

- DRAINAGE PLAN NOTES**
1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
  2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
  3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
  4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
  5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
  6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
  7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
  8. This plan assumes more than 1.0 acre of land will be disturbed with each construction permit. A Storm Water Pollution Prevention Plan and Notice of Intent will be required.
  9. All spot elevations indicated on the plan are finished grade or top of pavement unless noted otherwise.
- KEYED NOTES**
1. EXISTING STANDARD CURB & GUTTER
  2. EXISTING 10' SIDEWALK
  3. EXISTING HANDICAP RAMP
  4. EXISTING CMU WALL
  5. EXISTING ASPHALT PAVING
  6. EXISTING REFUSE ENCLOSURE
  7. NEW 6" SIDEWALK
  8. NEW UNIDIRECTIONAL HANDICAP RAMP PER COA STD DWG
  9. NEW HANDICAP RAMP SEE DETAILS
  10. CONCRETE SIDEWALK
  11. NEW 6" CONCRETE CURB
  12. NEW TURN DOWN SIDEWALK
  13. REM & DISPOSED APPROX 75 LF EXIST CURB & GUTTER CONSTRUCT CONC VALLEY GUTTER
  14. PROVIDE HANDICAP PARKING STRIPING AND SIGNAGE PER CODE
  15. NEW REFUSE ENCLOSURE
  16. MONUMENT SIGN
  17. ABANDONED STORM MANHOLE TO REMAIN
  18. LOT LINE TO BE ELIMINATED BY RE-PLAT
  19. CONSTRUCT 24" SW CULVERT PER COA STD DWG 2236
  20. CONSTRUCT CONCRETE CHANNEL
  21. PROVIDE 24" CURB BLOCKOUT
  22. CONSTRUCT 42" CB. CONNECT TO (6" < b)
  23. EXISTING INLET PER COA STD DWG 2237
  24. CONNECT STORM DRAIN TO ROOF DRAINAGE SYSTEM - SEE ROOF PLAN
  25. CONSTRUCT CONCRETE CHANNELS PER DETAIL H/2

- LEGEND**
- 02.5 X EXISTING SPOT ELEVATION
  - 01.5 ♦ PROPOSED SPOT ELEVATION
  - DIRECTION OF FLOW
  - DRAINAGE SWALE
  - PROPOSED CONCRETE
  - RIP-RAP ROCK
  - 5860 EXISTING CONTOUR
  - 60 PROPOSED CONTOUR
  - PROPOSED SITE LIGHTING
  - ROOF DRAIN

**PROPERTY ADDRESS**  
7608 CORONA AVENUE NE  
ALBUQUERQUE, NM 87112

**LEGAL DESCRIPTION**  
PORTION OF LOT 1, & 2 BLK 17 TR 2 UNIT 3 NAA  
ALBUQUERQUE, NEW MEXICO

**PROJECT BENCHMARK**  
BENCH MARK: ACS 1 3/4" ALUMINUM DISK STAMPED  
"ACS BM 16-D19"  
ELEVATION = 5391.40

**SURVEY**  
BOUNDARY PROVIDED BY HARRIS SURVEYING  
SUPPLEMENTAL MAPPING BY BLI DECEMBER 2004

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

**HYDROLOGY CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY**

I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 1-13-06. The record information edited onto the original design document has been obtained by Larry Medrano NMPS 11993, of the firm Precision Surveys. I further certify that I have personally visited the project site on 3-8-06 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

STEVEN K. MORROW  
13679  
3-13-06  
Date

**DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY**  
NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, THROUGH AMENDMENT NO. 7.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS  
INSPECTOR  
3-13-06  
DATE

**WYOMING NORTH**  
**OFFICE CENTER**  
7608 CORONA AVE. NE  
ALBUQUERQUE NEW MEXICO

**ARCHITECTS**  
1600 rio grande nw  
albuquerque  
new mexico 87104  
505 246 0870  
fax 505 246 0437

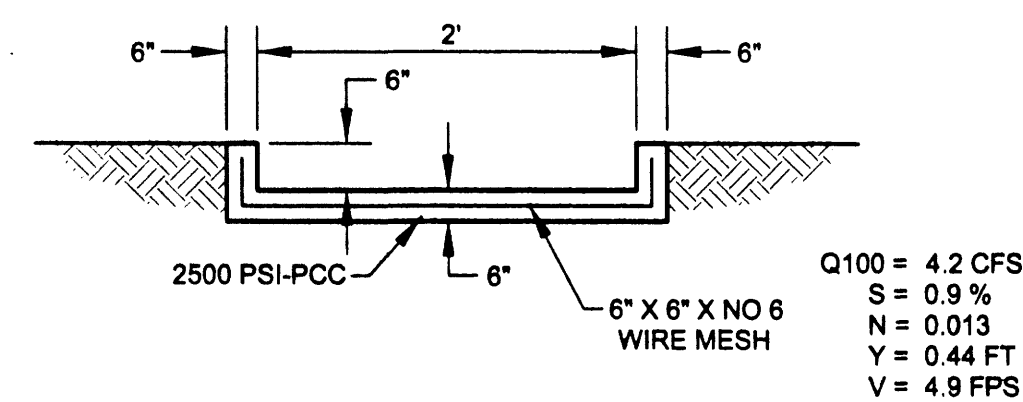
**GRADING AND**  
**DRAINAGE PLAN**

**REVISIONS**  
REVISED SD DIAMETER  
ADDED CHANNELS AT  
ROOF DRAINS

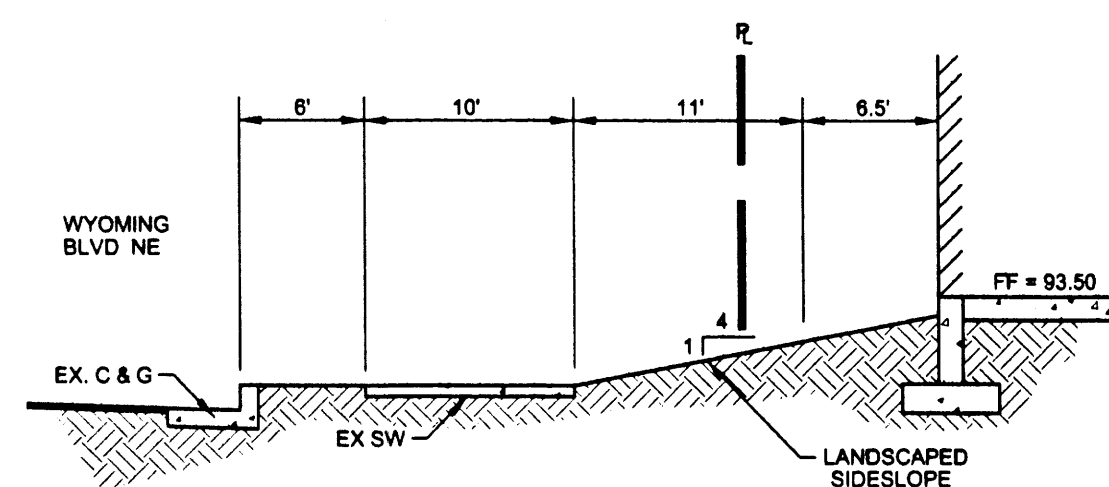
**ARCHITECT**  
**ENGINEER**  
DATE  
01-24-05  
SHEET  
1 OF 2

