

RONALD D. BROWN, CHAIR  
DANIEL W. COOK, VICE CHAIR  
TIM EICHENBERG, SECRETARY-TREASURER  
LINDA STOVER, ASST. SECRETARY-TREASURER  
DANNY HERNANDEZ, DIRECTOR

JOHN P. KELLY, P.E.  
EXECUTIVE ENGINEER



**Albuquerque  
Metropolitan  
Arroyo  
Flood  
Control  
Authority**

2600 PROSPECT NE • ALBUQUERQUE, NM 87107

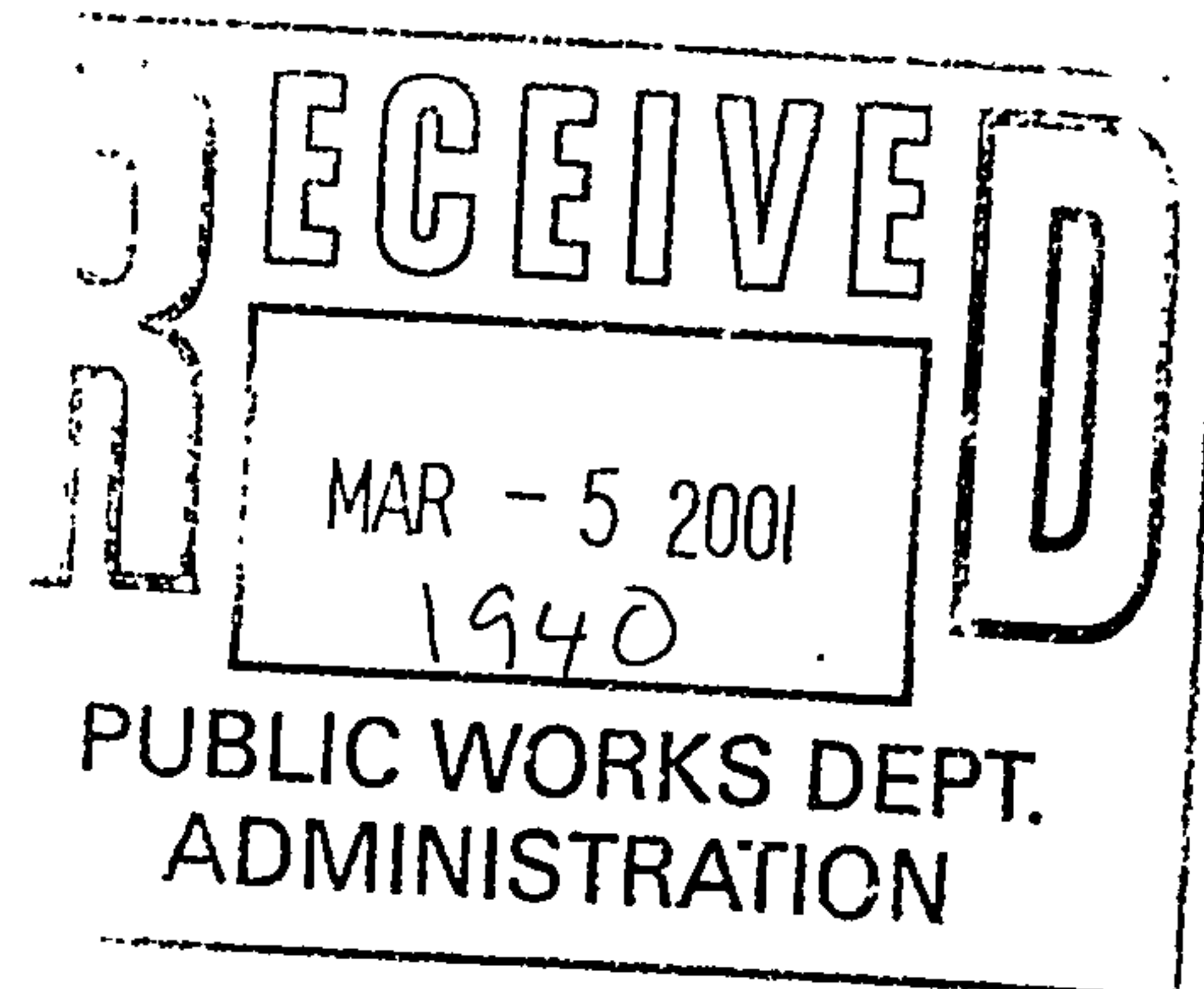
PHONE: (505) 884-2215  
FAX: (505) 884-0214

*Fred Aguine* *Hydrology* *Orig*  
*Trans Revell* *Copy*  
*City Engineer* *Copy*

*C19/D011B1*

March 1, 2001

Donald G. Hoech, President  
Hoech Real Estate Corporation  
8300 Carmel Ave. NE, Suite 601  
Albuquerque, NM 87122



Re: Agreement For Extension Of The North Domingo Baca Arroyo Drainage Facility

Dear Mr. Hoech: ELA-ANNA-VILLAGE-VN1-5-2"

I have enclosed one fully executed original of the above reference document for your records.

As you can see, the originals were executed on February 27, 2001 by Mr. Vigil at the Albuquerque Public Schools ("APS"). February 27, 2001 has been inserted as the effective date of the Agreement.

APS has retained one original for its file. By Copy of this letter, I am forwarding an original to the attention of Larry A. Blair at the City for its file.

Please call me at 884-2215 if you should have any questions.

Sincerely,  
AMAFCA

*Martin W. Eckert, Jr.*  
Martin W. Eckert, Jr.  
Real Estate Manager

xc: Charles O. Atwood, Real Estate, Albuquerque Public Schools - w/out encl.  
Larry A. Blair, Director of Public Works, City - w/out encl.

**AGREEMENT FOR EXTENSION OF THE  
NORTH DOMINGO BACA ARROYO DRAINAGE FACILITY  
FROM A POINT 300 FEET WEST OF BARSTOW ST.**

This Agreement is entered into this 27<sup>th</sup> day of February, 2001 by and between the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA), a political subdivision of the State of New Mexico, the City of Albuquerque (COA), a municipal corporation, Albuquerque Public Schools (APS) and Hoech Real Estate Corporation (HREC), a New Mexico Corporation.

**RECITALS:**

1. Whereas, AMAFCA's North and South Domingo Baca Arroyo and Paseo del Norte Corridor Drainage Management Plan (DMP), adopted in 1992, recommended a lined channel from the new Lower North Domingo Baca Arroyo Detention Dam at Louisiana, eastward to Ventura Street; and
2. Whereas, AMAFCA previously entered into a joint share agreement with HREC to construct a soil cement lined channel for the North Domingo Baca Arroyo from a point 20 feet west of Wyoming to a point 300 feet west of Barstow, (the "Window G Soil Cement Channel"); and
3. Whereas, extending the Window G Soil Cement Channel accomplished about twenty percent of the recommended channelization; and
4. Whereas, the La Cueva Sector Development Plan adopted by the City Council for COA, and approved by the Mayor, sets forth a drainage management plan, the key element of

which is a channelization of the North Domingo Baca Arroyo, including the portion from the eastern terminus of the Window G Soil Cement Channel to a point  $\pm$  1,320 feet east of Barstow including road and drainage improvements on the northwest quadrant of the arroyo and Barstow crossing, as generally depicted in Exhibit A, and

5. Whereas, AMAFCA Resolution 1982-4 Cost-Sharing with Land Owners, provides for the private sector to share in the cost of flood control facilities; and
6. Whereas, recognizing the value of such a project, AMAFCA programmed funds for a cost-shared project of some form in its annual Project Schedule since 1995; and
7. Whereas, the PROJECT is appropriate for AMAFCA and COA, in that it:
  - a. Is consistent with AMAFCA's mission.
  - b. Provides all weather crossing of Barstow and eliminates the current dip section in Barstow.
  - c. Improves a major arroyo which was addressed in AMAFCA's DMP
  - d. Continues channelization of the North Domingo Baca Arroyo for eventual delivery to the Lower Domingo Baca Dam.
  - e. Provides flood protection to the Desert Ridge Middle School.
  - f. Provides a flood-control facility capable of accepting future fully developed flows.
  - g. Removes approximately three acres from the flood plain; and
8. Whereas, AMAFCA has the operational capability and staffing to contract for the construction of the PROJECT, and shall comply the State Procurement Code for Public Works Contracts, with construction anticipated to begin in the winter of 2001; and
9. Whereas, COA has the capability to maintain the below ground portion of the PROJECT; and

10. Whereas, COA has prepared the Trails and Bikeways Facility Plan, which was endorsed by the AMAFCA Board of Directors via Resolution 1994-2, which identifies a multi use trail along the flood control channel in this reach; and
11. Whereas, said PROJECT also offers opportunities for other purposes, such as open space, parks, trails, and other appropriate public uses, subject to the primacy of the drainage function; and
12. Whereas, HREC is proposing development of a portion of the Vineyard Sector Development Plan comprising some 10.88 acres to be built in late 2000 - early 2001; and
13. Whereas, that it would be in the public interest for AMAFCA to construct the PROJECT on a cost-sharing basis as set forth in paragraphs 1 through 4 below; and
14. Whereas, the AMAFCA Board of Directors at its Regular Meeting of July 27, 2000, considered the cost-sharing concept and directed staff to proceed with the cost share agreement.

