

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 13, 2022

David McEachern
RBA Architects, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Citizen Church North
7518 Oakland Ave. NE
Traffic Circulation Layout
Architect's Stamp 10-24-22 (C19-D005)

Dear Mr. McEachern,

The TCL submittal received 11-18-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

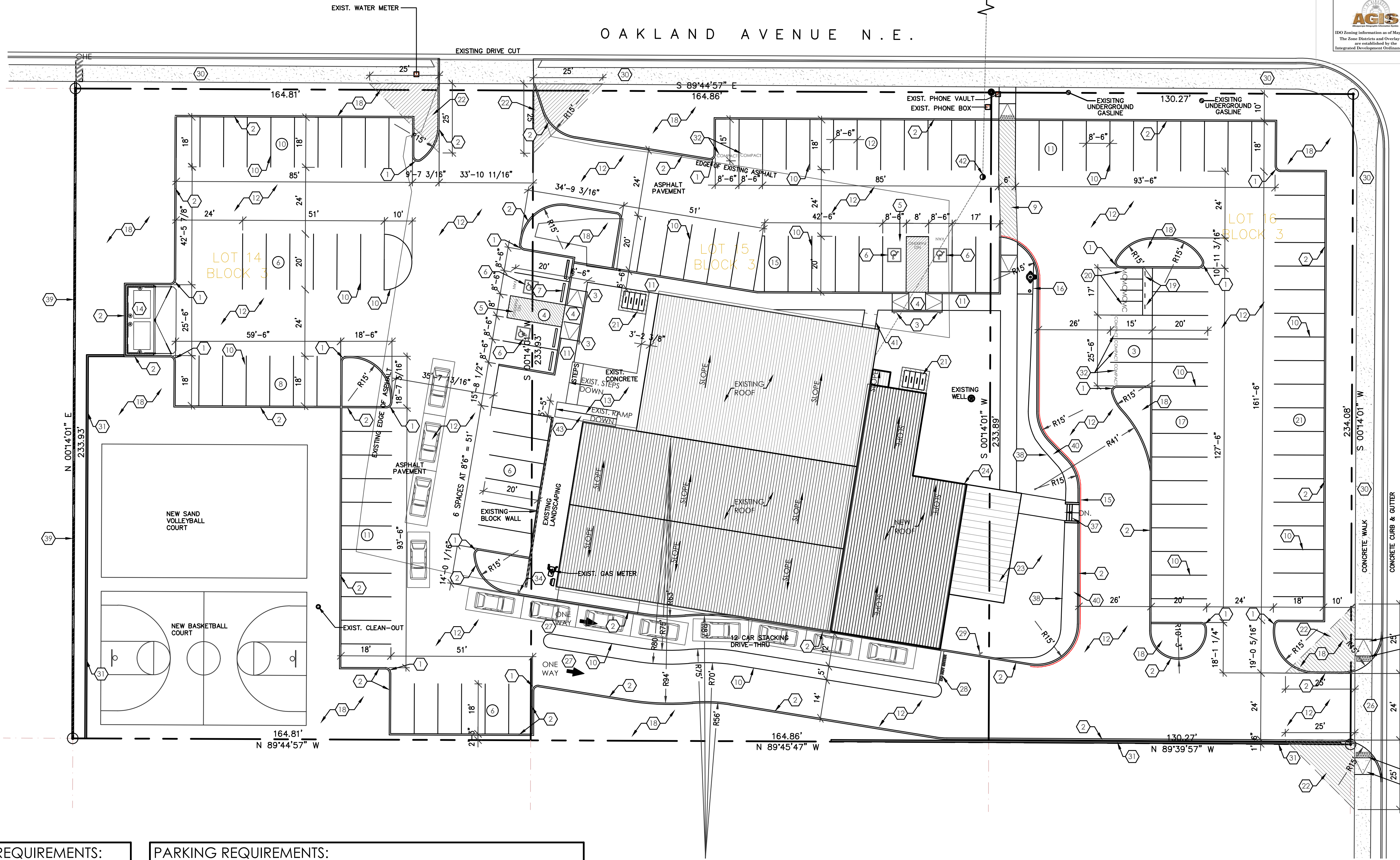
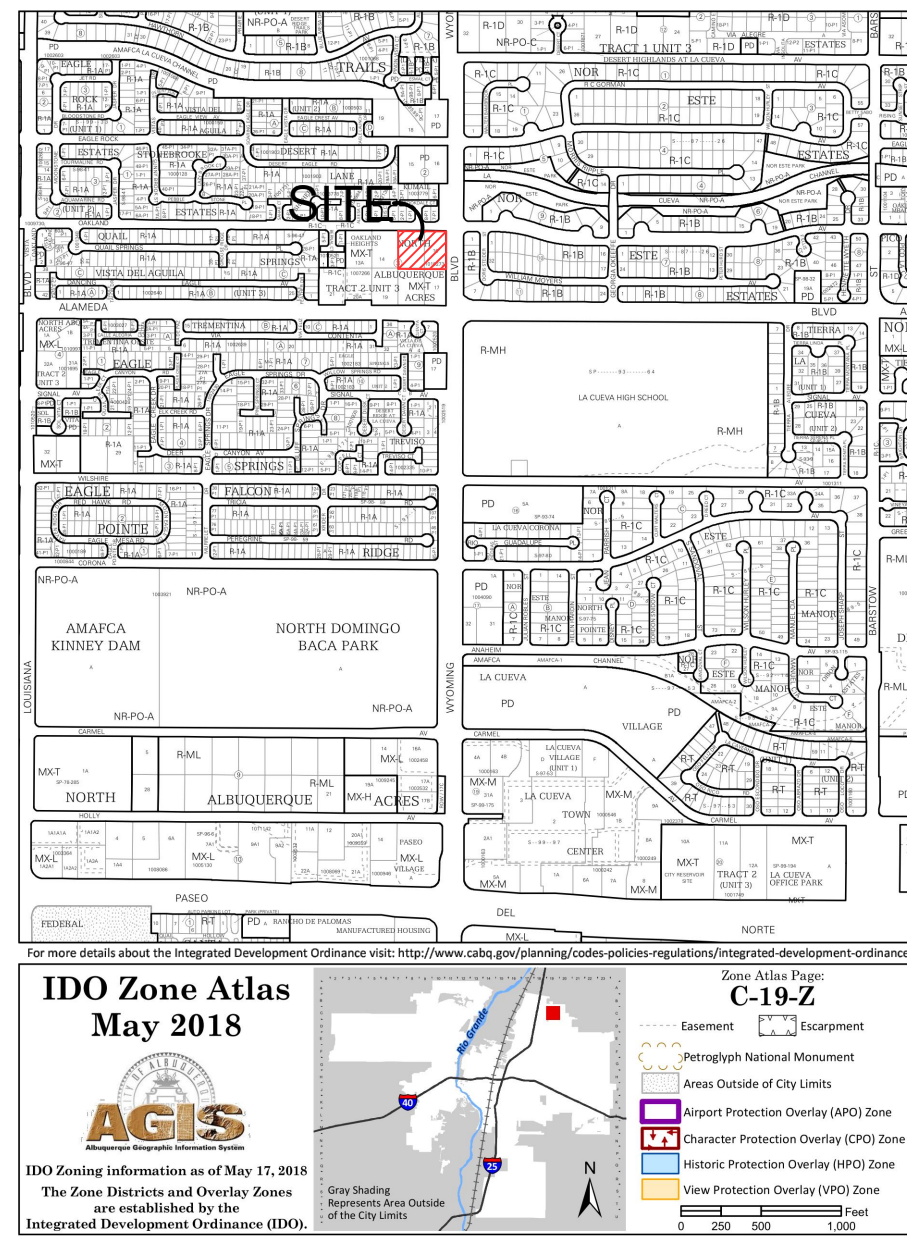
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