95310

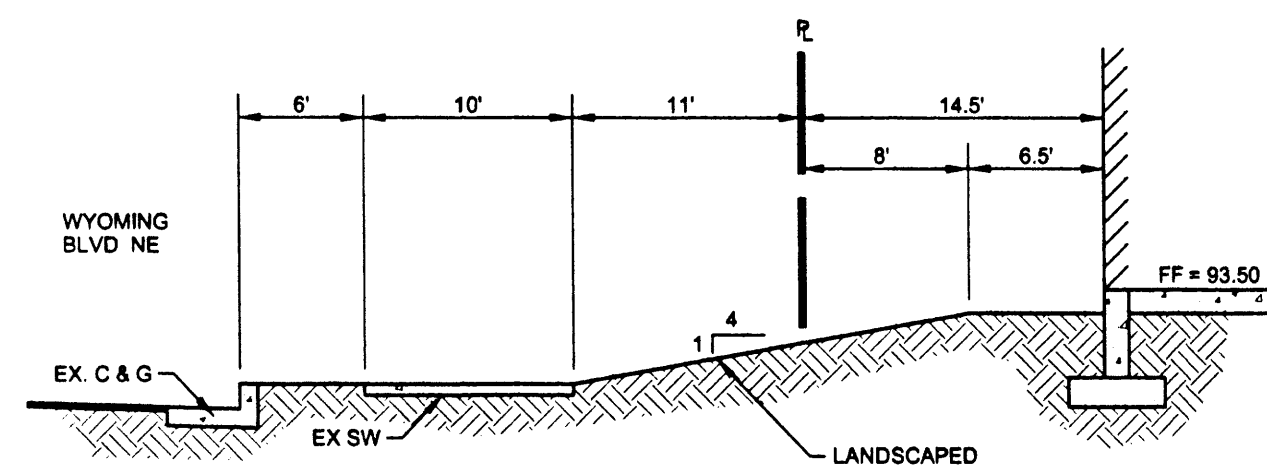




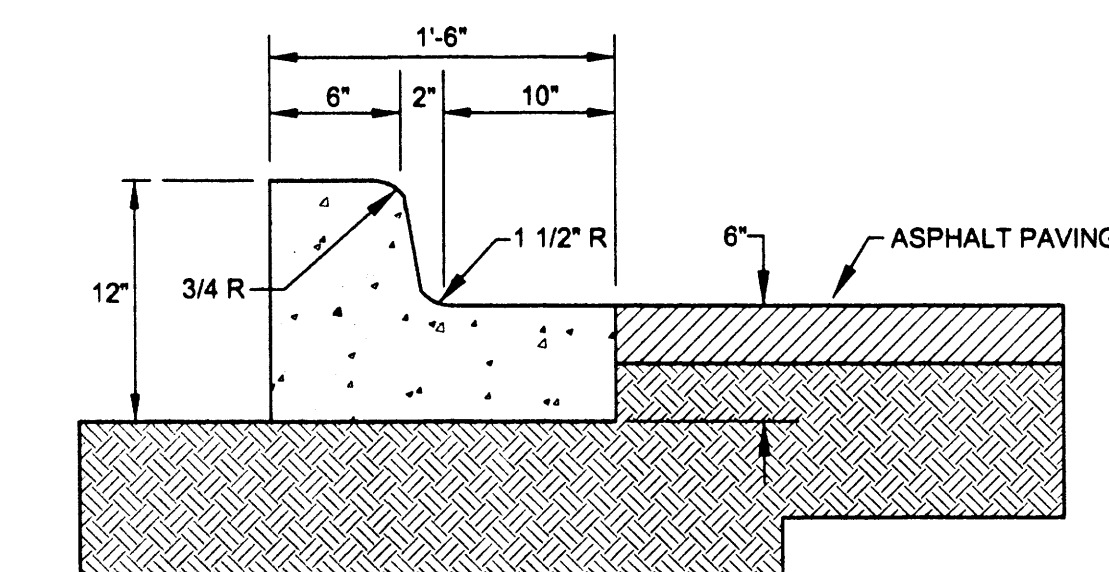
CHANNEL SECTION A-2  
NTS



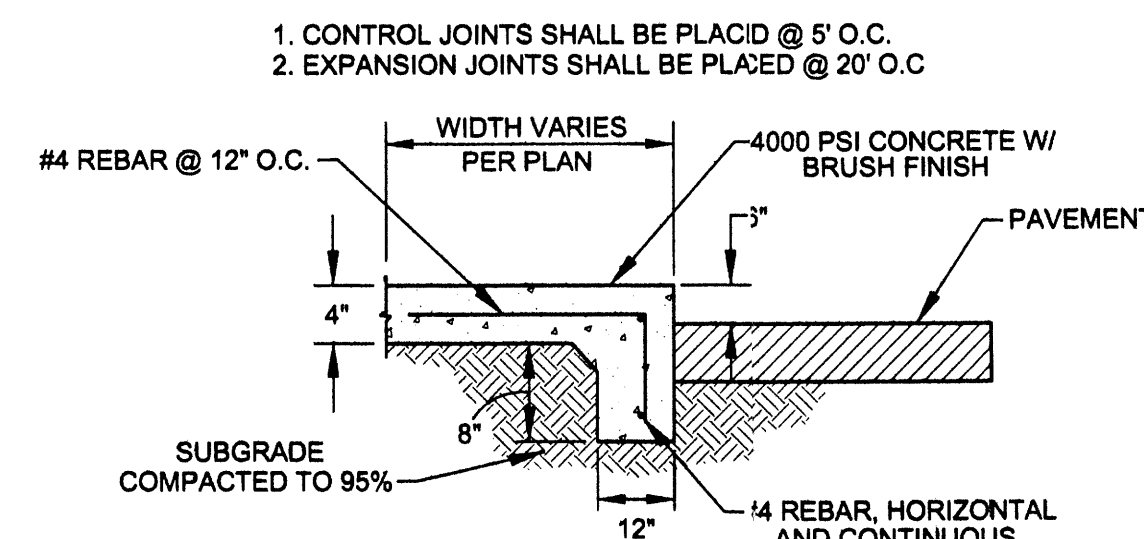
SECTION B-2  
SCALE: 1" = 10'