**NOW, THEREFORE, THE PARTIES AGREE AS FOLLOWS:**

1. AMAFCA agrees to:
  - a. Construct a combination open channel and below ground culvert channel in such a configuration as to serve as a drainage facility for the North Domingo Baca Arroyo from the point 300 feet west of Barstow to a point some 1,320 feet east of Barstow at an approximate cost of \$999,961 (which includes design, construction engineering, inspection/administration, construction, Federal Emergency Management Agency ("FEMA") Conditional Letter of Map Revision ("CLOMR"), FEMA Letter of Map Revision ("LOMR") and 5% contingency as detailed in Exhibit B (the "PROJECT")).



The PROJECT will also include: 1.) Connection of the existing 36" storm drain in Barstow to the PROJECT, 2.) a 54-inch diameter storm drain extended and connected to the existing 54-inch diameter storm drain within the existing public drainage easement on the APS property, to include removal and disposal of the existing energy dissipator, necessary manholes, and a minimum of 3 feet of backfill over the 54-inch storm drain, but not including any backfill of the existing detention pond on APS property, together with the diversion of all existing Barstow Street flows currently discharging onto APS property to the downstream channel, 3.) The necessary diversion dike and inlet structure to transition from the natural arroyo and floodplain to the underground culvert portion of the PROJECT. 4.) Roadway and drainage improvements needed on the northwest quadrant of the arroyo road crossing, extending from the arroyo north to Anaheim. 5.) The waterline relocation in Barstow. These project elements shall be included in the PROJECT "Drainage Bid Lot."

- b. Relocate the existing water lines in Barstow so that a below ground channel can be constructed over the relocated lines at an approximate cost of \$26,000.
- c. Commence construction in the winter of 2001 or after a CLOMR approval is received from the FEMA, whichever occurs later. Include in the project related roadway improvements on Barstow necessary to complete the roadway to permanent design standards within the PROJECT area, with the understanding that:
  - 1. AMAFCA will provide 40% of the costs of PROJECT less the CITY's lump sum contribution of \$65,000.00, to include design, FEMA CLOMR and LOMR, construction management for the arroyo improvements and the road and drainage improvements on the northwest quadrant of the arroyo/road crossing, which will

be included in the PROJECT "Drainage Bid Lot." The quadrants shall be determined by the centerline of road and centerline of underground culvert.

2. AMAFCA will allow the inclusion of an additional bid lot that will include road and drainage items on the northeast quadrant of the arroyo/road crossing (The APS Roadway Bid Lot). The actual cost of the APS Roadway Bid Lot, plus 10% for AMAFCA's survey, inspection, testing and certification costs, will be paid by APS within 30 days of award of contract and billing by AMAFCA. Design of this APS Roadway Bid Lot is included in the fixed design fee in Paragraph 4.a.1 below.
3. AMAFCA will allow the inclusion of an additional bid lot that will include road and drainage items on the southeast and southwest quadrants of the arroyo/road crossing (The HREC Roadway Bid Lot). The actual cost of the HREC Roadway Bid Lot, plus 10% for AMAFCA's survey, inspection, testing and certification costs, will be paid by HREC within 30 days of award of contract and billing by AMAFCA. Design of this HREC Roadway Bid Lot is included in the fixed design fee in Paragraph 4.a.1 below.
- d. Comply with the City Standard Specifications for Public Works Contract and requirements of the City's Development Process Manual and Design Review Process including providing as built construction plans for any work within the City right of way or easements.
- e. Operate and maintain the upstream diversion dike and inlet structure and the open channel portions of the completed PROJECT, downstream of Barstow.

- f. Provide appropriate license to COA for recreation/open space use along the channel if acceptable to the COA.
- g. Accept a temporary easement on Lots 7 and 8, Block 9, Tract 3, Unit 3, North Albuquerque Acres, owned by HREC for purposes of collecting flows of the North Domingo Baca and diverting them into the below ground drainage facility.
- h. Quitclaim to HREC the temporary drainage easement which was granted by the plat of La Cueva Village Unit I recorded in the office of the Clerk of Bernalillo county, New Mexico on September 18, 1997 at 9:39 am in volume 97C, Folio 282.
- i. Upon approval of the final pay estimate for the PROJECT, AMAFCA will invoice APS, for any overruns in the construction of the PROJECT and /or the APS Roadway Bid Lot, or will reimburse APS for any under runs in the PROJECT and/or the APS Roadway Bid Lot construction cost as paid by APS, to AMAFCA per paragraphs 3.a and 3.b below, with the provision that the design amount of \$56,500 (not including N.M. gross receipts tax) and the FEMA CLOMR, LOMR and FEMA review fees amount of \$37,400 (not including N.M. gross receipts tax) are fixed. All other project costs, including the contingency, will be reconciled and allocated among the parties.
- j. Upon approval of the final pay estimate for the PROJECT, AMAFCA will invoice HREC for any overruns in the construction of the PROJECT and /or the HREC Roadway Bid Lot, or will reimburse HREC for any under runs in the PROJECT and/or the HREC Roadway Bid Lot construction cost as paid by HREC to AMAFCA per paragraphs 4.a.3) and 4.b below, with the provision that the design amount of \$56,500 and the FEMA CLOMR, LOMR and FEMA review fees amount of \$37,400 (not including N.M. gross receipts tax) are fixed. All other project costs including the

contingency, will be reconciled and, subject to the provisions of paragraph 3.d hereof, allocated among the parties.

2. COA agrees to:

- a. Provide to AMAFCA the lump sum amount of \$65,000.00 for the roadway and drainage improvements required on the northwest quadrant of the Barstow and arroyo crossing. Payment will be made after award of the construction contract for the project and within 45 days of invoice from AMAFCA.
- b. Operate and maintain the underground portion of the PROJECT.
- c. Support the vacation of the entire width of Carmel from Barstow east for 1290 feet.
- d. Quitclaim to the underlying or adjoining property owner (if necessary) the southern half of Carmel from Barstow east for 1290 feet along lots 1 through 8, Block 9, Tract 3, Unit 3, North Albuquerque Acres, and along the APS Desert Ridge Middle School site.
- e. Permit a below ground drainage facility to be installed in the vacated north half of Carmel, within a drainage right of way dedicated to the COA.
- f. Provide a temporary cul-de-sac public easement at the City park site for the terminus of Carmel until such time that all of Carmel is vacated as a street up to Ventura.
- g. At its expense and timing, construct and maintain a trail over the underground portion of the PROJECT east of Barstow.
- h. Subject to Development Review Board approval, and coincident with the execution of this Agreement, release APS from all obligations under the Subdivision Improvement Agreement dated July 30, 1996 and recorded July 30, 1996 as



document number 96084729 as extended by Extension Agreement dated May 22, 1997 recorded May 28, 1997 in Book Misc. 97-14 at page 2320 and further amended by Extension Agreement dated June 22, 1998 and recorded July 1, 1998 in Book 9812, at page 848 and the Claims and Notices of Lien dated July 30, 1996, recorded July 30, 1996 in Book Misc. 96-20 at page 9423 dated June 10, 1998 recorded July 1, 1998 in Book 9812 at page 849 and dated June 28, 2000, recorded June 29, 2000 in Book A-7, at page 2699.

