

# CITY OF ALBUQUERQUE

Planning Department

Alan Varela, Director



Mayor Timothy M. Keller

April 11, 2024

Rick Bennett, RA  
RBA Architecture, PC  
1104 Park Ave SW  
Albuquerque, NM

**Re: Citizen Church North  
7518 Oakland Ave NE  
Request for Certificate of Occupancy- 30 Day Temp  
Transportation Development Final Inspection**  
Architects Stamp Date 10-24-22 (C19D005)  
Certification dated 2-27-24

Dear Mr. Bennett;

Based upon the information provided in your submittal received 4-8-24, Transportation Development has no objection to a 30-Day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-Day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to issuance of a Permanent Certificate of Occupancy, the following items are to be addressed:

1. The bike racks were not installed.
2. The pedestrian connection to the Oakland Ave ROW was not complete.
3. The sidewalk culvert plate was not installed near the north side of the building.
4. There was material stored in the parking lot.
5. The mailbox west of the Oakland Ave entrance was too close to the sidewalk.
6. The landscaping was not complete so the public sidewalk could not be inspected.

If you have any questions, please contact me at [ccherne@cabq.gov](mailto:ccherne@cabq.gov) or (505) 924-3986.

Sincerely,

*Curtis A. Cherne*

Curtis Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

C: Laurie Elliot, Yvette Lucero, Desiree Gonzales, Wendi Alcala, James Broomfield,  
[cbaldwin@citizen.church](mailto:cbaldwin@citizen.church)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



February 27, 2024

Re: Citizen Church North  
7518 Oakland Ave. NE  
Albuquerque, NM 87113  
Project # BP-2023-06238  
Approved TCL 12/13/2022

### TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Certification Layout, approved Site Plan dated 12/13/22 and with Architect's stamp dated 10/24/22.

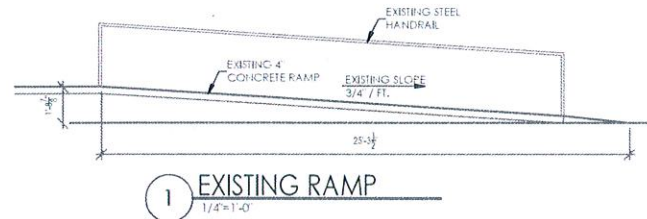
The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that I have personally visited the project site on March 28, 2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Citizen Church North at 7518 Oakland Ave NE, 015 003NORTH ALBUQ ACRES UN 3 TR2 in Bernalillo County in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Rick Bennett', with a long horizontal flourish extending to the right.