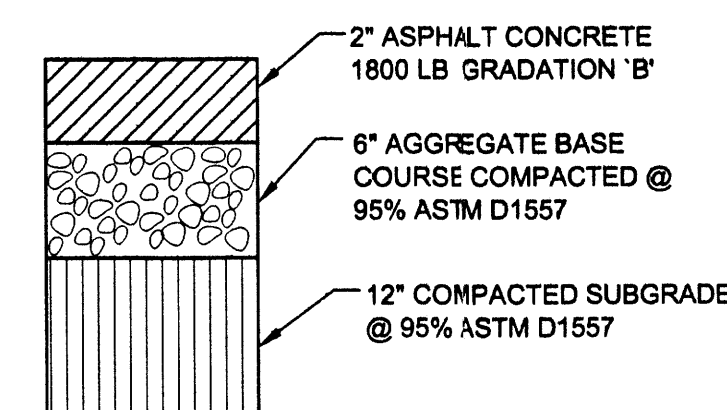
SECTION C-2  
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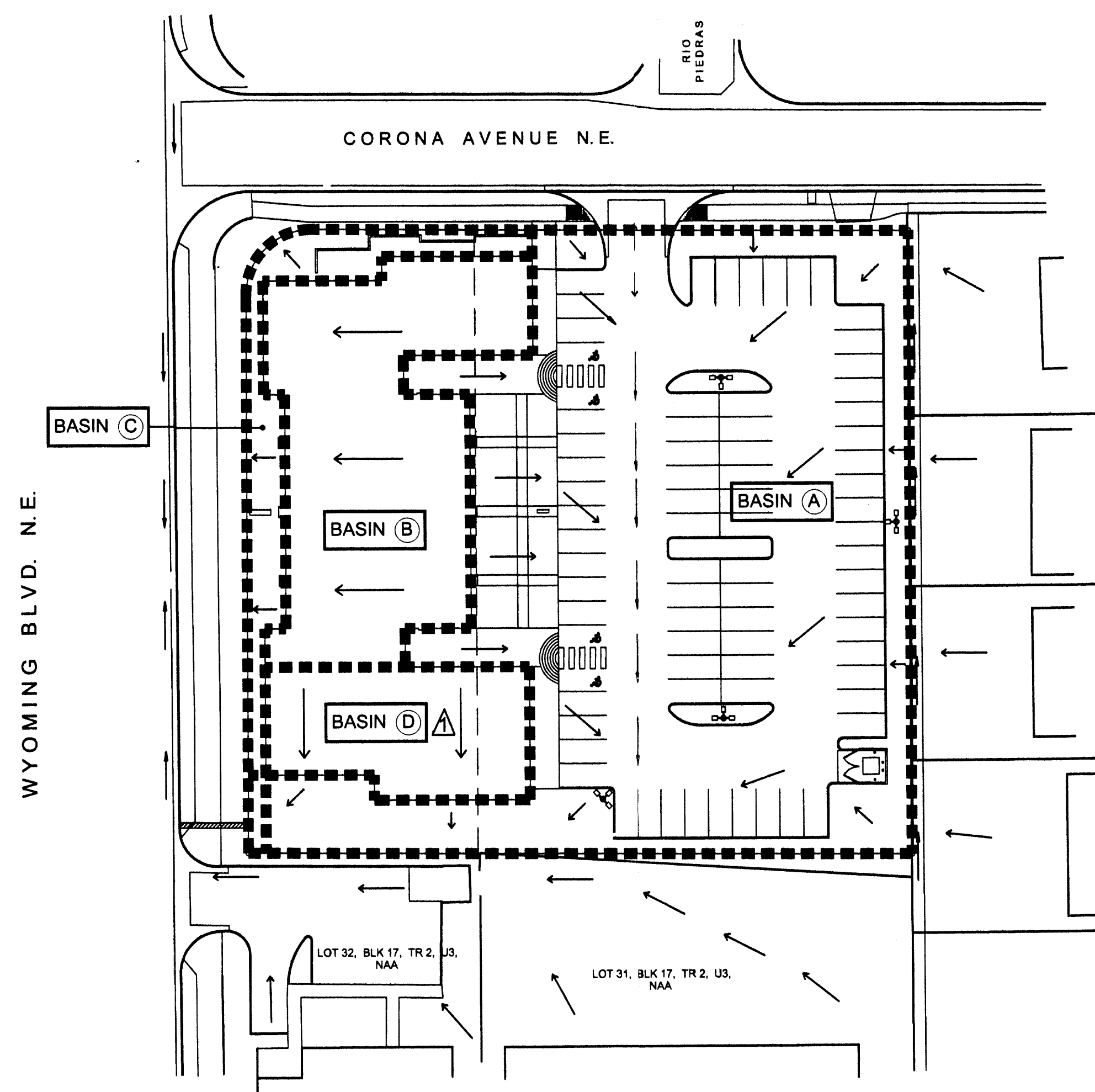
6" CURB & GUTTER DETAIL D-2  
NTS



TURNDOWN SIDEWALK E-2  
NTS



PAVEMENT SECTION F-2  
NTS



ON-SITE DRAINAGE BASIN MAP G-2  
SCALE: 1" = 40'

## GRADING AND DRAINAGE PLAN

### INTRODUCTION

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Wyoming North Office Center, a 16,000 square foot office building. The subject site is located on Wyoming Boulevard NE at Corona Avenue NE, and is presently undeveloped. This plan is presented to provide drainage management criteria and construction detail to support building permit application.

### EXISTING CONDITIONS

The project site is approximately 1.35-acres in size and is located on Wyoming Blvd NE, at Corona Ave NE. The property is particularly described as a Portion of Lot 1, and Lot 2, Block 17, Tract 2, Unit 3, North Albuquerque Acres. The site is bounded by Corona Avenue on the north, Wyoming Blvd on the west and developed properties on the east and south. Site topography generally slopes from east to west. All on-site runoff drains to Wyoming Boulevard where existing public storm drainage improvements convey all runoff to the existing Wyoming storm sewer that drains to the North Domingo Baca Channel. No off-site flows impact the site.

As shown by the attached FIRM Panel, this site is currently mapped as a Flood Hazard Zone, Zone AE, Depth 5397 MSLD. The mapped floodplain is a remnant of a community detention pond that was constructed for Nor Este Manor Subdivision in lieu of downstream improvements. With the recent construction of the Wyoming Boulevard Widening Project and associated storm drainage improvements, the pond was abandoned. The abandoned pond was later filled in by the Owner in accordance with an approved Grading and Drainage Plan and Storm Water Pollution Prevention Plan. Existing site improvements consist of silt fencing and a temporary sedimentation pond as recommended by the Storm Water Pollution Prevention Plan.

### PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of the Wyoming North Office Center. The Plan shows the elevations and detail necessary to construct the recommended improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

All on-site runoff will be managed by site improvements recommended by this Plan. The site is divided into 4 on-site drainage basins (See Sheet 1). Basin "A" represents the parking lot and pedestrian areas located east of the building that will drain around the south side of the building to Wyoming Boulevard through a sidewalk culvert. Basin "B" represents the building, which will drain by a roof drainage system connected to the existing drop inlet located in Wyoming Boulevard. Basin "C" represents portions of the site located north and west of the building that will drain into Wyoming Boulevard. Basin "D" is a portion of the building that drains south to the concrete channel along the south property line.

