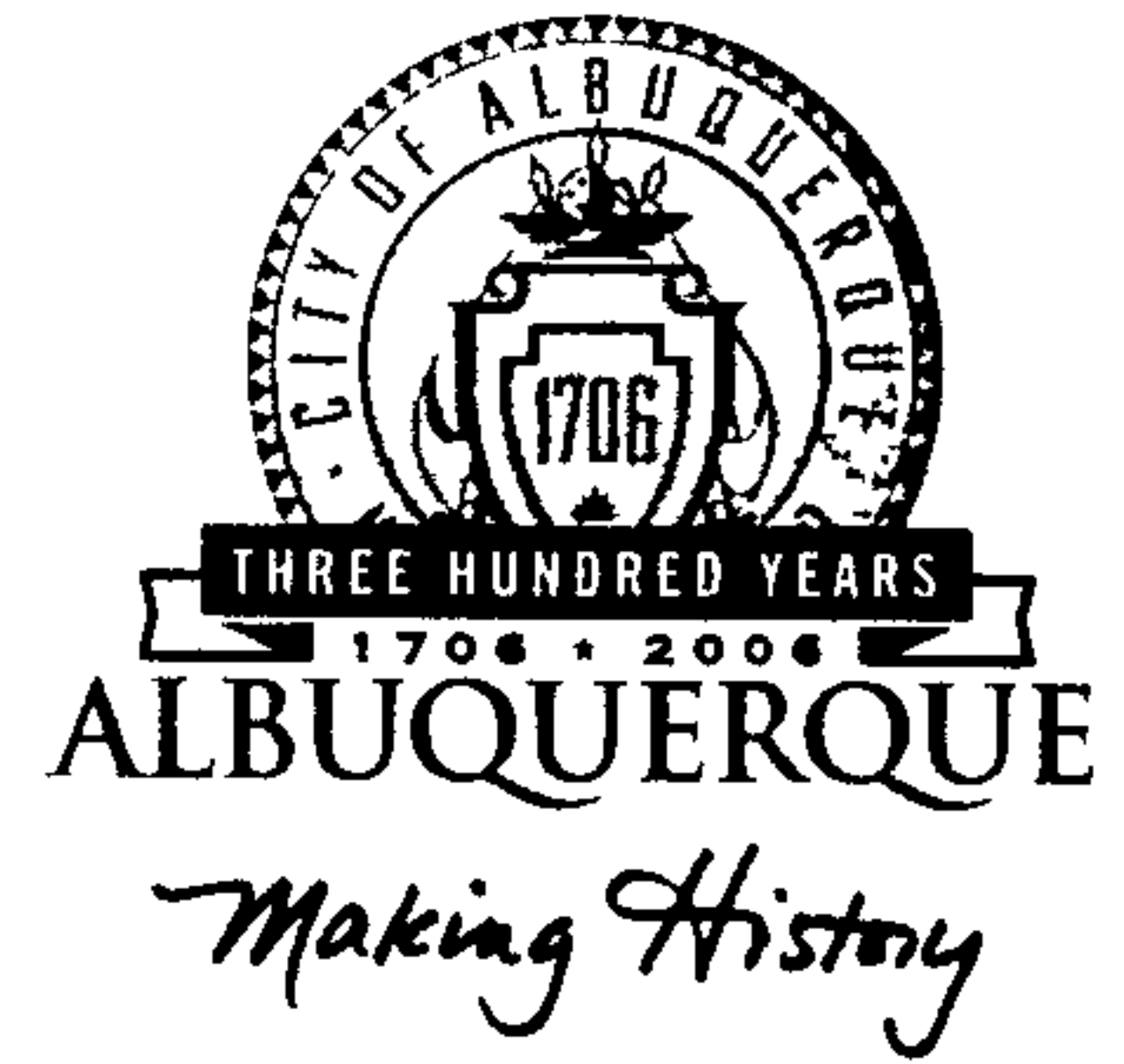


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 2, 2005

Joe Slagle, Registered Architect
JLS ARCHITECTS
1600 Rio Grande Blvd. NW
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for
WYOMING NORTH OFFICE CENTER, [C-19 / D6B5]
8440 Wyoming Blvd. NE
Architect's Stamp Dated 11/29/2005

P.O. Box 1293

Dear Mr. Slagle:

Albuquerque

The TCL / Letter of Certification submitted on December 1, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

New Mexico 87103

Phillip J. Lovato
Engineering Associate
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Wyoming North Office Center
DRB #: 1004090 EPC#: _____

ZONE MAP/DRG. FILE #: C 19/D 685
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1, Block 17, North Albuq. Acres, TR 2, Unit 3
CITY ADDRESS: 8440 Wyoming

ENGINEERING FIRM: ABQ Engineers Inc.
ADDRESS: 6739 Academy Rd. NE Suite 130
CITY, STATE: Albuquerque, NM

CONTACT: Roni Booth
PHONE: 255-7802
ZIP CODE: 87109

OWNER: Jim & Jackie Hakeem
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jim or Jackie Hakeem
PHONE: 293-2261
ZIP CODE: _____

ARCHITECT: JLS Architects
ADDRESS: 1600 Rio Grande Blvd. NW
CITY, STATE: Albuquerque, NM