3. APS agrees to:
  - a. Provide to AMAFCA the amount of \$280,488 in bank guaranteed funds 7 days prior to award of a construction contract. Said amount shall be the APS portion of the PROJECT. This amount is an estimated amount based 30% of the PROJECT cost less the City's lump sum contribution of \$65,000, and is adjustable for any reason.
  - b. Provide to AMAFCA the actual costs of the APS Roadway Bid Lot, plus 10% for AMAFCA's inspection, testing and certification costs. This shall be paid by APS within 30 days of award of contract and billing by AMAFCA.
  - c. Replat Desert Ridge Middle School tract as necessary to facilitate the vacation of Carmel, the existing interim public drainage easement and the vacation of the existing 100 year floodplain (upon receipt of FEMA approved LOMR), to grant the COA forty (40) foot public drainage easement to allow the extension of the existing on site public storm drain to connect to the new 54-inch storm drain and to dedicate to COA a 14 foot public drainage right of way along the south boundary of the property.

k. Pay AMAFCA, within 30 days of receipt of invoice from AMAFCA, APS's share of any overruns in the PROJECT or APS Roadway Bid Lot, provided, however, APS shall not be required to pay in excess of \$360,000.

4. HREC agrees to:

a. Provide to AMAFCA the following:

- 1) Design of the PROJECT, to include the flood control facilities designed for fully developed conditions, and ready to bid, construction plans, contract documents and specification, approved by AMAFCA and the COA Design Review Committee (fixed cost \$56,500, not including N.M. gross receipts tax).
- 2) All engineering & FEMA review fees necessary for CLOMR and LOMR submissions to be approved by FEMA (fixed cost \$37,400, not including N.M. gross receipts tax).
- 3) The amount of \$181,560 in bank guaranteed funds 7 days prior to award of a construction contract by which amount shall be the HREC portion of the PROJECT. This amount is an estimated amount based on 30% of the PROJECT cost less the CITY's lump sum contribution of \$65,000, less the fixed design cost of \$56,500 (not including N.M. gross receipts tax). and less the fixed FEMA CLOMR, LOMR and FEMA review fees costs of \$37,400 (not including N.M. gross receipts tax), and is adjustable for any reason.

b. Provide to AMAFCA the actual bid costs of the HREC Roadway Bid Lot, plus 10% for AMAFCA's inspection, testing and certification costs. This shall be paid by HREC within 30 days of award of contract and billing by AMAFCA.

- c. Provide necessary right of way easements for construction of the PROJECT.
  - d. Obtain approval of CLOMR and LOMR from FEMA for the North Domingo Baca Arroyo floodplain and the existing detention pond on the APS Desert Ridge Middle School site.
  - e. Prepare and record a plat, approved by the City's Development Review Board, with the Bernalillo County Clerk reflecting vacation of Carmel and the grants of easement.
  - f. Pay to AMAFCA, with in 30 days of receipt of invoice from AMAFCA, HREC share of any overruns in the PROJECT or HREC Roadway Bid Lot, based on HREC providing 30% of the project cost, less the fixed design cost of \$56,500 (not including N.M. gross receipts tax). and the fixed FEMA CLOMR, LOMR and FEMA review fees costs of \$37,400 (not including N.M. gross receipts tax).
  - g. Compensate APS for the 14 foot wide public drainage right of way dedicated pursuant to paragraph 3.c. Such compensation may be in cash or in kind and shall be for the appraised value of the right of way as determined by an independent appraisal.
5. All parties agree as follows:
- a. That they are splitting the project costs to include design, FEMA CLOMR and LOMR, construction engineering and construction costs with AMAFCA funding 40%, APS 30% and HREC 30% of the PROJECT costs less the CITY's lump sum contribution of \$65,000. For purposes of allocating the costs, the design fee of \$56,500 and FEMA CLOMR, LOMR and FEMA review fees of \$37,400 (not including N.M. gross receipts tax) are considered fixed.

- b. The facilities and right of way described herein have the primary purpose of conveying and managing storm water flows, and other interests granted by any party shall be subservient to that purpose.
- c. This Agreement does not relieve HREC of the requirement to construct (or financially guarantee construction of) such facilities that AMAFCA and COA may deem necessary.
- d. Disputes under this Agreement will be referred to binding arbitration under the provisions of the New Mexico Uniform Arbitration Act.
- e. This Agreement may not be assigned by any of the parties without the written consent of the other parties, which consent shall not be unreasonably withheld.
- f. Except as otherwise specifically provided herein, this Agreement shall be in writing and shall be delivered personally, sent via confirmed telefax, or sent postage prepaid, by United States certified mail, return receipt requested, to the addresses set forth below or such other addresses as hereinafter specified in writing by one party to the other:

Albuquerque Metropolitan Arroyo  
Flood Control Authority  
2600 Prospect NE  
Albuquerque, NM 87107  
FAX: 884-0214

Albuquerque Public Schools  
Real Estate Director  
P. O. Box 25704  
Albuquerque, NM 87125

City of Albuquerque  
City Engineer  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87102

Hoech Real Estate Corporation  
8300 Carmel Ave N.E., Suite 601  
Albuquerque, NM 87122  
FAX: 857-9774

- g. This Agreement contains the entire Agreement between the parties hereto and all prior understandings, oral or in writing, by the parties hereto with respect to this Agreement are hereby null and void. No variations, modifications, supplements,



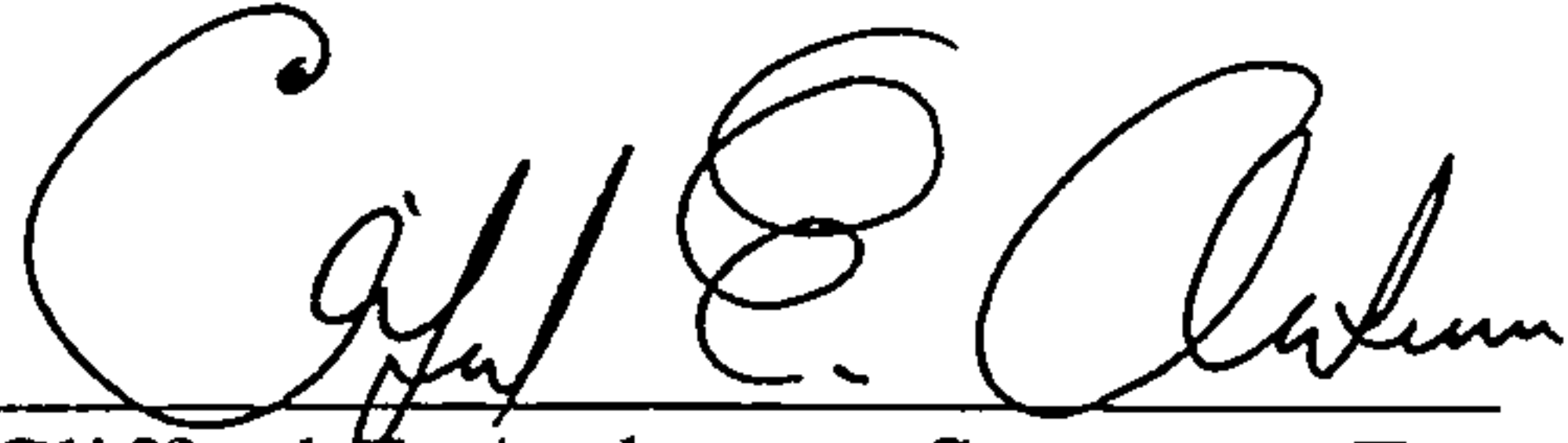
waivers or changes herein or hereof shall be binding upon any party hereto unless set forth in a document duly executed by or on behalf of such party.

- h. If any provision of this Agreement or the application thereof to any person or circumstance shall not be affected thereby and such provisions shall be enforced to the greatest extent permitted by law. In the event any action is instituted by any party for the purpose of enforcing or interpreting any provision of this Agreement, the prevailing party in such action shall be entitled to its reasonable attorney's fees and costs.
- i. This Agreement shall inure to the benefit of and be binding upon the undersigned parties and their respective successors and assigns. Whenever in this Agreement a reference to HREC is made, such references shall be deemed to include a reference to successor owners of the HREC property.
- j. Each individual signing for each of the parties hereunder, warrants and represents that he/she is an authorized agent of such party, on whose behalf he/she is executing this Agreement, and is authorized to execute the same.
- k. Each party agrees to execute such other and further instruments and documents as may be necessary or proper in order to complete the transactions contemplated by this Agreement.
- l. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and said counterparts shall constitute but one and the same instrument which may sufficiently be evidenced by one counterpart.
- m. Funds for this project will be addressed in the AMAFCA FY 2000/2001 budget and may be contingent upon successful sale of General Obligation Bonds.

Executed the day and year first set out above.