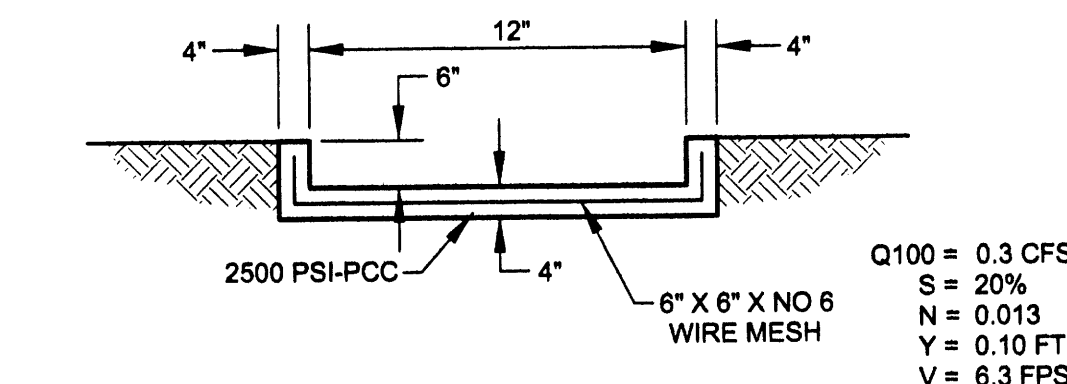
### EROSION CONTROL

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. Erosion control improvements are to be made per the active Storm Water Pollution Prevention Plan managed by the Owner.

### CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

HYDROLOGY - AHYMO									
Precipitation Zone 3									
Basin	Basin	Land Treatment (acres)				Ew	V100	Q100	
		area (Ac)	A	B	C	D	(in)	(af)	(cfs)
Existing Conditions									
SITE	1.35	0	0	1.35	0	1.29	0.1451	4.7	
Developed Conditions									
SITE	1.35	0.00	0.12	0.14	1.09	2.12	0.2372	6.3	
A	0.91	0.00	0.09	0.10	0.72	2.10	0.1593	4.2	
B	0.25	0.00	0.00	0.00	0.25	2.36	0.0492	1.3	
C	0.07	0.00	0.03	0.04	0.00	0.88	0.0051	0.2	
D	0.12	0.00	0.00	0.00	0.00	2.36	0.0234	0.6	



CHANNEL SECTION H-2  
NTS

## WYOMING NORTH OFFICE CENTER

7608 CORONA AVE. NE  
ALBUQUERQUE NEW MEXICO

### ARCHITECTS

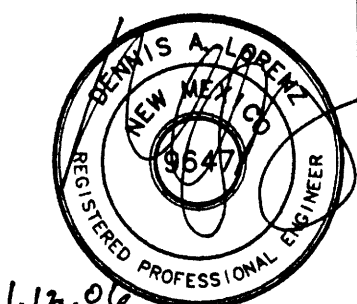
1600 rio grande nw  
albuquerque  
new mexico 87104  
505 246 0870  
fax 505 246 0437

### DETAILS

### REVISIONS

REVISOR: HYDROLOGY  
ADDED DETAIL 'H'

ARCHITECT ENGINEER



DATE 01-05-05 SHEET 2 OF 2

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-6088 Fax: 505-888-6188

# PARKING REQUIREMENTS

BUILDING AREA:	15,400 S.F. @ 1:200 = 77 SP.
LESS 10% BUS DISCOUNT (WYOMING BLVD.)	70 SP.
PARKING PROVIDED:	= 77 SPACES
REQUIRED H.C. PARKING:	4 SPACES
H.C. PARKING PROVIDED:	4 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES

# GENERAL NOTES

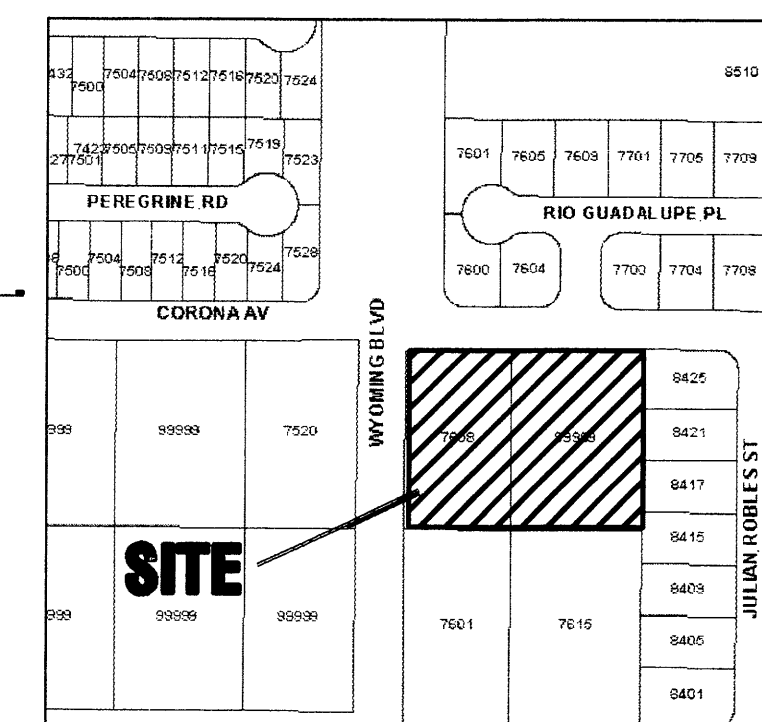
1. VERIFY ALL EXISTING SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS. ALL EXISTING STUO-OUTS TO BE USED AND TIED INTO NEW LINES FOR BUILDING.
2. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
3. PATCH & REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION

DRIVE LANES & TRUCK DOCKING AREAS  
3" ASPHALT PAVING OVER 6" COMPACTED BASE COURSE

CAR PARKING LOT PARKING AREA  
2" ASPHALT PAVING OVER 4" COMPACTED BASE COURSE

VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS

# VICINITY MAP



# SIGNATURE BLOCK

PROJECT NUMBER	1004090	DATE	4-22-05
APPLICATION NUMBER	05-00608	DATE	4-20-05
Is an infrastructure list required? ( ) yes <input checked="" type="checkbox"/> no If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.		DATE	4/20/05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<i>Regan A. Green</i>	DATE	4/20/05
UTILITIES DEVELOPMENT	<i>Christina Sandoval</i>	DATE	4/20/05
PARKS AND RECREATION	<i>Bradley B. Blythe</i>	DATE	4/20/05
CITY ENGINEER	N/A	DATE	
ENVIRONMENTAL HEALTH DEPT. (if required)		DATE	
SOLID WASTE MANAGEMENT	<i>Michael Holton</i>	DATE	4-12-05
DRB CHAIRPERSON, PLANNING DEPARTMENT	<i>Andrew Garcia</i>	DATE	4-20-05

# PROJECT DATA

LOCATION:	7608 Corona Ave. NE Albuquerque, NM
OWNER:	James P. & Jacklyn Hakeem
UPC NUMBER:	101906427319540432
LEGAL DESCRIPTION:	LOT 1, BLOCK 17, NORTH ALBUQUERQUE ACRES TR 2 UNIT 3

CURRENT ZONING: R-D

ZONE ATLAS PAGE: C19

APPLICABLE CODE: 2003 IBC

CONSTRUCTION TYPE: V-B

OCCUPANCY GROUP: B

LOT AREA: 58,536 S.F. (1.34 AC.)