KEYED NOTES

- 2'-0" CURB RADIUS, TYP.
- CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS 2415A, REF: DET. A10/AS-2.0.
- ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL A5/AS-2.0.
- ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE (CABQ) STANDARDS 2443, REF: A8/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.8 NMSA 1978), REF: DETAIL A7/AS-2.0.
- HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL (H) PLACE REF: DETAIL A6/AS-2.0.
- PARKING BUMPER, TYP, REF: DETAIL A12/AS-2.0.
- 24" TRUNCATED DOMES, TYP.
- 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP, REF: DETAIL A7/AS-2.0.
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A4/AS-2.0, TYP.
- CONSTRUCT NEW CONCRETE SIDEWALK PER CABQ STANDARD DWG. 2430, REF: A9-A10/AS-2.0, REF: PLAN FOR SIDEWALK WIDTH, TIE INTO EXISTING SIDEWALKS AS NEEDED.
- ASPHALT PAVING OVER BASE COURSE, REF: GROUTCH REPORT.
- EXISTING CONC PATIO WITH RAMP AND STEPS, REPAIR AS NEEDED.
- DUMPSTER ENCLOSURE PER CABQ, REF: DETAIL A1-A3/AS-2.0.
- FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5' HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6' WIDE RED STRIPE, REF: FIRE ORD. S03.3.1.
- NEW FIRE HYDRANT LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP, REF: A13/AS-2.0.
- PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
- BIKE RACK FOR (5) BICYCLES, REF DETAIL A14-A15/AS-2.0, BIKE PARKING SPACES SHALL BE 6'-0" LONG x 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
 - 30" TALL x 18" WIDE.
- BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
- C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
- D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
- E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
- F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- H. CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS', ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCESSIBLE IN THE CLEAR SIGHT TRIANGLE.
- CONCRETE PATIO.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
- ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH PNM.
- CONSTRUCT NEW DRIVE PAD PER C.O.A. STD. DWG. 2426 & 2420, REF: CIVIL DRAWINGS.
- PAINTED ONE-WAY - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A18/AS-2.0.
- PAINTED "DO NOT ENTER" - WHITE ON PAVEMENT PER CABQ STANDARDS, REF: DETAIL A19/AS-2.0.
- "DO NOT ENTER" SIGN PER CABQ STANDARDS #2600-603, REF: DETAIL A16/AS-2.0.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER C.O.A. STANDARD DRAWINGS 2415A.
- RETAINING WALL, REF: FOUNDATION PLAN AND DETAILS.
- PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABQ STANDARDS.
- 10' PUBLIC UTILITY EASEMENT.
- "ONE WAY" SIGN PER CABQ STANDARD 2600-603, REF: DETAIL A17/AS-2.0.
- 42" HIGH 1 1/4" DIA. PAINTED STEEL GUARDRAIL, REF: DETAILS ON SHEET S-2.0.
- CURB RAMP PER CABQ STANDARD DWG. 2446, REF: CIVIL DRAWINGS.
- CONCRETE STEPS.
- EDGE OF CONCRETE PATIO.
- EXISTING BLOCK WALL.
- SLOPED LANDSCAPE AREA.
- EXISTING CONC STOOP TO BE REMOVED.
- REMOVE EXISTING POWER POLE AND SERVICE, ELECTRICAL SITE PLAN FOR NEW SERVICE.
- ADA RAMP MAX. SLOPE IS 2% AND THE MAX. RUNNING SLOPE IS 8.3% (7% PREFERRED SLOPE).

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amigo 12/13/2022
Signed Date



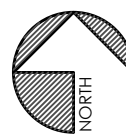
LANDSCAPE REQUIREMENTS:

GROSS LOT AREA: 107,595 S.F. (2.47 ACRES)
BUILDING AREA: - 13,071 S.F.
NET LOT AREA: 94,524 S.F.
x 15%
REQUIRED LS: 14,179 S.F.
PROVIDED LS ONSITE: 22,831 S.F.

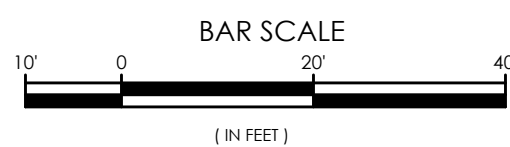
PARKING REQUIREMENTS:

REQUIRED: TOTAL BUILDING SQ. FT. = 13,071 S.F. WORSHIP BUILDING
WORSHIP SPACE = 330 SEATS/4 = 82.5 (83) SPACES REQUIRED
NMBIC TABLE 110.06.1 S1-100 = 4 H.C. SPACES (1 VAN)
2020 IDO TABLE 5-5-4 MOTORCYCLE = 51-100 = 3 SPACES
TOTAL PARKING PROVIDED = 136 SPACES PROVIDED (INCLUDING 4 HC SPACES)
4 MOTORCYCLE SPACES
BICYCLE SPACES NON-RESIDENTIAL = 2020 IDO TABLE 5-5-5 BICYCLE
= 10% OF REQUIRED OFF STREET PARKING = 8 BIKE SPACES

AREA SQUARE FOOTAGE	
EXISTING	10,025 S.F.
NEW ADDITION	3,046 S.F.
TOTAL	13,071 S.F.
LOFT	823 S.F.



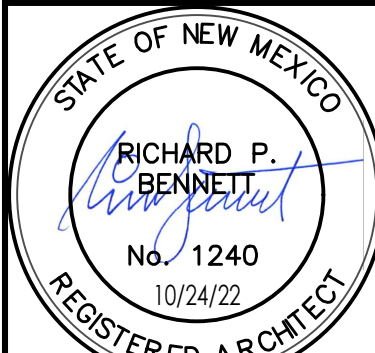
1 FIRST FLOOR PLAN
1"=20'-0"



NOTE:
GENERAL CONTRACTOR TO
FIELD VERIFY ALL EXIST.
CONSTRUCTION AND
DIMENSIONS PRIOR TO
CONSTRUCTION

CITIZEN CHURCH NORTH
SITE PLAN
7518 OAKLAND AVE
ALBUQUERQUE, NM 87113
PROJECT #2209

REVISION DATE



RBA
ARCHITECTURE, PC
ARCHITECTURE
PLANNING
DESIGN
7518 Oakland Ave. SE
Albuquerque, NM 87102
www.rbaarch.com

DATE
10-24-2022

SHEET NUMBER
AS-1.0