CONTACT: Joe Slagle
PHONE: 246-0870 246-280437
ZIP CODE: 87104

SURVEYOR: Brasher & Lorenz (Civil Engineer)
ADDRESS: 2201 San Pedro Building 1 Suite 1200
CITY, STATE: Albuquerque, NM

CONTACT: Dennis Lorenz
PHONE: 888-6088
ZIP CODE: 87110

CONTRACTOR: Enterprise Builders Corporation
ADDRESS: PO Box 3987
CITY, STATE: Albuquerque, NM

CONTACT: Damian Chimenti
PHONE: 857-0050
ZIP CODE: 87190

CHECK TYPE OF SUBMITTAL:

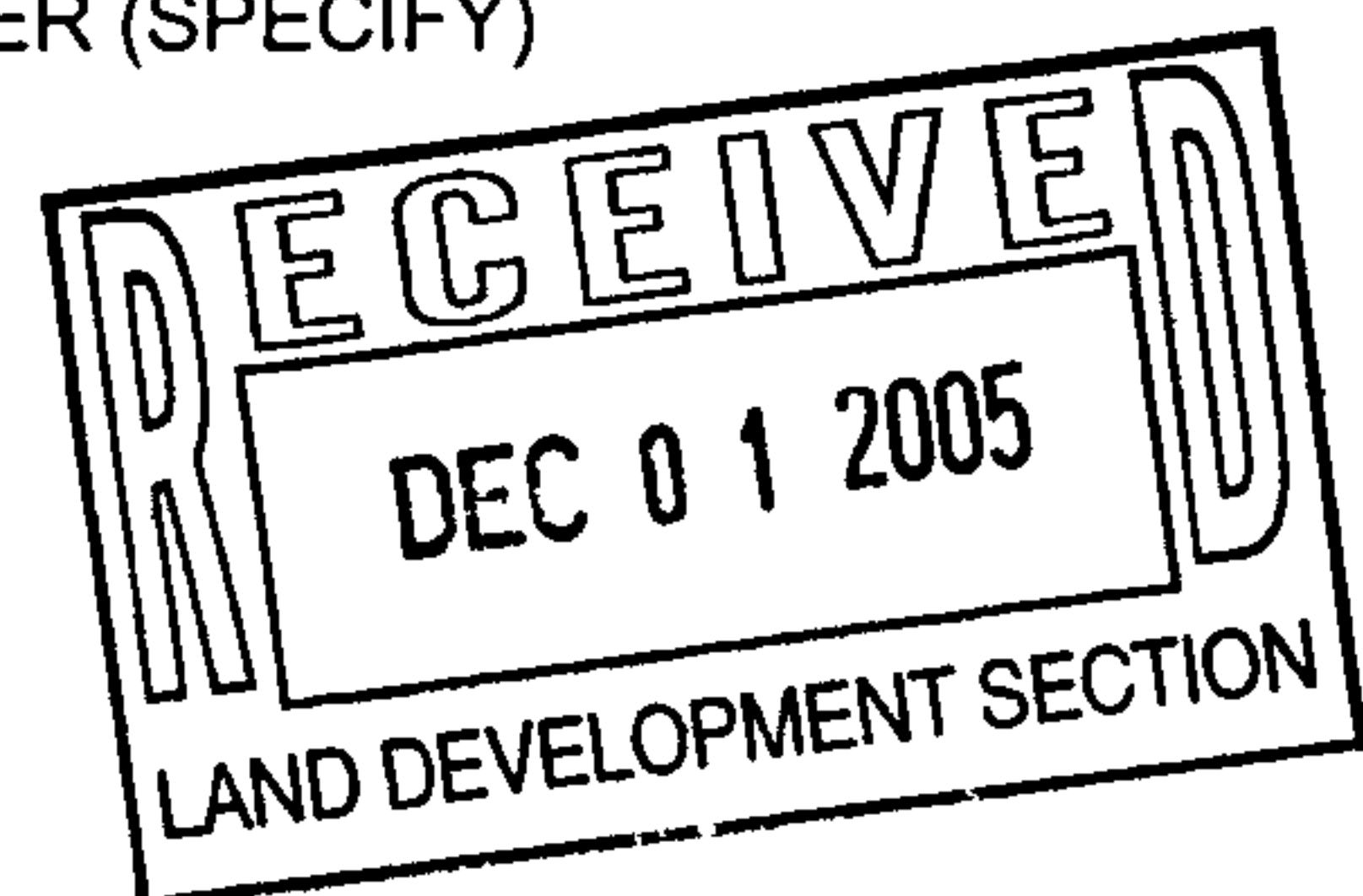
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 11-29-05