TOTAL BUILDING AREA: 15,400 S.F.

NET LOT AREA: 43,136 S.F.

PAVED AREA: 31,615 S.F.

LANDSCAPE AREA: 11,521 S.F.

% OF NET LOT AREA LANDSCAPED 26.7%

LANDSCAPE TO PAVED AREA RATIO 36.4%

ALLOWABLE FLOOR AREA: 15,750 S.F.

(TABLE 503)

If = 100  $\left\{ \begin{array}{l} 802 - 0.25 \\ 802 - 0.25 \end{array} \right\} 30$

If = 100  $\left\{ \begin{array}{l} 1 - 0.25 \\ 1 - 0.25 \end{array} \right\} 1$

If = 75% ALLOWABLE AREA INCREASE

75% x 9,000sf = 6,750sf

9,000sf + 6,750sf = 15,750sf

ACTUAL FLOOR AREA: 15,400 S.F.

EXITS REQ'D: 2

EXITS PROVIDED: 2

FIRE EXT. REQ'D: 5

OCCUPANT LOAD: 154

15,400 S.F. / 100 = 154

# WYOMING NORTH OFFICE CENTER

7608 CORONA AVE. NE  
ALBUQUERQUE NEW MEXICO



# ARCHITECTS

1600 rio grande nw  
albuquerque  
new mexico 87104  
505 246 0870  
fax 505 246 0437

# APD PLANS CHECKING OFFICE

825-2811

APPROVED/UNAPPROVED

Signature: *Steven M. White* 4/14/05

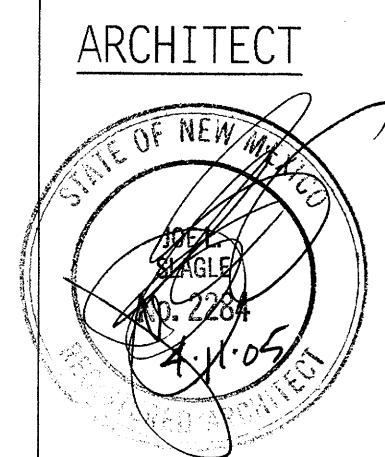
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# Site Plan & Site Details

# REVISIONS

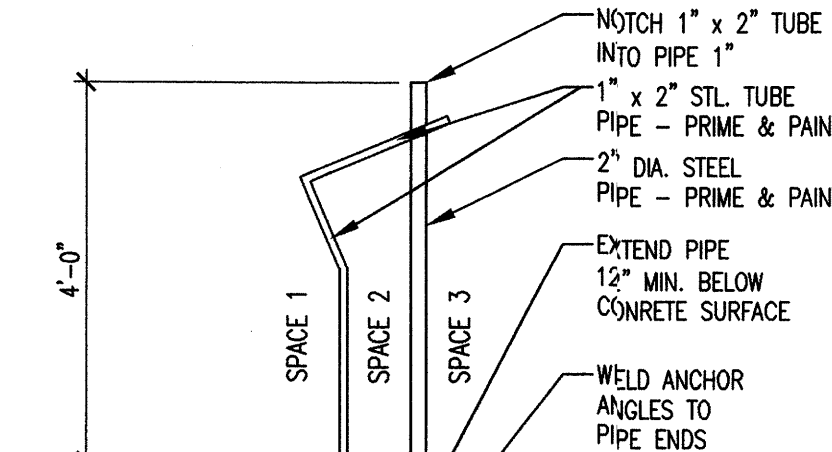
# ARCHITECT

# ENGINEER



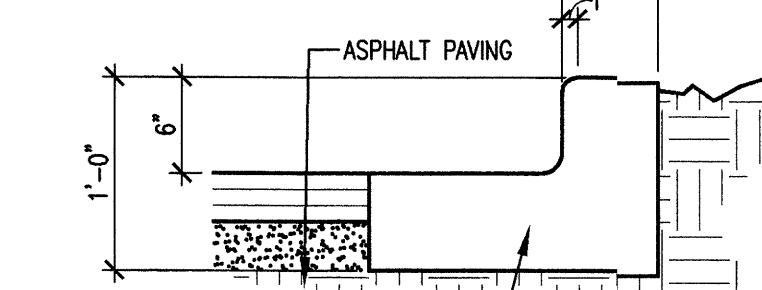
DATE  
04-12-05

SHEET  
C1



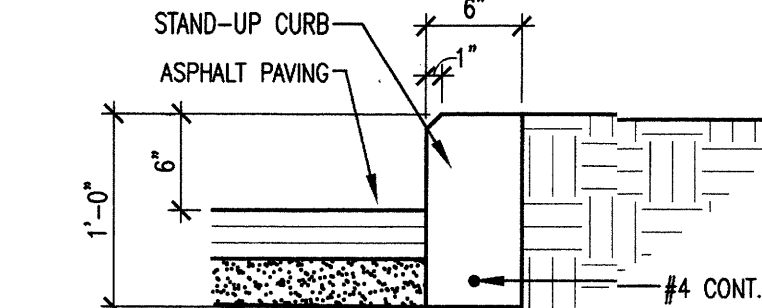
# 13 Bike Rack

C1 1/2" = 1'-0"



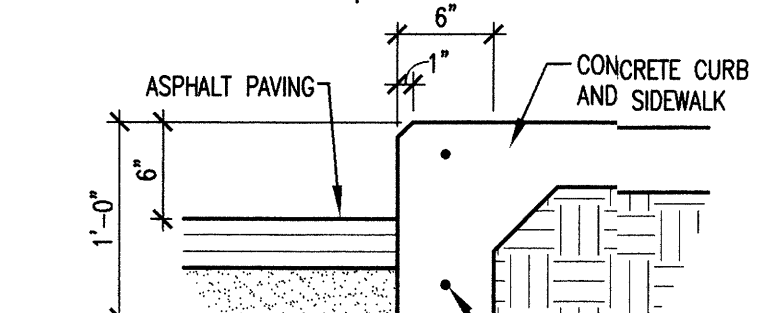
# 12 Curb & Gutter

C1 1" = 1'-0"



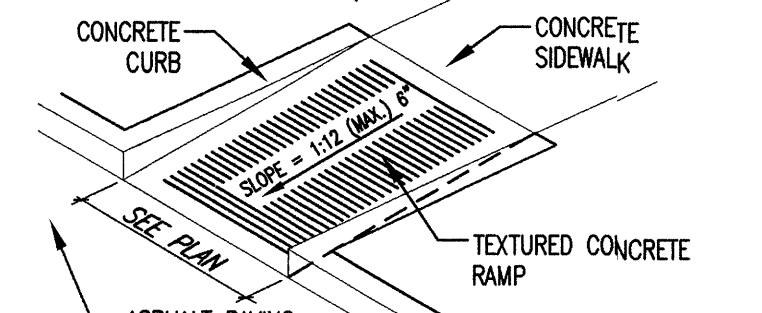
# 11 Stand-up Curb

C1 1" = 1'-0"