**ALBUQUERQUE METROPOLITAN  
ARROYO FLOOD CONTROL  
AUTHORITY**, a political subdivision of  
the State of New Mexico

ATTEST:

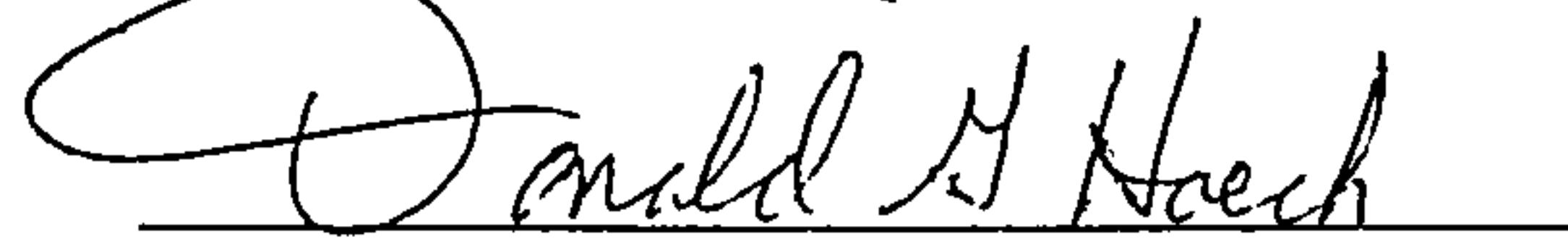


Clifford E. Anderson, Secretary-Treasurer  
Board of Directors



Ronald D. Brown, Chair, Board of  
Directors

**HOECH REAL ESTATE  
CORPORATION,**  
a New Mexico Corporation



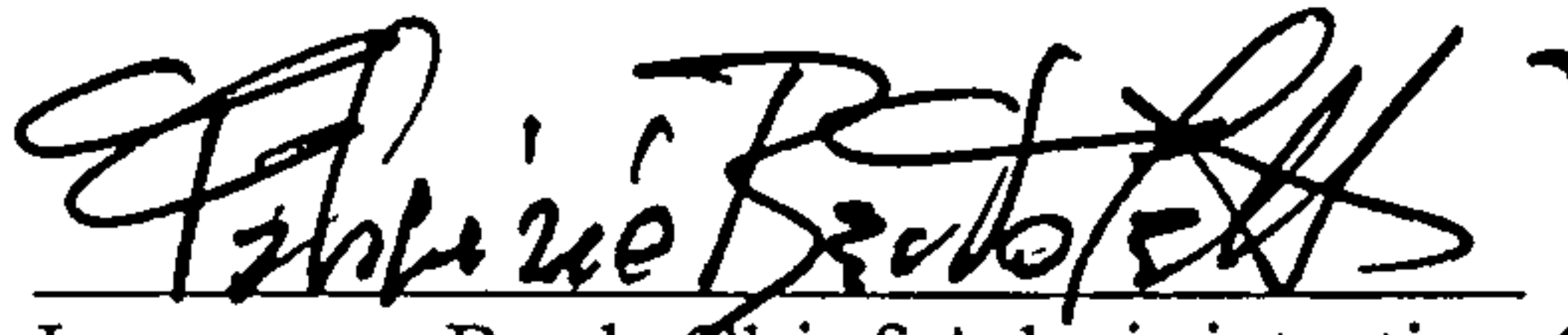
Donald G. Hoech, President

**ALBUQUERQUE PUBLIC  
SCHOOLS**




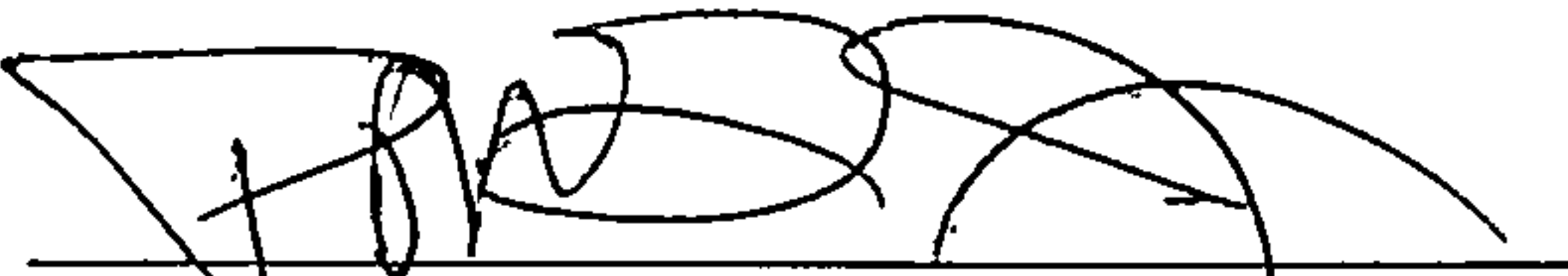
Michael J. Vigil, Chief Business  
Officer

CITY OF ALBUQUERQUE

*for*   
Lawrence Rael, Chief Administrative Officer

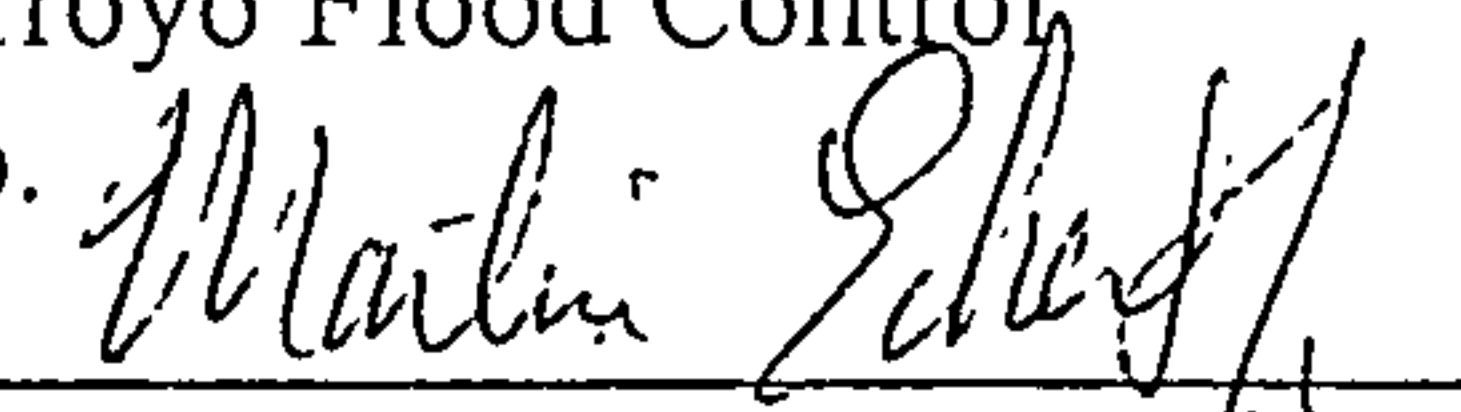
Reviewed by:

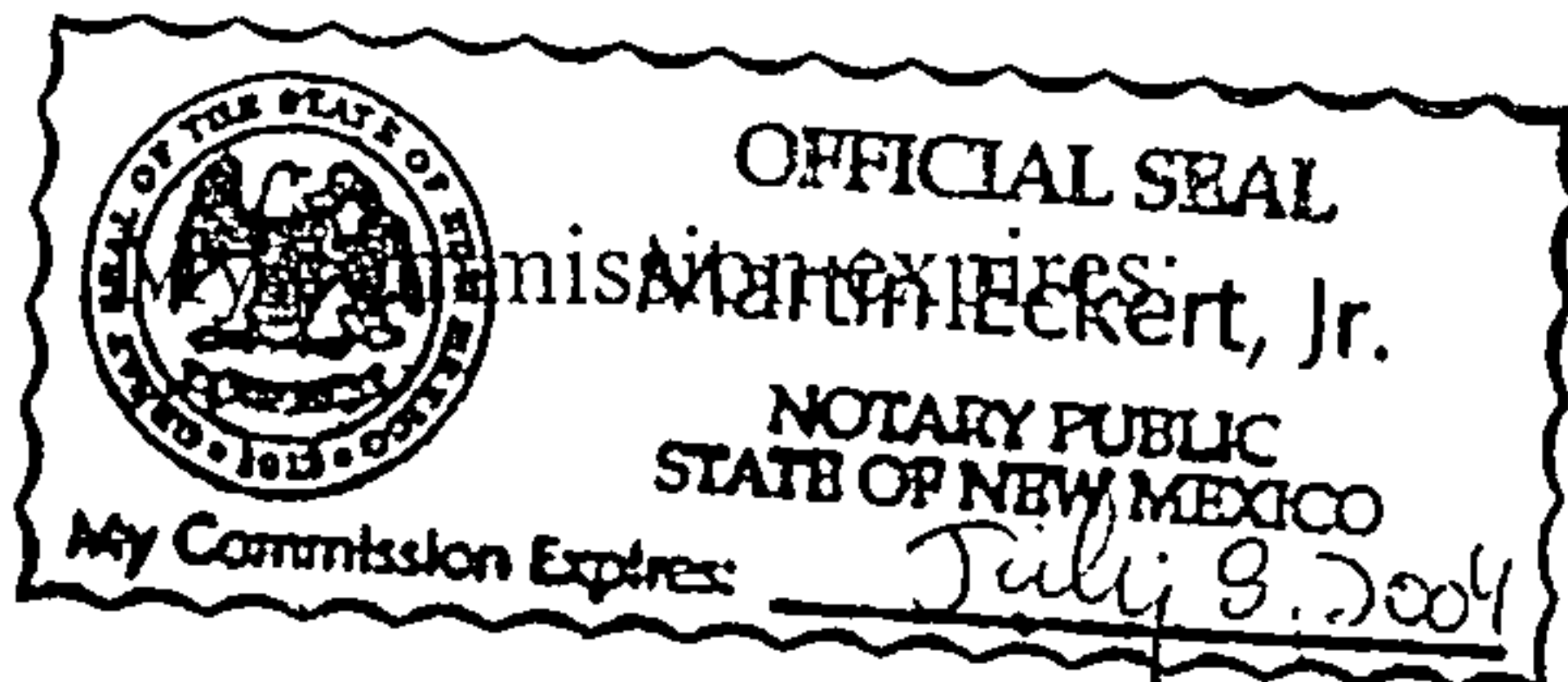
 12/22/00  
Larry A. Blair, Director, Public Works Department