BY: Shelley M. Hughes JLS Architects

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

TRAFFIC CERTIFICATION

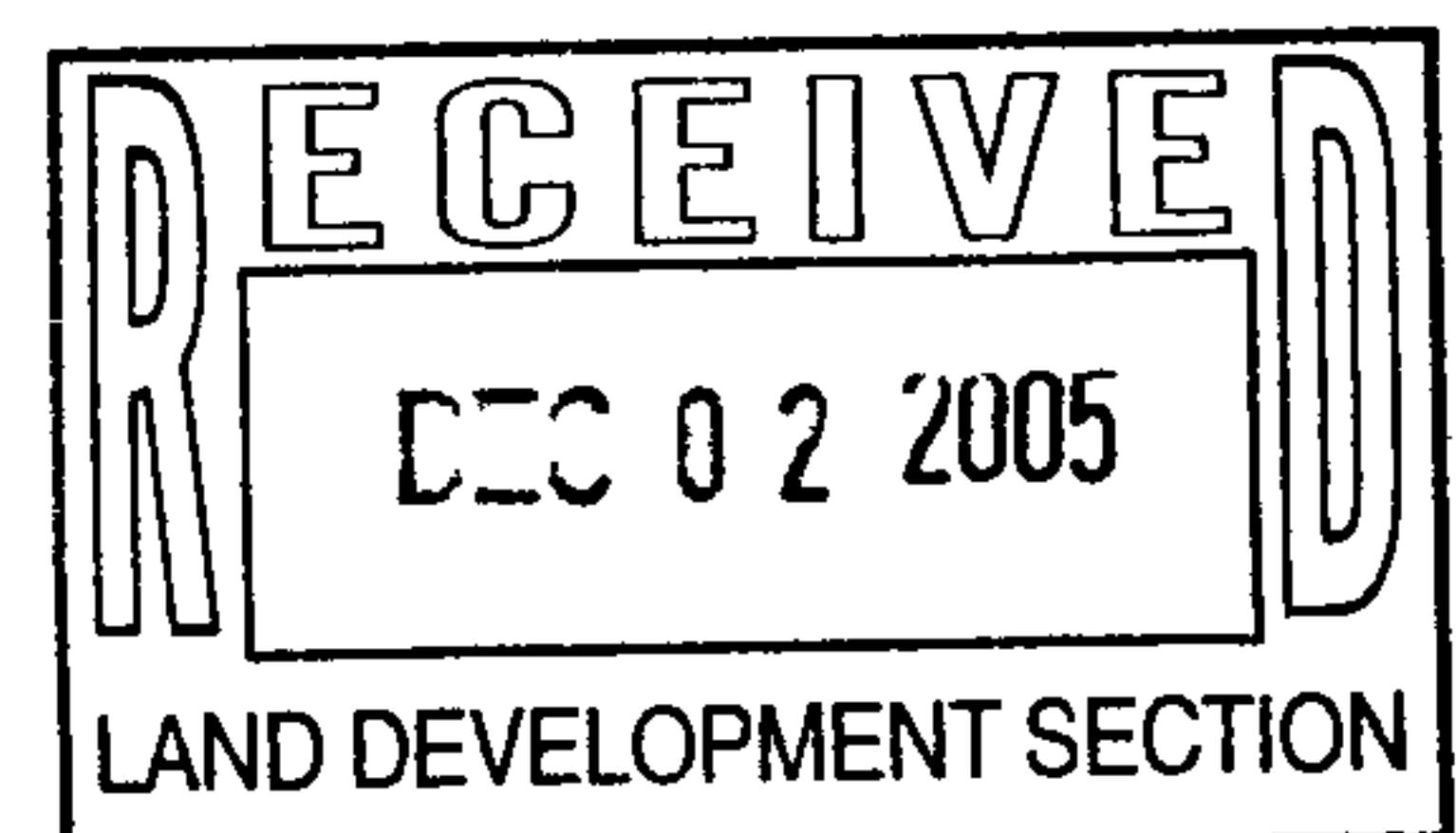
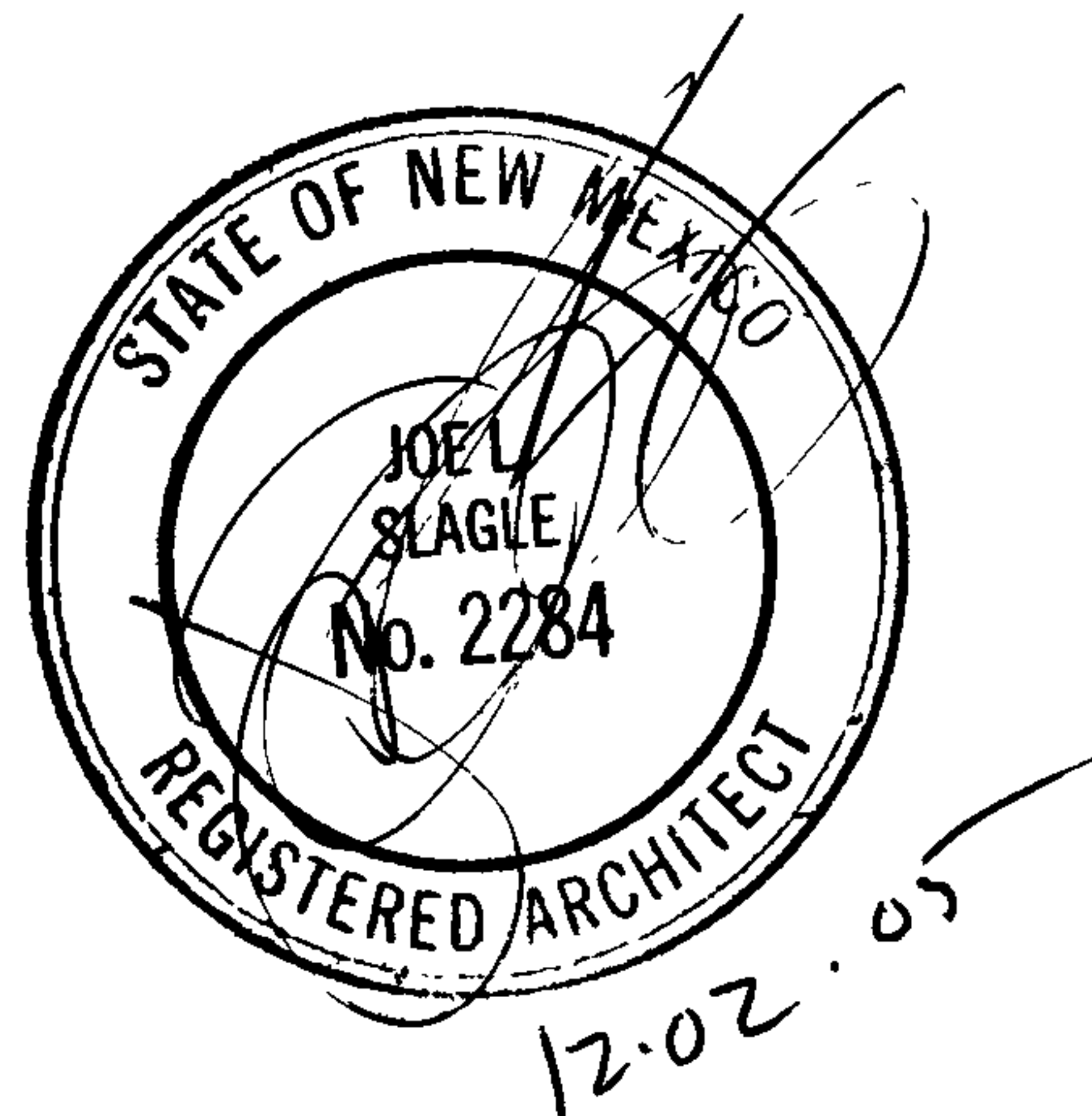
I, Joe L. Slagle, NMPE or NMRA 2284, of the firm JLS Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA or TCL approved plan dated 04.12.05. The record information edited onto the original design document has been obtained by Joe L. Slagle of the firm JLS Architects. I further certify that I have personally visited the project site on 11.30.05 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Signature of Engineer or Architect