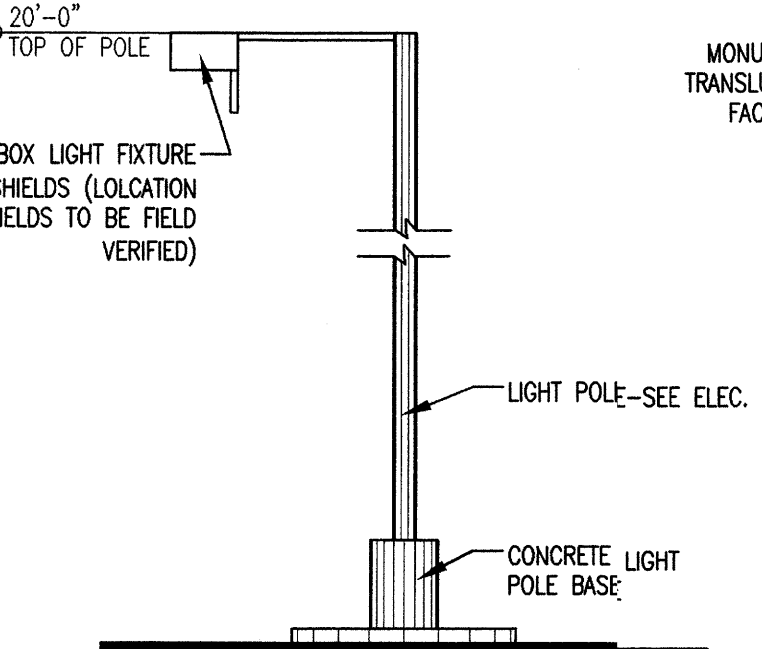
# 10 Sidewalk Turn-Down

C1 1" = 1'-0"



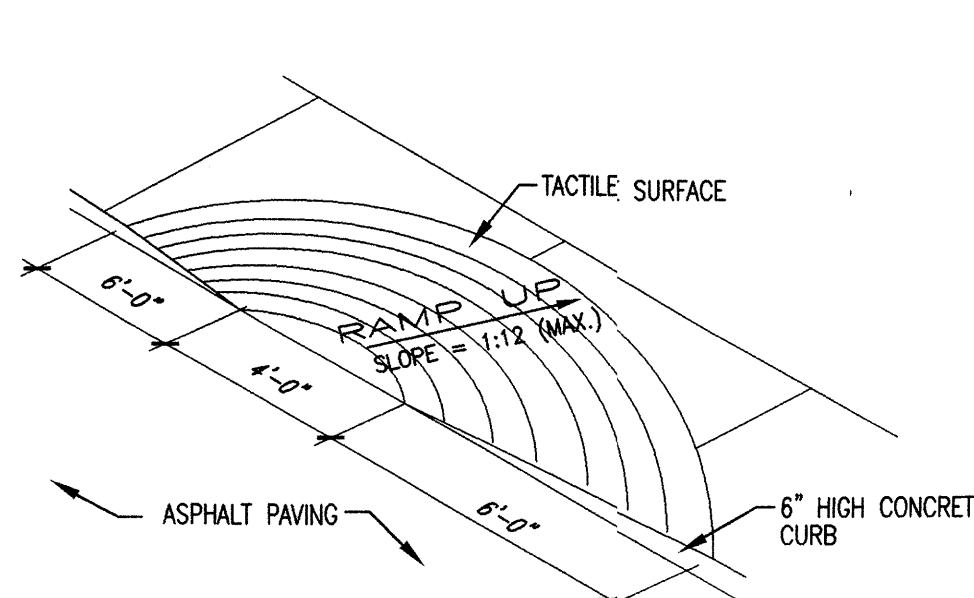
# 9 H.C. Ramp

C1 N.T.S.



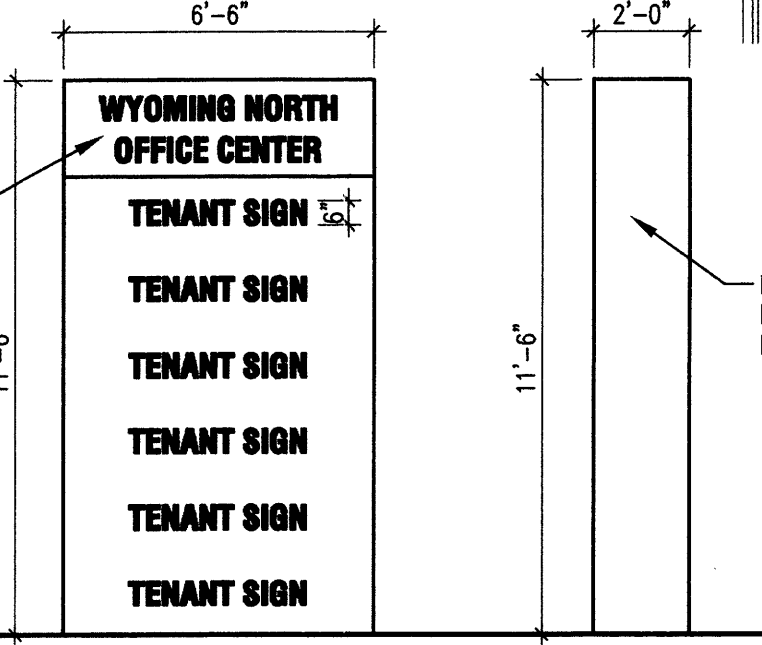
# 8 Site Lighting Detail

C1 N.T.S.



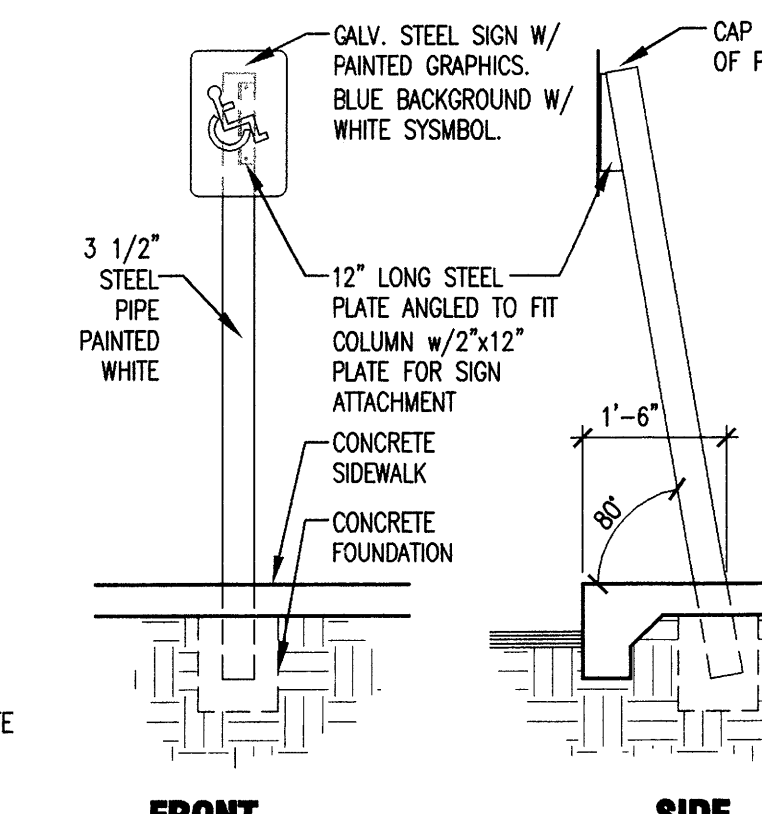
# 7 H.C. Ramp

C1 N.T.S.