  
Pleas Glenn, Director, ~~Parks and General Services~~  
~~Department~~ Parks and Recreation Department

STATE OF NEW MEXICO           )  
  ) ss.  
COUNTY OF BERNALILLO       )

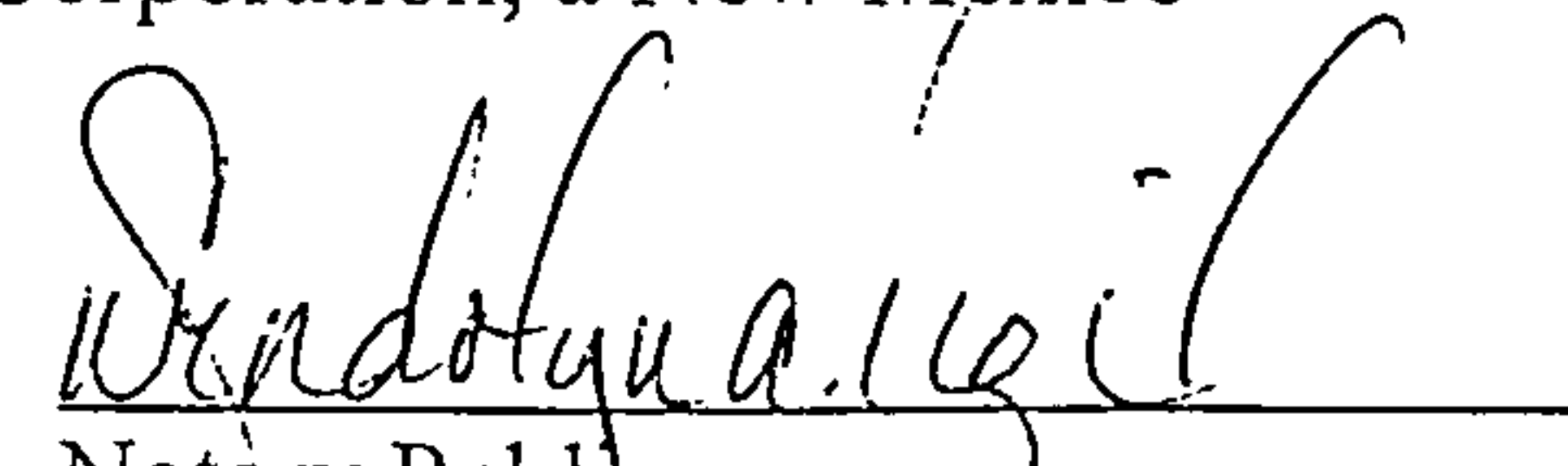
This instrument was acknowledged before me on December 20, 2000 by  
Ronald D. Brown, Chair of the Albuquerque Metropolitan Arroyo Flood Control  
Authority, a political subdivision of the State of New Mexico.

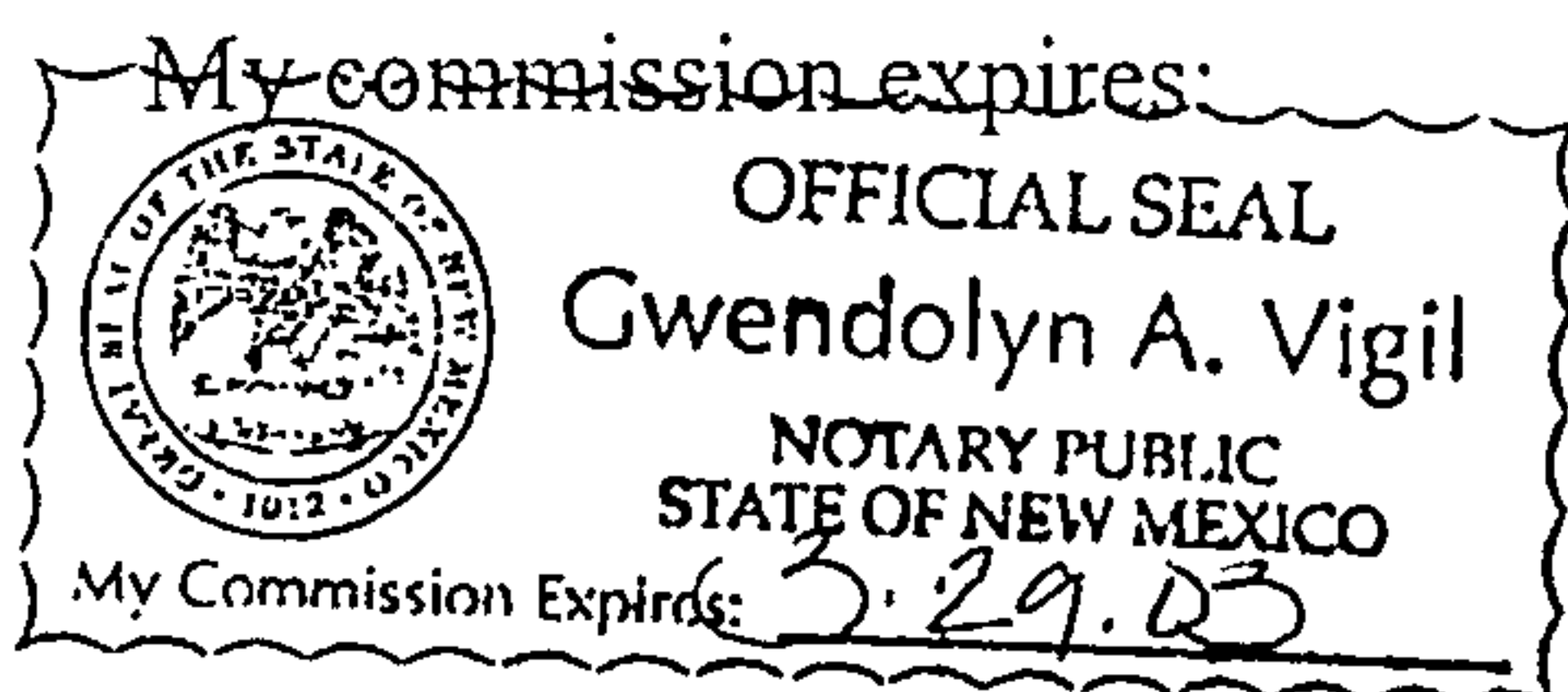
  
Notary Public



STATE OF NEW MEXICO           )  
  ) ss.  
COUNTY OF BERNALILLO       )

This instrument was acknowledged before me on December 21, 2000 by  
Donald G. Hoech, President of Hoech Real Estate Corporation, a New Mexico  
Corporation.