Engineer's or Architect's Stamp

Date

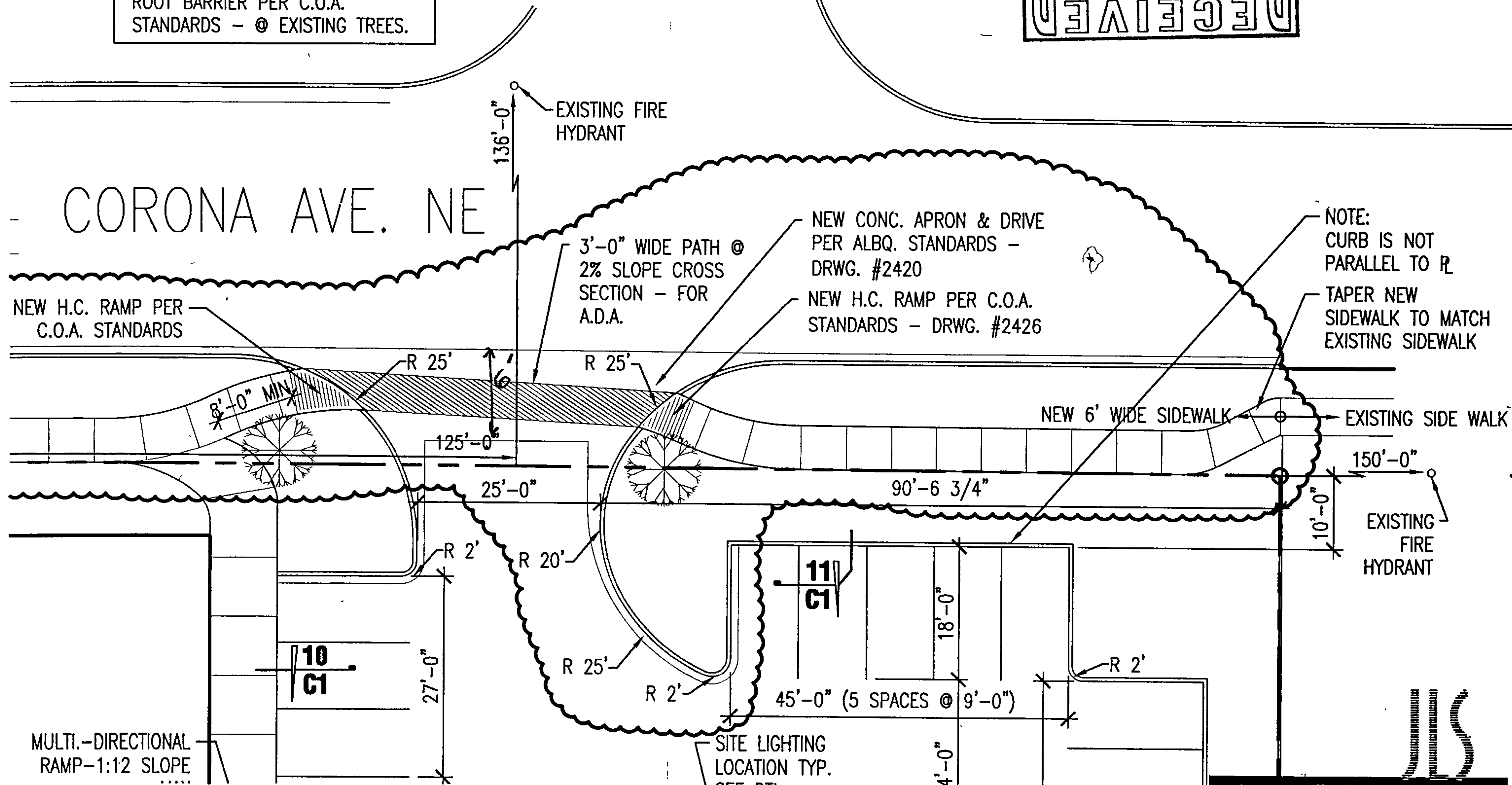
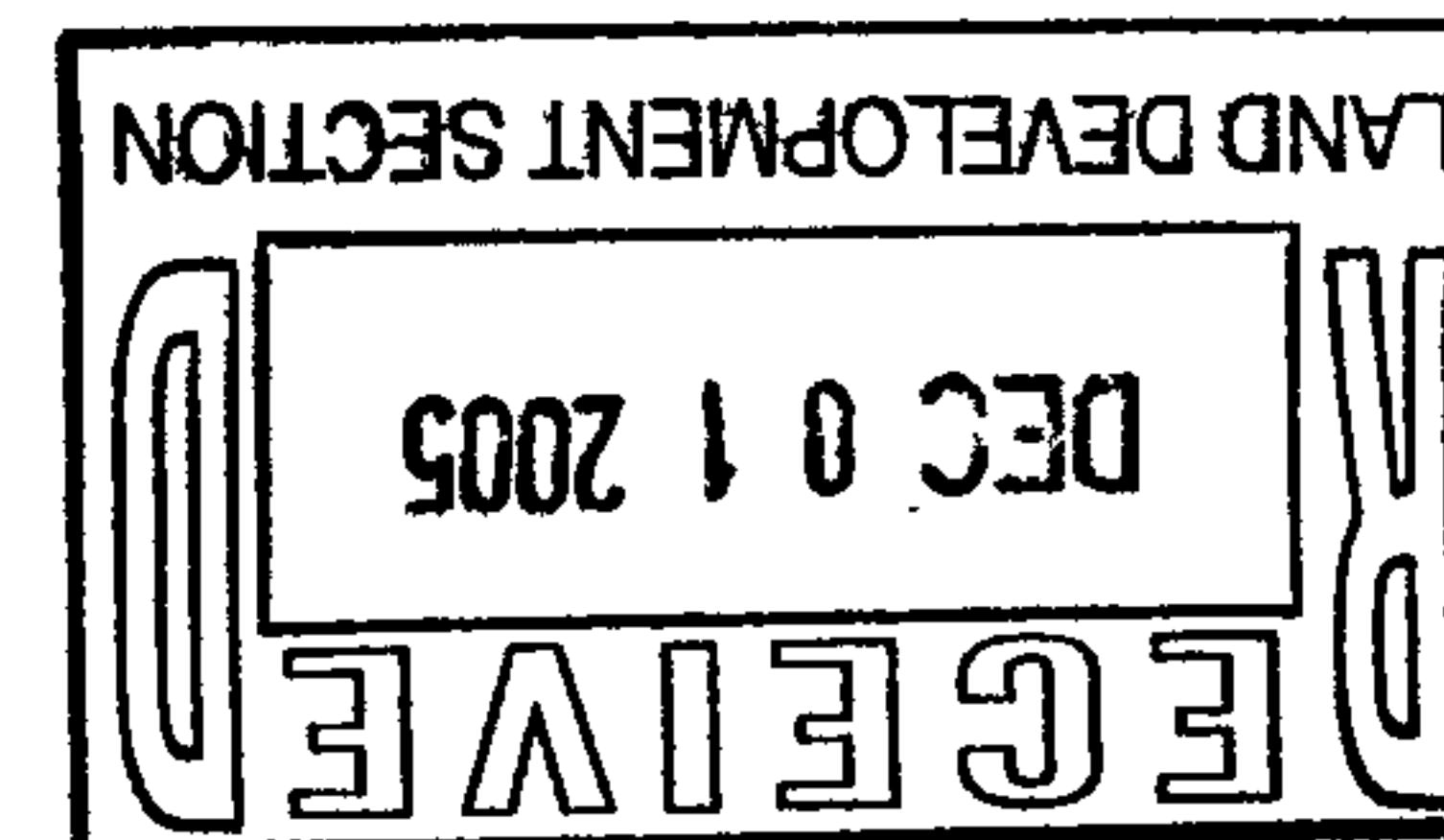


JLS

ARCHITECTS

1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437
www.jlsarchitects.com

- NOTE:
1. EXISTING STREET TREES TO REMAIN - NEW SIDEWALK TO MEANDER AROUND EXISTING TREE LOCATIONS
 2. NEW SIDEWALK SHALL INCLUDE ROOT BARRIER PER C.O.A. STANDARDS - @ EXISTING TREES.