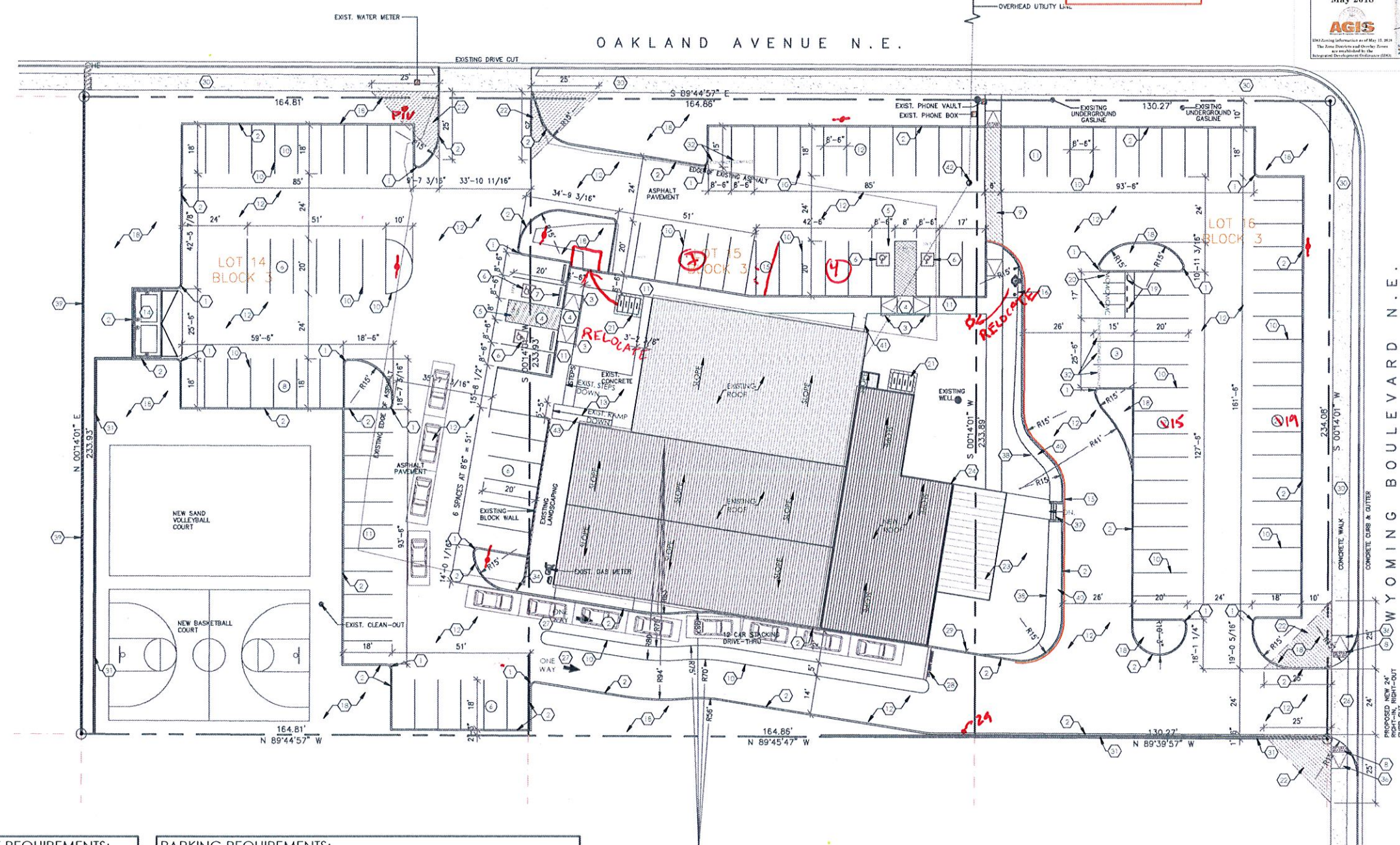
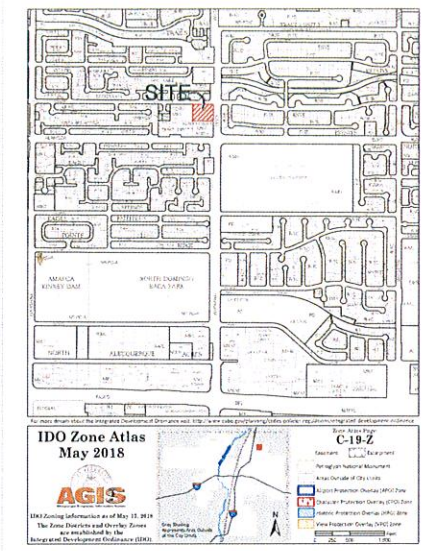
Rick Bennett, Architect