  
Notary Public

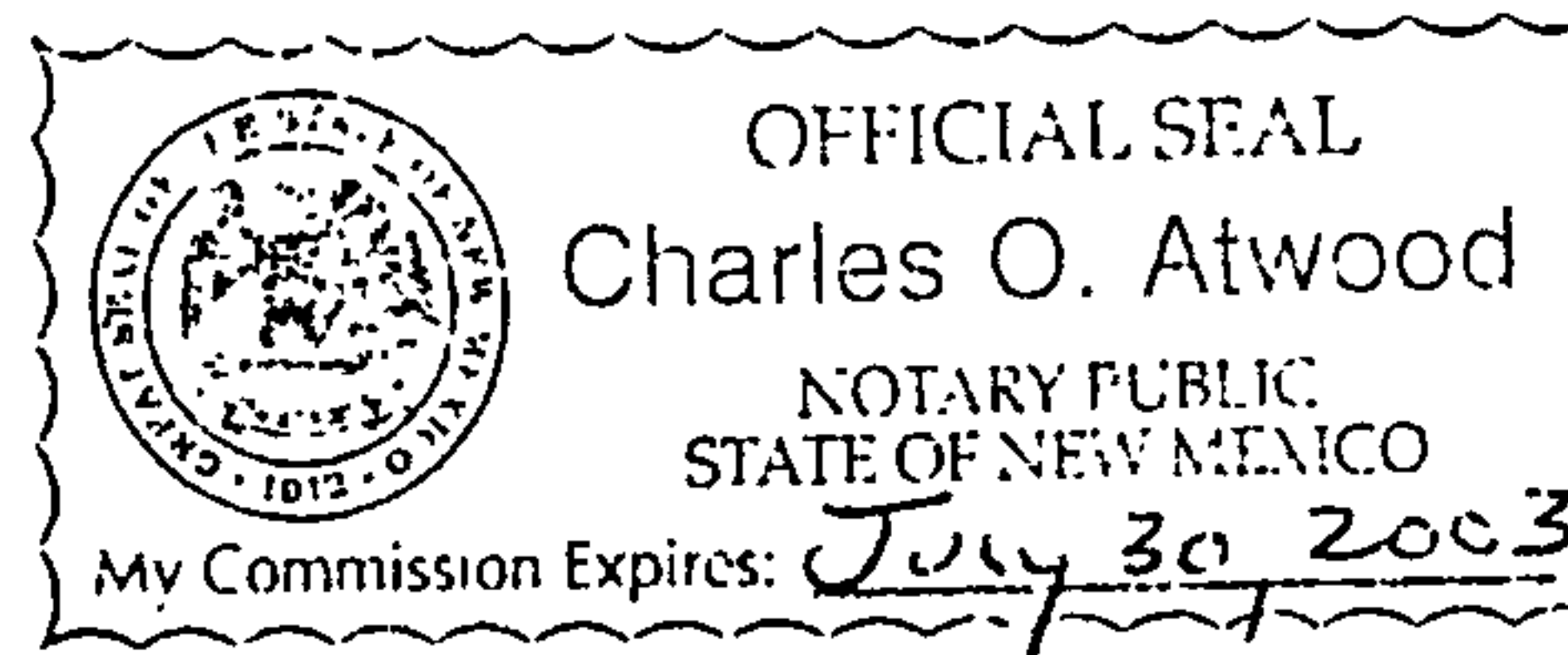


STATE OF NEW MEXICO           )  
  )ss.  
COUNTY OF BERNALILLO       )

This instrument was acknowledged before me on February 27, 2001 by Michael J. Vigil, Chief Business Officer of Albuquerque Public Schools.

Charles O. Atwood  
Notary Public

My commission expires:



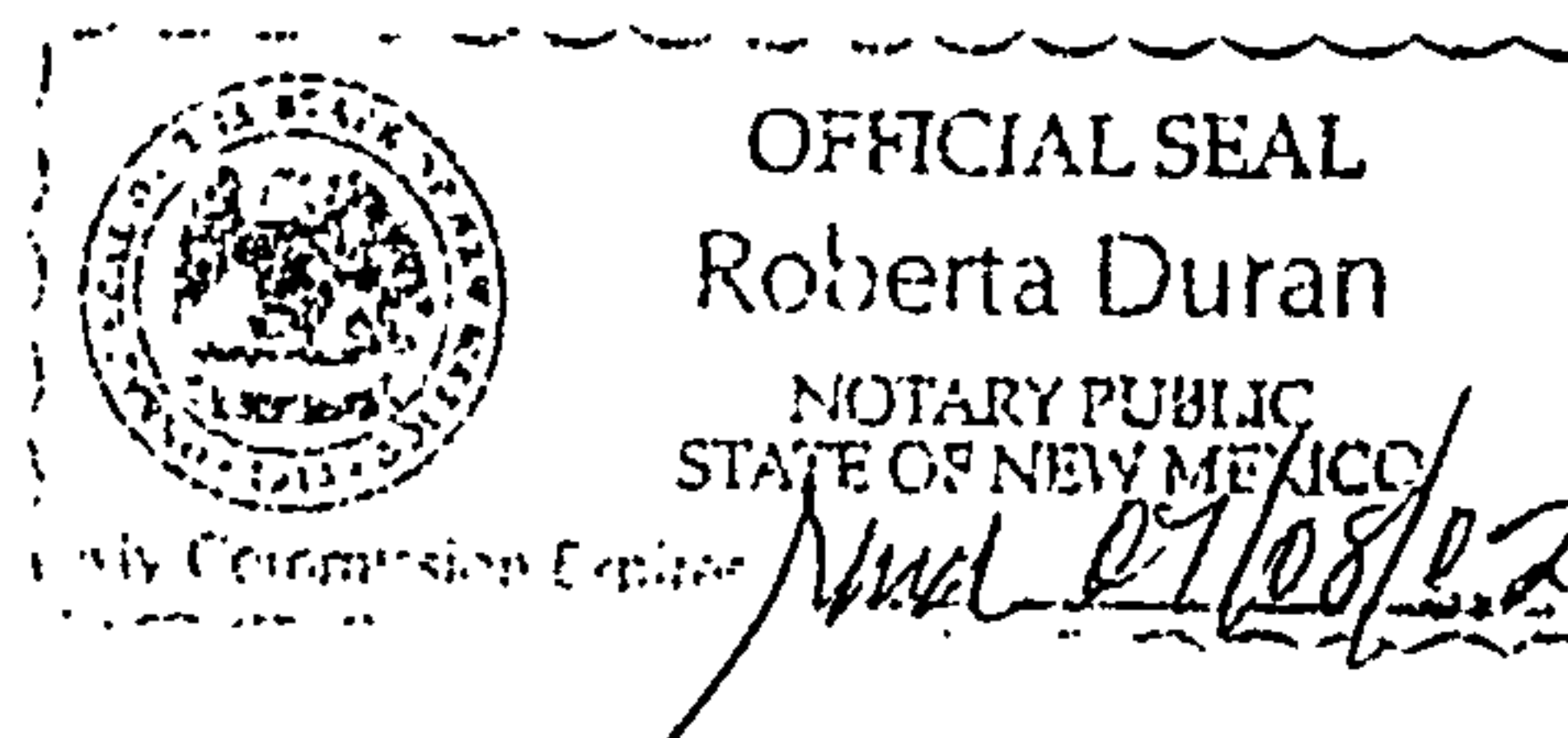
STATE OF NEW MEXICO           )  
  )ss.  
COUNTY OF BERNALILLO       )

This instrument was acknowledged before me on February 16, 2001 by Lawrence Rael, Chief Administrative Officer for the City of Albuquerque.  
for/by Fabrizio Bertolotti, DCA

Roberta Duran  
Notary Public

My commission expires:

July 8<sup>th</sup> 2002







**NORTH DOMINGO BACA ARROYO DRAINAGE FACILITY  
FROM A POINT 300 FEET WEST OF BARSTOW**

**Exhibit B**

**Estimated and fixed costs of the PROJECT:**

Surveys, Design and approved Contract Documents		\$ 56,500 fixed
	NMGRT	<u>3,284</u>
		\$ 59,784
FEMA CLOMR and LOMR Submittal		\$ 30,000 fixed
	NMGRT	<u>1,744</u>
		\$ 31,744
FEMA Review Fees		\$ 7,400 fixed
Construction Engineering, Inspection, Geotechnical Testing and Surveys		\$ 30,000 estimated
	5 % Contingency	<u>1,500</u>
		31,500
	NMGRT	<u>1,831</u>
		\$ 33,331
Construction, Drainage Bid Lot Only, w/tax & Contingency		\$867,702 estimated
	<b>Grand Total</b>	<b>\$999,961</b>
	Less COA Lump Sum (\$65,000)	
	<b>Cost Share Total</b>	<b>\$934,961</b>

**Estimated Contributions:**

<u>AMAFCA</u>	<u>APS</u>	<u>HREC</u>	<u>COA</u>
40%	30%	30%	\$65,000 cash, lump sum
\$373,985 cash	\$280,488 cash	\$ 59,784 design \$ 31,744 C/LOMR \$ 7,400 FEMA fees <u>\$181,560 cash</u> \$280,488	
AMAFCA	\$373,985		
APS	280,488		
HREC	280,488		
COA	<u>65,000</u>		
Total	\$999,961		



# Federal Emergency Management Agency

Washington, D.C. 20472

JUL 16 2002

CERTIFIED MAIL

RETURN RECEIPT REQUESTED

The Honorable Martin Chavez  
Mayor, City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87103

IN REPLY REFER TO:

Case Number: 02-06-1261P  
Community Name: City of Albuquerque,  
Bernalillo County, New Mexico  
Community Number: 350002  
Effective Date of  
this Revision: JUL 16 2002

Dear Mayor Chavez:

The Flood Insurance Study (FIS) report and Flood Insurance Rate Map (FIRM) for your community have been revised by this Letter of Map Revision (LOMR). Please use the enclosed annotated map panel revised by this LOMR for floodplain management purposes and for all flood insurance policies and renewals issued in your community.