WYOMING NORTH
OFFICE CENTER

8440 WYOMING BLVD. NE
ALBUQUERQUE NEW MEXICO

CURB CUT(S) APPROVED
TRAFFIC ENGINEER/TRANSP. DEV. DIV.

BY [Signature]
DATE 08/30/05

JS
ARCHITECTS

1600 RIO GRANDE NW
ALBUQUERQUE
NEW MEXICO 87104
505 246 0870
fax 505 246 0437

DATE **08-30-05** SHEET **ASI #8**



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 13, 2004

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

Re: 8510 Corona Ave NE, Grading and Drainage Plan
Engineer's Stamp dated 2-18-04 (C19/D6B5)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 2-18-04, the above referenced plan is approved for Grading Permit. Please note that the public drainage easement will have to be vacated and the lots replatted before anything can be built on this site. Attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Upon completion of the project, please provide an Engineer Certification for our files.

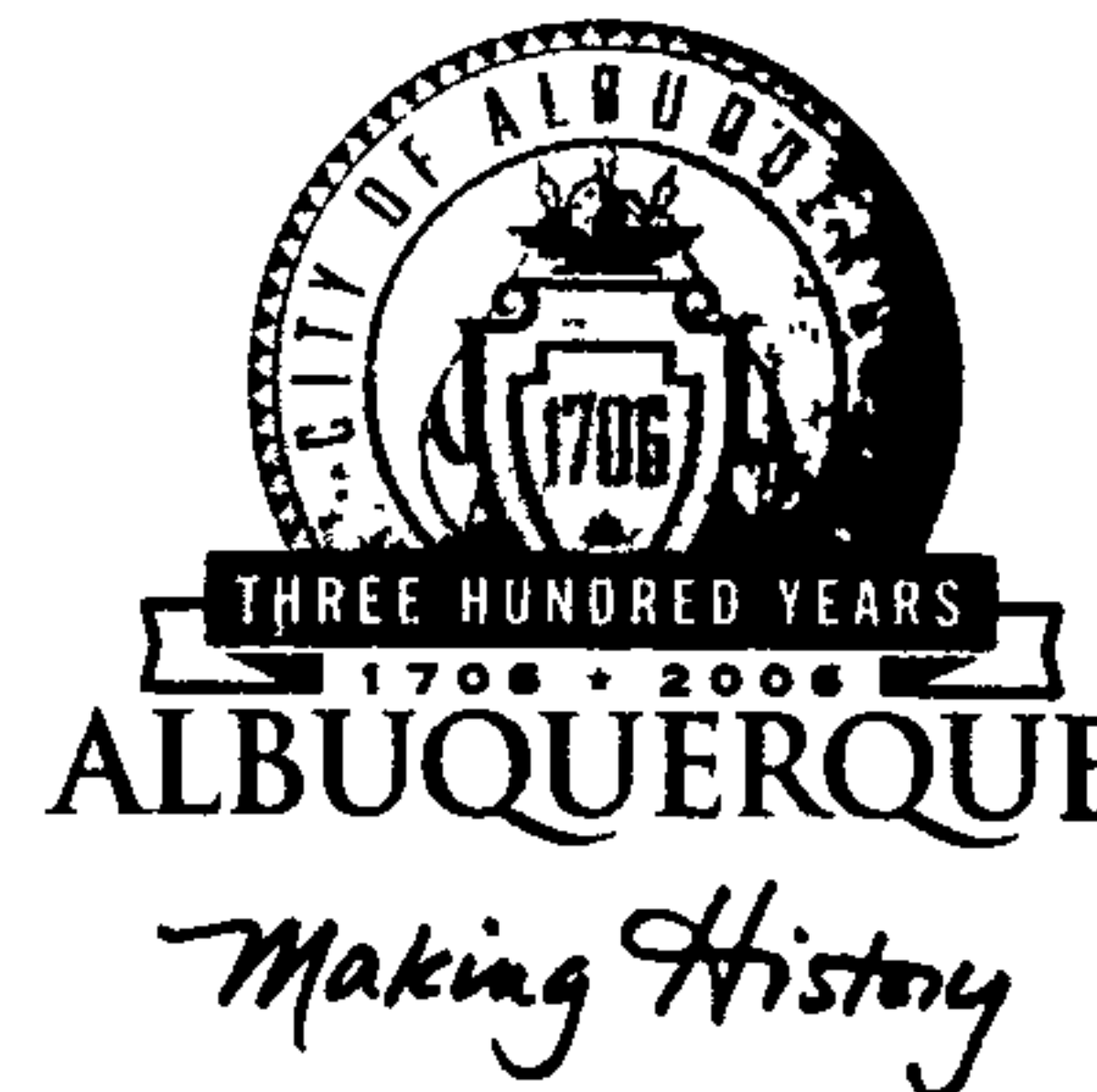
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



March 18, 2005

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedero NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Wyoming North Office Center, 7608 Corona NE, Grading and Drainage Plan
Engineer's Stamp dated 1-26-05 (C19 - D6B5)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 1-24-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist and an approved LOMR will be required.

If you have any questions, you can contact me at 924-3990.