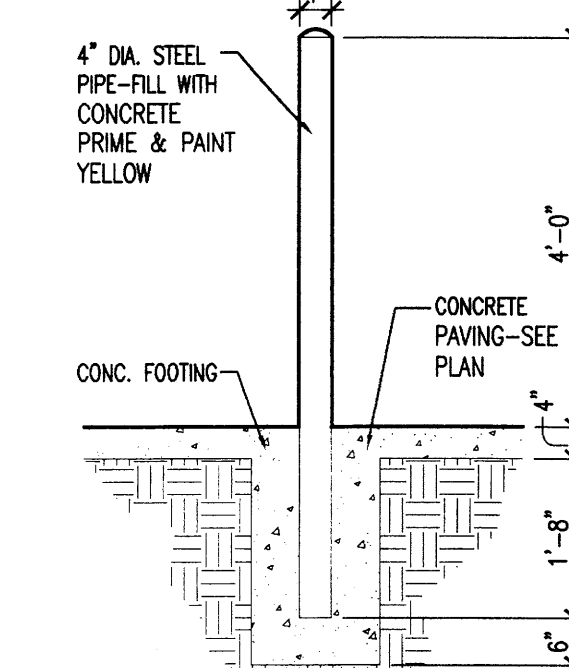
# 14 Monument Sign

C1 1/4" = 1'-0"



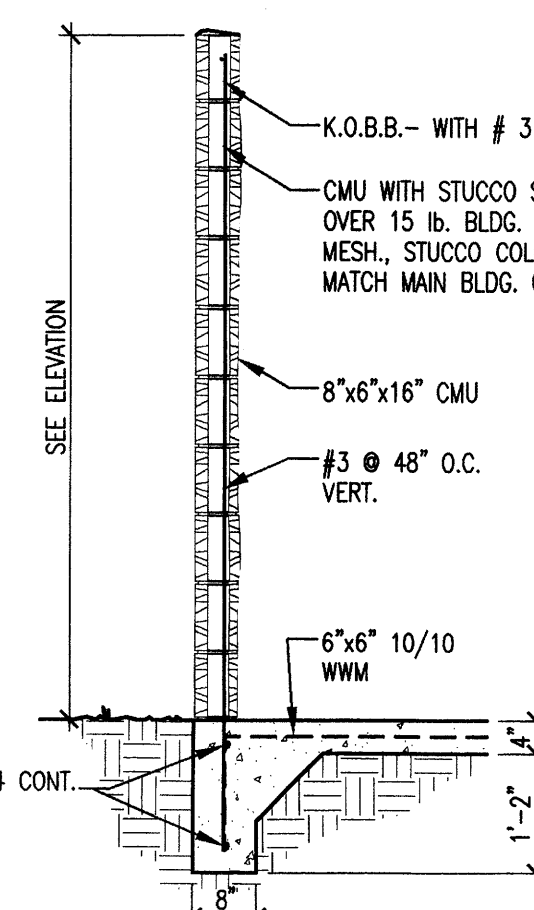
# 6 H.C. Parking Sign

C1 1/2" = 1'-0"



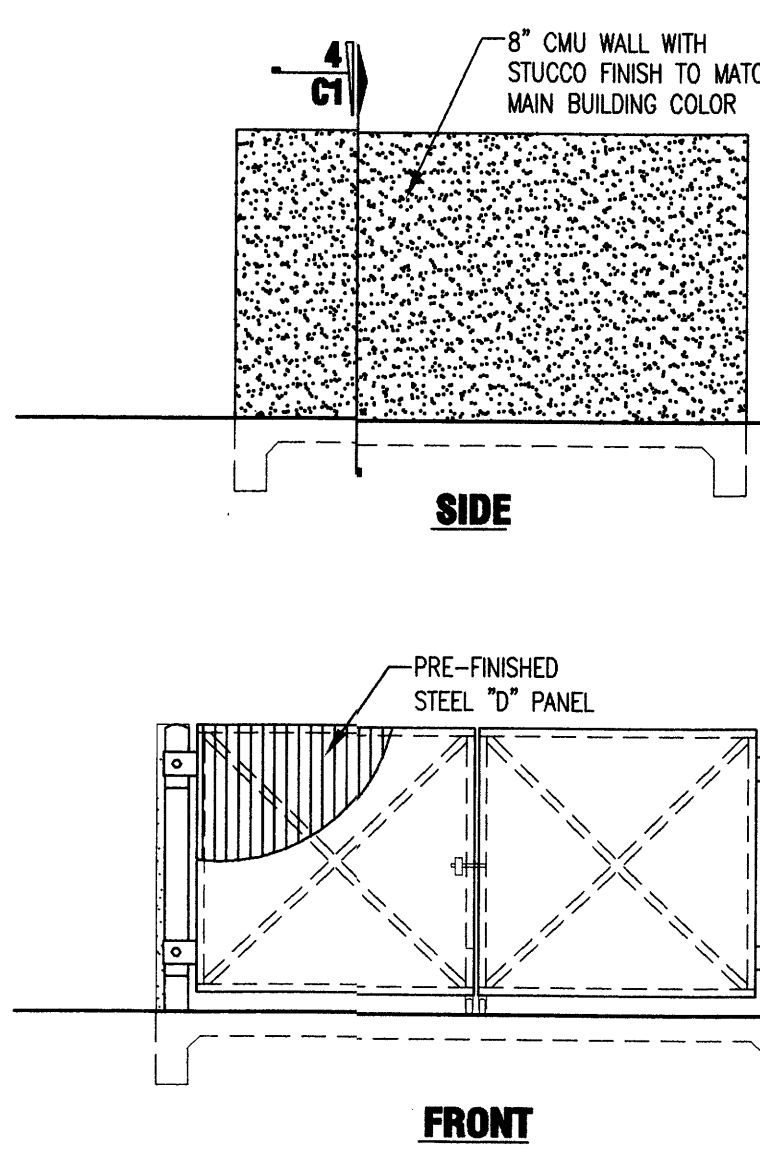
# 5 Pipe Bollard

C1 1/2" = 1'-0"