Additional documents are enclosed that provide information regarding this LOMR. Please see the List of Enclosures below to determine which documents are included. Other attachments specific to this request may be included as referenced in the Determination Document. If you have any questions regarding floodplain management regulations for your community or the National Flood Insurance Program (NFIP) in general, please contact the Consultation Coordination Officer (CCO) for your community. If you have any technical questions regarding this LOMR, please contact the Director, Federal Insurance and Mitigation Division of the Federal Emergency Management Agency (FEMA) in Denton, Texas, at (940) 898-5165, or the FEMA Map Assistance Center toll free at 1-877-336-2627 (1-877-FEMA MAP). Additional information about the NFIP is available on our web site at <http://www.fema.gov/nfip>.

Sincerely,

*Lloyd A. Hake*

Lloyd A. Hake  
Project Engineer  
Hazards Study Branch  
Federal Insurance and Mitigation Administration

For: Matthew B. Miller, P.E., Chief  
Hazards Study Branch  
Federal Insurance and Mitigation Administration

**List of Enclosures:**

Letter of Map Revision Determination Document  
Annotated Flood Insurance Study Report  
Annotated Flood Insurance Rate Map  
List of Current Flood Insurance Study Data

cc: Carlos A. Montoya, City/County Floodplain Administrator, City of Albuquerque  
Jeffery G. Mortensen, P.E., President, Jeff Mortensen & Associates  
J. Graeme Means, P.E., Jeff Mortensen & Associates  
Community Map Repository, City of Albuquerque

XC: Don Hoech  
Bob Hutt  
John Kell...





## Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION  
DETERMINATION DOCUMENT

COMMUNITY AND REVISION INFORMATION		PROJECT DESCRIPTION	BASIS OF REQUEST
COMMUNITY	CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	FILL CHANNELIZATION STORM DRAIN	BASE MAP CHANGES HYDRAULIC ANALYSIS HYDROLOGIC ANALYSIS NEW TOPOGRAPHIC DATA
	COMMUNITY NO.: 350002		
IDENTIFIER	NORTH DOMINGO BACA ARROYO EXTENSION	APPROXIMATE LATITUDE & LONGITUDE: 35.159, -106.556 SOURCE: USGS QUADRANGLE DATUM: NAD 83	
FLOODING SOURCE & REVISED REACH	NORTH ARROYO DE DOMINGO BACA – from approximately 750 feet downstream of Barstow Street to approximately 1,300 feet upstream of Barstow Street.		
SUMMARY OF REVISIONS			
Effective Flooding:	Zone AO	Zone A	X (Unshaded)
Revised Flooding:	Zone AO	X (Unshaded)	X (Unshaded)
Increases:	NONE	NONE	YES
Decreases:	YES	YES	NONE
* BFEs – Base Flood Elevations			
ANNOTATED MAPPING ENCLOSURES		ANNOTATED STUDY ENCLOSURES	
TYPE: FIRM* NO: 35001C0141 E Date: April 2, 2002		DATE OF EFFECTIVE FLOOD INSURANCE STUDY: April 2, 2002 SUMMARY OF DISCHARGES TABLE	
* FIRM - Flood Insurance Rate Map; ** FBFM – Flood Boundary Floodway Map; *** FHBM - Flood Hazard Boundary Map			

## DETERMINATION

This document provides the determination from the Federal Emergency Management Agency (FEMA) regarding a request for a Letter of Map Revision (LOMR) for the area described above. Using the information submitted, we have determined that a revision to the flood hazards depicted in the Flood Insurance Study (FIS) and/or National Flood Insurance Program (NFIP) map is warranted. This document revises the effective NFIP map, as indicated in the attached documentation. Please use the enclosed annotated map panels revised by this LOMR for floodplain management purposes and for all flood insurance policies and renewals in your community.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at 1-877-336-2677 (1-877-FEMA MAP) or by letter addressed to the FEMA MCC Services, 12101 Indian Creek Court, Beltsville, MD 20705. Additional Information about the NFIP is available on our web site at <http://www.fema.gov/nfip>.

Lloyd A. Hake, Project Engineer  
Hazards Study Branch  
Federal Insurance and Mitigation Administration





# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION DETERMINATION DOCUMENT (CONTINUED)

### COMMUNITY INFORMATION

#### APPLICABLE NFIP REGULATIONS/COMMUNITY OBLIGATION

We have made this determination pursuant to Section 206 of the Flood Disaster Protection Act of 1973 (P.L. 93-234) and in accordance with the National Flood Insurance Act of 1968, as amended (Title XIII of the Housing and Urban Development Act of 1968, P.L. 90-448), 42 U.S.C. 4001-4128, and 44 CFR Part 65. Pursuant to Section 1361 of the National Flood Insurance Act of 1968, as amended, communities participating in the NFIP are required to adopt and enforce floodplain management regulations that meet or exceed NFIP criteria. These criteria, including adoption of the FIS and FIRM, and the modifications made by this LOMR, are the minimum requirements for continued NFIP participation and do not supersede more stringent State/Commonwealth or local requirements to which the regulations apply.

NFIP regulations Subparagraph 60.3(b)(7) requires communities to ensure that the flood-carrying capacity within the altered or relocated portion of any watercourse is maintained. This provision is incorporated into your community's existing floodplain management ordinances; therefore, responsibility for maintenance of the storm drain system rests with your community. We may request that your community submit a description and schedule of storm drain system activities.

This revision has met our criteria for removing an area from the 1% annual chance floodplain to reflect the placement of fill. The community must ensure that any structures placed within the subject area be constructed such that they are "reasonably safe from flooding." "Reasonably safe from flooding" means base flood waters will not inundate the land or damage structures to be removed from the Special Flood Hazard Area and that any subsurface waters related to the base flood will not damage existing or proposed buildings. The community and engineers should review and use *FEMA Technical Bulletin 10-01, Ensuring that Structures Built on Fill In or Near Special Flood Hazard Areas are Reasonably Safe From Flooding*, which may be downloaded directly from FEMA website at <http://www.fema.gov/mit/tb1001.pdf>.

#### COMMUNITY REMINDERS

We based this determination on the 1% annual chance discharges computed in the submitted hydrologic model. Future development of projects upstream could cause increased discharges, which could cause increased flood hazards. A comprehensive restudy of your community's flood hazards would consider the cumulative effects of development on discharges and could, therefore, indicate that greater flood hazards exist in this area.

Your community must regulate all proposed floodplain development and ensure that permits required by Federal and/or State law have been obtained. State or community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction or may limit development in floodplain areas. If your State or community has adopted more restrictive or comprehensive floodplain management criteria, those criteria take precedence over the minimum NFIP requirements.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at 1-877-336-2677 (1-877-FEMA MAP) or by letter addressed to the FEMA MCC Services, 12101 Indian Creek Court, Beltsville, MD 20705. Additional Information about the NFIP is available on our web site at <http://www.fema.gov/nfip>.

A handwritten signature in cursive script that reads "Lloyd A. Hake".

Lloyd A. Hake, Project Engineer  
Hazards Study Branch  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION DETERMINATION DOCUMENT (CONTINUED)

### COMMUNITY INFORMATION (CONTINUED)

We will not print and distribute this LOMR to primary users, such as local insurance agents or mortgage lenders; instead, the community will serve as a repository for the new data. We encourage you to disseminate the information in this LOMR by preparing a news release for publication in your community's newspaper that describes the revision and explains how your community will provide the data and help interpret the NFIP maps. In that way, interested persons, such as property owners, insurance agents, and mortgage lenders, can benefit from the information.