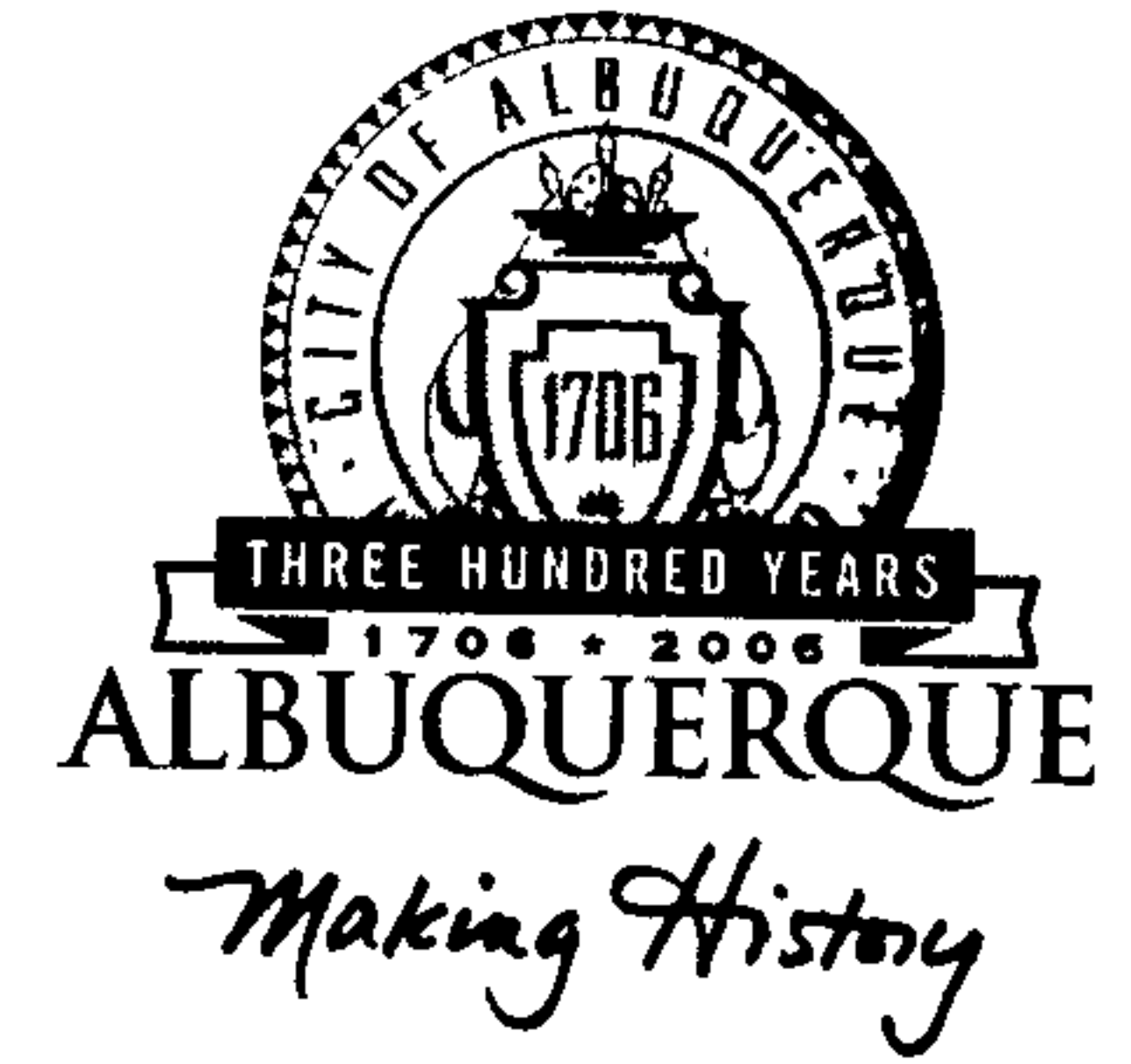
Sincerely,

Phillip J. Lovato, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

C: **THE ABOVE REFERENCED PLAN IS APPROVED
FOR SO19 PERMIT.**
LIZ SANCHEZ
MATT CLINE

PGJ

CITY OF ALBUQUERQUE



January 24, 2006

Dennis A. Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

Re: Wyoming North Office Center, 8440 Wyoming Blvd NE
Grading and Drainage Plan
Engineer's Stamp dated 1-18-06 (C19-D6B5)¹³

Dear Mr. Lorenz,

P.O. Box 1293

Based upon the information provided in your submittal received 1-18-06, the above referenced plan is approved for Building Permit. This plan supercedes all other plans submitted to this office. Please attach a copy of this approved plan to the construction sets prior to sign off by hydrology.

