	E18	S 44°35'45" E	85.12'	E19	S 89°40'51" E	205.29'	E20	N 45°22'52" E	117.72'	E21	N 00°09'22" W	139.34'	E22	S 89°29'49" W	20.75'	E23	S 00°08'24" W	147.35'	E24	S 45°17'39" W	134.36'	T1	S 00°08'24" W	60.42'	T2	N 89°39'03" W	95.27'	<div>EASEMENT</div> <div>① AMAFCA 100-YEAR FLOODPLAIN EASEMENT GRANTED BY PLAT C24-199</div> <div>② 7" PUBLIC UTILITY EASEMENT GRANTED BY PLAT C24-199</div> <div>③ PUBLIC DRAINAGE EASEMENT GRANTED BY DOCUMENT FILED 11-02-1993, BOOK 93-31, PAGES 745-749</div> <div>④ 10' PNM AND MST&T UNDERGROUND EASEMENT GRANTED BY DOCUMENT EXECUTED 01-02-1985</div> <div>⑤ APPROXIMATE LOCATION PNM (ELECTRIC) UNDERGROUND EASEMENT GRANTED BY DOCUMENT FILED 11-21-2008, DOC# 2008124541</div> <div>EASEMENTS - OFFSITE</div> <div>⑥ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 92C-62</div> <div>⑦ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 92C-62</div> <div>⑧ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 93C-229</div> <div>⑨ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 93C-229</div> <div>⑩ 20' PUBLIC DRAINAGE RIGHT-OF-WAY GRANTED BY PLAT 93C-229</div>	<div>PROJECT BENCHMARK</div> <div>AN ACS 3 1/4" ALUMINUM DISK STAMPED "7-C19 1993" SET IN THE TOP OF CURB. THE STATION IS LOCATED IN NNW CURB RETURN OF THE INTERSECTION OF BARSTOW STREET NE AND SIGNAL AVENUE NE.</div> <div>ELEVATION = 5485.72 FEET (NAVD 1988)</div> <div>TEMPORARY BENCHMARK #1 (T.B.M.)</div> <div>A MAG NAIL SET IN ASPHALT, AS SHOWN THIS SHEET.</div> <div>ELEVATION = 5427.91 FEET (NAVD 1988)</div> <div>TEMPORARY BENCHMARK #2 (T.B.M.)</div> <div>A #5 REBAR W/CAP STAMPED "HMC CONTROL NMPS 11184" SET JUST WEST OF NORTHERN ENTRANCE TO PARKING LOT, AS SHOWN THIS SHEET.</div> <div>ELEVATION = 5441.14 FEET (NAVD 1988)</div> <div>TEMPORARY BENCHMARK #3 (T.B.M.)</div> <div>A #5 REBAR W/CAP STAMPED "HMC CONTROL NMPS 11184" SET SOUTH OF THE PARKING LOT, AS SHOWN THIS SHEET.</div> <div>ELEVATION = 5458.32 FEET (NAVD 1988)</div> <div>TEMPORARY BENCHMARK #4 (T.B.M.)</div> <div>A MAG NAIL SET IN SOUTHERN ASPHALT PARKING LOT, AS SHOWN THIS SHEET.</div> <div>ELEVATION = 5458.66 FEET (NAVD 1988)</div>
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SURVEY NOTE

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN UNRECORDED BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 07-22-2014 (2013.186.1). EXCEPT AS NOTED OTHERWISE THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE "PARTIAL TOPOGRAPHIC AND UTILITY SURVEY" PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 07-22-2014 (2013.186.1).

06/28 RJC ADDENDUM #4

PROJECT
APS
7801 WILSHIRE AVE NE ALBUQUERQUE,
NM 87122

SHEET TITLE
CIVIL SITE PLAN

100% CONSTRUCTION
DOCUMENTS

SHEET NUMBER
CS-101

SCALE
PROJECT NO.
1401
DRAWING FILE NO.
2014.017.1
DATE
JUNE 8TH, 2016
PROJECT MANAGER
GRAEME MEANS
DRAWN BY
J.V.R./E.C./R.J.C.
J. GRAEME MEANS
REGISTERED PROFESSIONAL
NEW MEXICO
13676
05-23-2016
06-28-2016
2014.017.1

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File Name: 14071_06-10-H-RM-M Plot Time: 09:58 am

SURVEY NOTE

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN UNRECORDED BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 07-22-2014 (2013.186.1). EXCEPT AS NOTED OTHERWISE THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE "PARTIAL TOPOGRAPHIC AND UTILITY SURVEY" PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 07-22-2014 (2013.186.1).