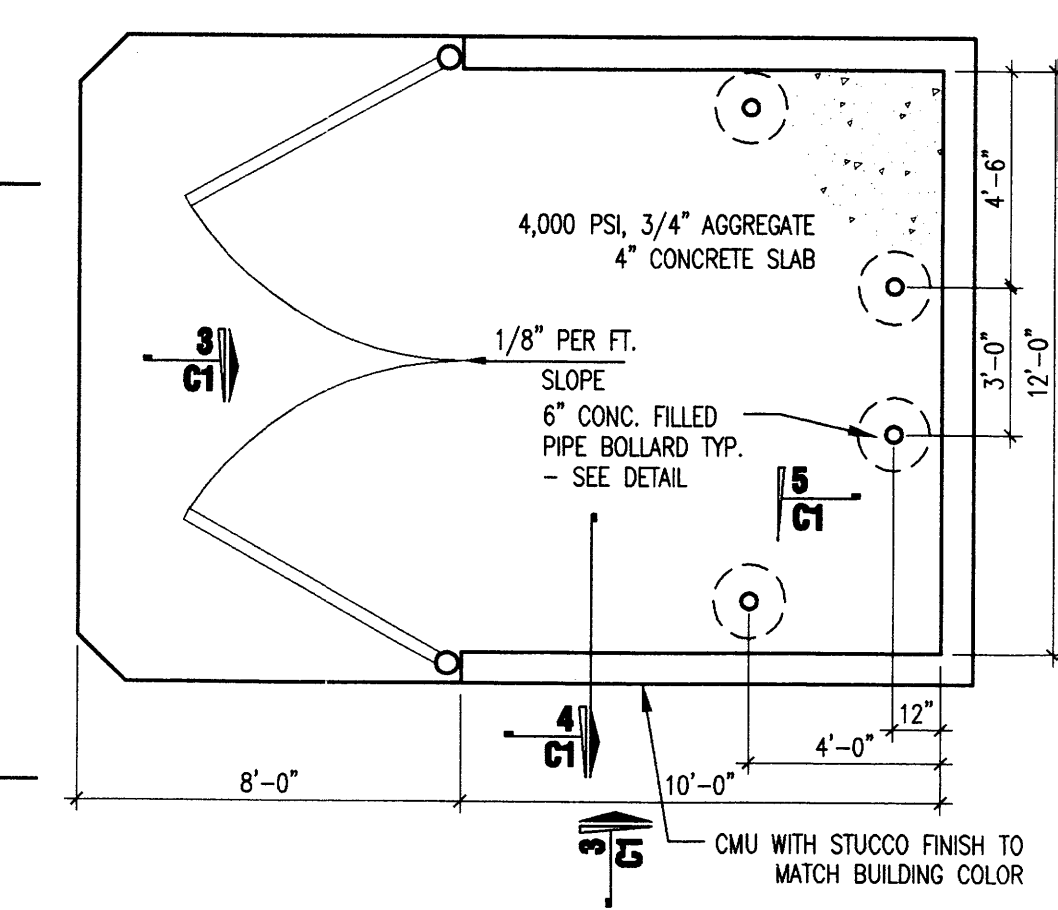
# 4 Wall Detail

C1 1/2" = 1'-0"



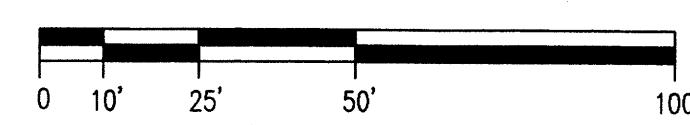
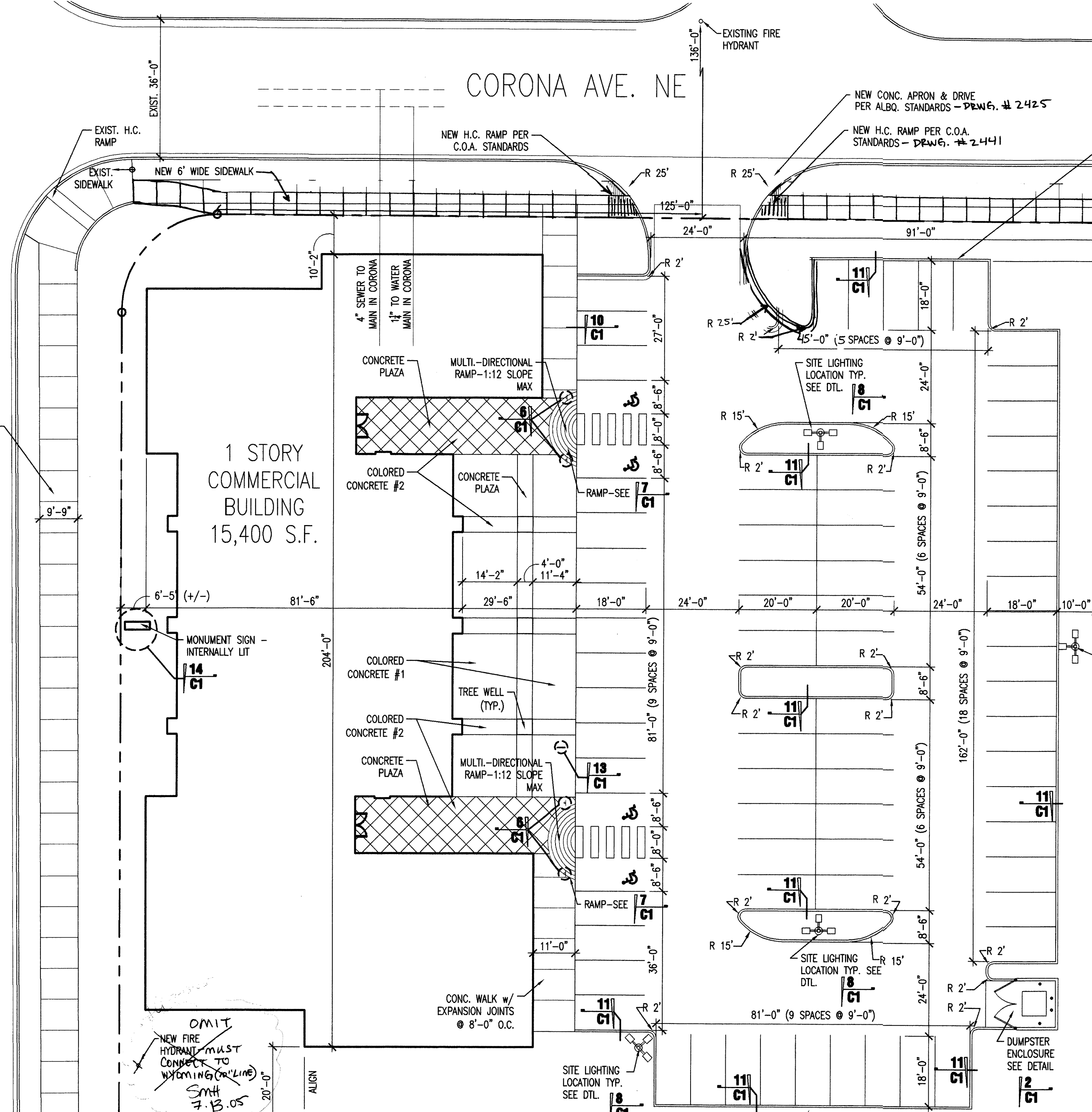
# 3 Wall Detail

C1 1/2" = 1'-0"



# 2 Dumpster Enclosure

C1 1/4" = 1'-0"



# 1 Site Plan

C1 1" = 20'-0"