Albuquerque

This is now the plan that must be certified for the release of the Certificate of Occupancy.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

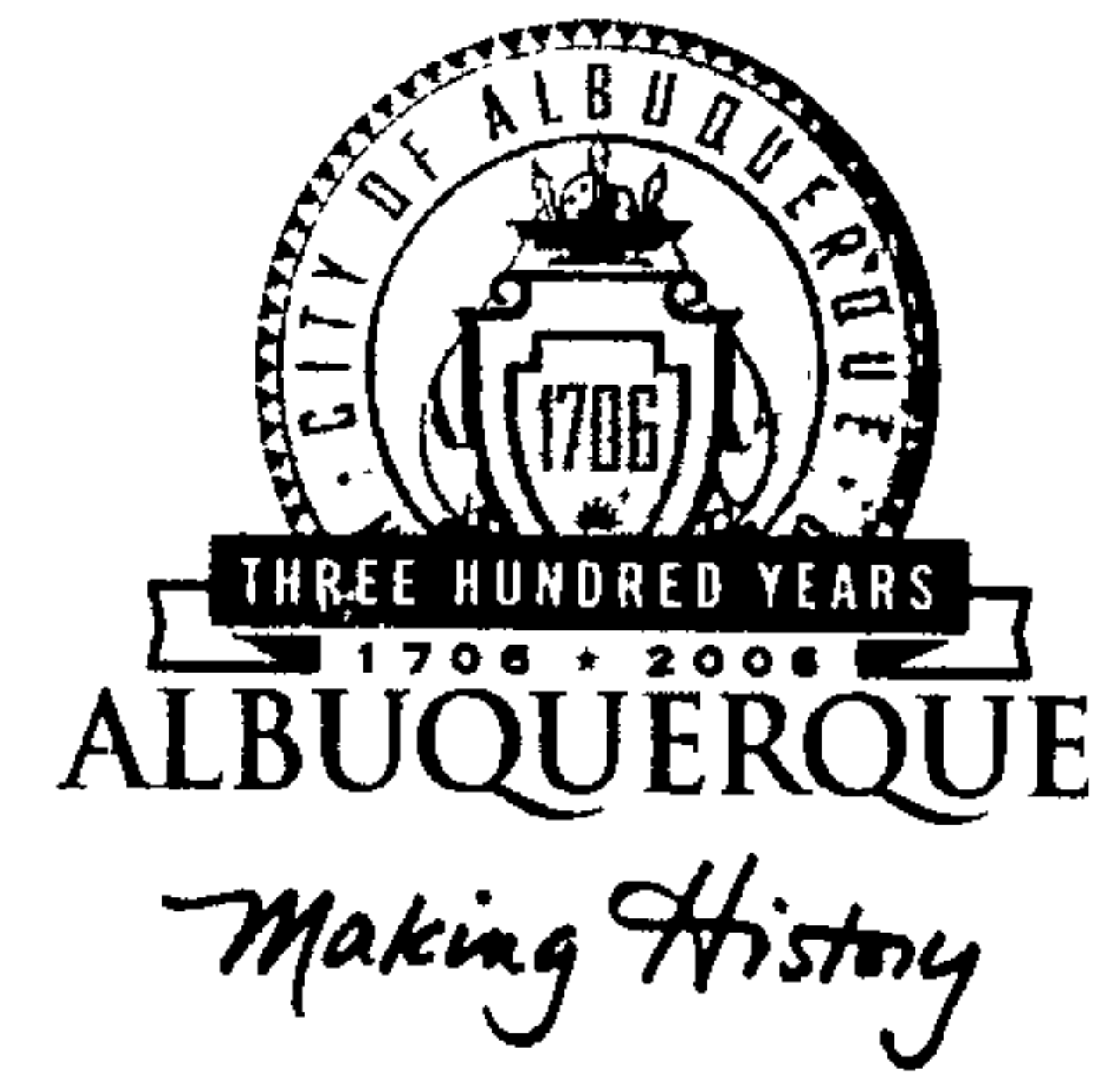
www.cabq.gov

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



March 14, 2006

Mr. Steve Morrow, PE
BRASHER & LORENZ
2201 San Pedro Dr. NE
Building 1, Suite 1200
Albuquerque, NM 87110

Re: WYOMING NORTH OFFICE CENTER
8440 Wyoming Blvd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 01/13/2006 (C-19/D6B5)
Certification dated 03/13/2006

P.O. Box 1293

Dear Steve,

Albuquerque

Based upon the information provided in your submittal received 03/13/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: WYOMING NORTH OFFICE CTR ZONE MAP/DRG. FILE # C19.D6B5
DRB#: — EPC#: — WORK ORDER#: —

LEGAL DESCRIPTION: LOT 1A BLK 17 TR UNIT NAA
CITY ADDRESS: WYOMING BLVD NE

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBU NM

CONTACT: D. LORENZ
PHONE: 888.6088
ZIP CODE: 87110

OWNER: JIM HAKEEM
ADDRESS: 12415 WALKER WAY NE
CITY, STATE: ALBU NM

CONTACT: J. HAKEEM
PHONE: 878 0001
ZIP CODE: 87111

ARCHITECT: JLS ARCHITECTS
ADDRESS: 1600 140 GRAND NW
CITY, STATE: ALBU NM

CONTACT: J. SLAGLE
PHONE: 246 0870
ZIP CODE: 87104

SURVEYOR: HARRIS SURVEYING
ADDRESS: 2410-B MONROE NE
CITY, STATE: ALBU NM

CONTACT: A. HARRIS
PHONE: 889 8056
ZIP CODE: 87110

CONTRACTOR: ENTERPRISE BLDGS
ADDRESS: 8940 WYOMING NE
CITY, STATE: ALBU NM

CONTACT: D. CHIMENTI
PHONE: 857.0050
ZIP CODE: 87109

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ DATE: 3-13-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