HDPE PIPE CONSTRUCTION NOTES:

1. HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M 294 TYPE S FOR HDPE STORM DRAIN SYSTEMS.
2. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D3212. THE SPOOTS SHALL HAVE O-RING GASKETS MEETING THE REQUIREMENTS OF ASTM F 477.
3. THE CONTRACTOR'S PROJECT SUPERINTENDENT AND FOREMAN OF THE PIPE-LAYING CREW SHALL SUBMIT TO THE OWNER A CERTIFICATE INDICATING COMPLETION OF AN ON-LINE TRAINING PROGRAM OFFERED BY ADS (ADS-PIPE.COM) OR OTHER MANUFACTURER AS APPROVED BY THE OWNER.
4. INSTALLATION SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS.
5. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 701 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
6. THE PIPE SHALL BE BEDDED IN A FOUNDATION OF COMPACTED GRANULAR MATERIAL THAT IS FREE OF ORGANIC MATTER, CLAY LUMPS, AND OTHER DELETERIOUS MATTER. THIS MATERIAL SHALL EXTEND A MINIMUM OF 6 INCHES BELOW THE OUTERMOST CORRUGATIONS AND BE USED FOR BACKFILL UP TO A MINIMUM OF 1 FOOT ABOVE THE TOP OF PIPE. UNTIL A MINIMUM COVER OF 1 FOOT IS ATTAINED, ONLY HAND OPERATED TAMPING EQUIPMENT MAY BE USED IN THE TRENCH PRISM OVER THE PIPE.
7. CONCRETE STRUCTURE CONNECTIONS FOR HDPE PIPE WILL REQUIRE THE USE OF A WATER STOP THAT MEETS THE PHYSICAL PROPERTIES OF ASTM C923. INSTALLATION SHALL BE PER MANUFACTURER'S SPECIFICATIONS.
8. NEW HDPE LINE INSTALLATIONS SHALL INCLUDE INSULATED 12 GAUGE COPPER TRACER WIRE INSTALLED CONTINUOUSLY ALONG THE PIPE WITH WATER-PROOF SPLICE BOXES AT JUNCTIONS AND TEES. TRACER WIRE SHALL BE ACCESSIBLE AT ALL CLEANOUTS AND SERVICES. TRACER WIRE INSTALLATION SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM, 811, FOR DESIGNATION LINE-SPOTTING OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE, ABOVEGROUND DISTRIBUTION MAPS AND UTILITY LINE-SPOTS PROVIDED BY ONPOINT UTILITY LOCATING SERVICES, SITE UTILITY DIAGRAM (PRIVATE) DATED JUNE 18, 2014. IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE-CALL SERVICE (TICKET # 2014232522). UTILITY LINES SHOWN ON THIS DRAWING ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE SURVEYOR HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THERETO. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES:

- ① CONSTRUCT 24"x24" STORM INLET WITH (ADA) COMPLIANT GRATE PER TYPICAL SECTION SHEET, CG-501
- 2 INSTALL 8" HOPE (SMOOTH INTERIOR) STORM DRAIN
- 3 EXISTING INLET TO REMAIN.
- 4 INSTALL 18"x18"x8" HDPE TEE
- 5 CORE DRILL 6" WALL OPENING. ALIGN OPENING WITH PROPOSED SIDEWALK CULVERT
- 6 REMOVE AND DISPOSE OF EXISTING STORM DRAIN
- 7 EXISTING STORM DRAIN TO REMAIN
- 8 CONNECT NEW 8" STORM DRAIN TO EXISTING 8" ROOF DRAIN
- ⑨ CONNECT TO BUILDING ROOF DRAIN. REFER TO PLUMBING PLANS FOR CONTINUATION

NOTE:
GRADING AT ALL AREAS INDICATED AS "LANDSCAPING, GRAVEL, OR AS CRUSHER FINES" SHALL BE MINUS 4" BELOW GRADES INDICATED. GRADING AT AREAS INDICATED AS ARTIFICIAL TURF SHALL BE MINUS 6" BELOW GRADES INDICATED.



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06/28 RJC ADDENDUM #4

PROJECT
APS

APS LA CUEVA ISP &
WEIGHT ROOM -
RENOVATIONS &
ADDITIONS

7801 WILSHIRE AVE NE ALBUQUERQUE,
NM 87122

SHEET TITLE
GRADING PLAN
WEIGHT ROOM ADDITION
100% CONSTRUCTION
DOCUMENTS

SHEET NUMBER
CG-101-B

SCALE

NORTH PROJECT NO.

1401

DRAWING FILE NO.

2014.017.1

DATE

JUNE 8TH, 2016

PROJECT MANAGER

GRAEME MEANS

DRAWN BY

J.V.R./C.C.R./J.C.

REVIEWED BY

05-23-2016

06-28-2016

2014.017.1

RMKM ARCHITECTURE, P.C.