# KEYED NOTES

- 2'-0" CURB RADIUS, TYP.
- CONSTRUCT NEW RABBIT CONCRETE CURB AND GUTTER PER CABO STANDARDS 2415A. REF. DET. A10/A52.0.
- ACCESSIBLE PARKING SIGNAGE PER CABO STANDARDS. REF. DETAIL A13/A52.0.
- ACCESSIBLE CURB RAMP PER CITY OF ALBUQUERQUE (CABO) STANDARDS 2443. REF. A8/A52.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE. LOCATE SIGN (661-4.1.B NMSA 1978). REF. DETAIL A7/A52.0.
- HANDICAP SYMBOL PER CABO STANDARDS, TYPICAL (A) PLACE PER DETAIL A4/A52.0.
- PARKING SIGNAGE, TYP. REF. DETAIL A12/A52.0.
- 24" TRUNCATED CONES, TYP.
- 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP. REF. DETAIL A7/A52.0.
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS. REF. DETAIL A4/A52.0, TYP.
- CONSTRUCT NEW CONCRETE SIDEWALK PER CABO STANDARD DWG. 2450. REF. A9-A10/A52.0. REF. PLAN FOR SIDEWALK WIDTH. THE BUILT-UP SIDEWALKS AS NEEDED.
- ASPHALT PAVING OVER BASE COURSE. REF. GEOTECH REPORT.
- EXISTING CONC. PAVT. WITH RAMP AND STEPS. REPAIR AS NEEDED.
- DUMPSTER ENCLOSURE PER CABO. REF. DETAIL A1-A3/A52.0.
- FIRE LANE. PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5' HIGH WHITE LETTER "NO PARKING, FIRE LANE". TYP. EVERY 15' OVER 6' WIDE RED STRIPE. REF. FIRE CODE 539.3.1.
- NEW FIRE HYDRANT LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- LANDSCAPING AREA. REF. LANDSCAPING PLAN.
- MOTORCYCLE PARKING SIGNAGE PER CABO STANDARDS. TYP. REF. A13/A52.0.
- PAINTED "NO" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE. AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABO STANDARDS.
- BKE RACK FOR (5) BICYCLES. REF. DETAIL A1-A4/A52.0. BKE PARKING SPACES SHALL BE 6'-0" LONG X 2' WIDE FOR EACH BKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BKE PARKING SPACE.  
A. 30" TALL X 18" WIDE.  
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.  
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
- D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
- E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
- F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- H. CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- CONCRETE PAVT.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS. MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
- ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH FNM.
- CONSTRUCT NEW DRIVE PAD PER C.O.A. STD DWG. 2428 & 2429. REF. CIVIL DRAWINGS.
- PAINTED ONE-WAY - WHITE ON PAVEMENT PER CABO STANDARDS. REF. DETAIL A18/A52.0.
- PAINTED "DO NOT ENTER" - WHITE ON PAVEMENT PER CABO STANDARDS. REF. DETAIL A19/A52.0.
- "DO NOT ENTER" SIGN PER CABO STANDARDS #2600-603. REF. DETAIL A16/A52.0.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER C.O.A. STANDARD DRAWINGS 2415A.
- RETAINING WALL. REF. FOUNDATION PLAN AND DETAILS.
- PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABO STANDARDS.
- 10' PUBLIC UTILITY EASEMENT.
- "ONE WAY" SIGN PER CABO STANDARD 2600-603. REF. DETAIL A17/A52.0.
- 42" HIGH 1 1/4" DIA. PAINTED STEEL GUARDRAIL. REF. DETAILS ON SHEET S-2.0.
- CURB RAMP PER CABO STANDARD DWG. 2446. REF. CIVIL DRAWINGS.
- CONCRETE STEPS.
- EDGE OF CONCRETE PAVT.
- EXISTING BLOCK WALL.
- SLOPED LANDSCAPE AREA.
- EXISTING CONC. STOOP TO BE REMOVED.
- REMOVE EXISTING POWER POLE AND SERVICE. ELECTRICAL SITE PLAN FOR NEW SERVICE.
- ADA RAMP MAY, SLOPE 1:8 AND THE MAX. RUNNING SLOPE IS 8.3% (7% PREFERRED SLOPE).

TRAFFIC CIRCULATION  
LAYOUT APPROVED  
Ernest Arroyo  
Signed  
12/13/2022  
Date



LANDSCAPE REQUIREMENTS:

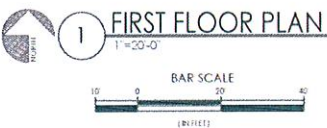
GROSS LOT AREA:	107,595 S.F. (2.47 ACRES)
BUILDING AREA:	- 13,071 S.F.
NET LOT AREA:	94,524 S.F.
	x 15%
REQUIRED LS:	14,179 S.F.
PROVIDED LS ONSITE:	22,831 S.F.

PARKING REQUIREMENTS:

REQUIRED:	TOTAL BUILDING SQ. FT.	13,071 S.F. WORSHIP BUILDINGS
	WORSHIP SPACE	= 330 SEATS/4 = 82.5 (83) SPACES REQUIRED
		NMBC TABLE 1106.1 51-100 = 4 H.C. SPACES (1 VEH)
		2020 IDO TABLE S-5-4 MOTORCYCLE = 51-100 = 3 SPACES
TOTAL PARKING PROVIDED:		= 136 SPACES PROVIDED (INCLUDING 4 H.C. SPACES)
		4 MOTORCYCLE SPACES
BICYCLE SPACES NON-RESIDENTIAL:		2020 IDO TABLE S-5-5 BICYCLE
		= 10% OF REQUIRED OFF STREET PARKING = 8 BKE SPACES

AREA SQUARE FOOTAGE

EXISTING	= 10,025 S.F.
NEW ADDITION	= 3,046 S.F.
TOTAL	= 13,071 S.F.
LOFT	= 823 S.F.



NOTE:  
GENERAL CONTRACTOR TO  
FIELD VERIFY ALL EXIST.  
CONSTRUCTION AND  
DIMENSIONS PRIOR TO  
CONSTRUCTION

CITIZEN CHURCH NORTH  
SITE PLAN  
7518 OAKLAND AVE  
ALBUQUERQUE, NM 87113  
PROJECT #2209

REVISION DATE

STATE OF NEW MEXICO  
RICHARD P. ARROYO  
No. 1240  
10/24/22  
REGISTERED ARCHITECT

RBA  
ARCHITECTURE, PC  
ARCHITECTS  
1000 10TH AVENUE N.W.  
SUITE 100  
ALBUQUERQUE, NM 87102  
(505) 263-1111  
www.rbaarchitects.com

DATE  
10-24-2022

SHEET NUMBER  
AS-1.0