We have enclosed a document titled "List of Current Flood Insurance Study Data," which includes this letter, to help your community maintain all information for floodplain management and flood insurance. If any of the items in that document are not filed in your community's map repository, please contact the FEMA Map Assistance Center at the number listed below for information on how to obtain those items.

We have designated a Consultation Coordination Officer (CCO) to assist your community. The CCO will be the primary liaison between your community and FEMA. For information regarding your CCO, please contact:

Mr. Frank Pagano  
Director, Federal Insurance and Mitigation Division  
Federal Emergency Management Agency, Region VI  
Federal Regional Center, Room 206  
800 North Loop 288  
Denton, Texas 76201-3698  
(940) 898-5127

### STATUS OF THE COMMUNITY NFIP MAPS

We will not physically revise and republish the FIRM and FIS report for your community to reflect the modifications made by this LOMR at this time. When changes to the previously cited FIRM panel and FIS report warrant physical revision and republication in the future, we will incorporate the modifications made by this LOMR at that time.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at 1-877-336-2677 (1-877-FEMA MAP) or by letter addressed to the FEMA MCC Services, 12101 Indian Creek Court, Beltsville, MD 20705. Additional Information about the NFIP is available on our web site at <http://www.fema.gov/nfip>.

A handwritten signature in cursive script that reads "Lloyd A. Hake".

Lloyd A. Hake, Project Engineer  
Hazards Study Branch  
Federal Insurance and Mitigation Administration



# Federal Emergency Management Agency

Washington, D.C. 20472

## LETTER OF MAP REVISION DETERMINATION DOCUMENT (CONTINUED)

### PUBLIC NOTIFICATION OF REVISION

This revision is effective as of the date of this letter. Any requests to review or alter this determination should be made within 30 days and must be based on scientific or technical data.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Map Assistance Center toll free at 1-877-336-2677 (1-877-FEMA MAP) or by letter addressed to the FEMA MCC Services, 12101 Indian Creek Court, Beltsville, MD 20705. Additional Information about the NFIP is available on our web site at <http://www.fema.gov/nfip>.

*Lloyd A. Hake*

Lloyd A. Hake, Project Engineer  
Hazards Study Branch  
Federal Insurance and Mitigation Administration



## LIST OF CURRENT FLOOD INSURANCE STUDY DATA

This list is provided to document all information currently effective for your community for insurance and floodplain management.

Date: JUL 16 2002

Community: City of Albuquerque, Bernalillo County, New Mexico

Community Number: 350002

Page Number: 1 of 4

**CURRENT EFFECTIVE FLOOD INSURANCE STUDY DATE:** April 2, 2002

### **FLOOD INSURANCE RATE MAP**

Map Index  
350001CIND0

Effective Date  
April 2, 2002

Panel Numbers  
0092 D, 0094 D, 0100 D, 0103 D,  
0104 D, 0108 D, 0111 D, 0112 D,  
0113 D, 0114 D, 0118 D, 0119 D,  
0138 D, 0139 D, 0143 D, 0309 D,  
0317 D, 0319 D, 0326 D, 0327 D,  
0328 D, 0329 D, 0331 D, 0332 D,  
0333 D, 0334 D, 0336 D, 0337 D,  
0338 D, 0339 D, 0341 D, 0342 D,  
0344 D, 0351 D, 0352 D, 0353 D,  
0354 D, 0356 D, 0357 D, 0361 D,  
0362 D, 0363 D, 0364 D, 0366 D,  
0367 D, 0378 D, 0527 D, 0531 D,  
0533 D, and 0555 D

Effective Date  
September 20, 1996

0109 E, 0116 E, 0128 E, 0129 E,  
0133 E, 0136 E, 0137 E, 0141 E,  
0142 E, 0144 E, 0161 E, 0163 E,  
0358 E, 0359 E, 0367 E, and 0386 E

April 2, 2002



## LETTERS OF MAP REVISION

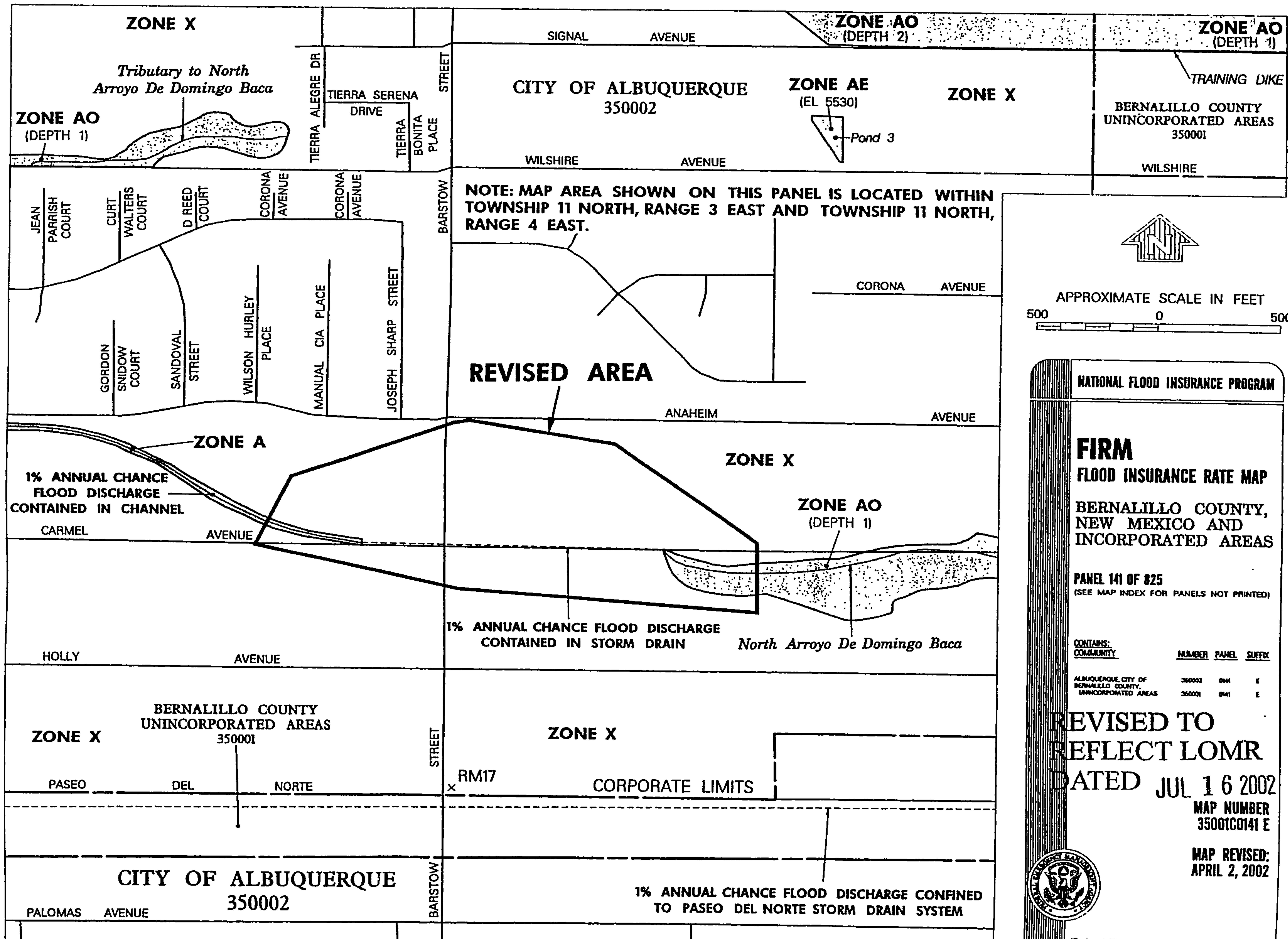
<u>Panel Numbers</u>	<u>Effective Date</u>
0108 D	December 20, 1996 February 4, 1999
0112 D	March 16, 1999
0113 D	September 18, 1998
0114 D	January 26, 1998 September 18, 1998 March 16, 1999
0117 D	October 21, 1998
0138 D	February 29, 2000
0141 E	<b>JUL 16 2002</b>
0326 D	September 5, 1997
0327 D	September 10, 1997 September 25, 1997
0328 D	September 25, 1997 October 3, 1997 January 24, 2000
0329 D	September 25, 1997 October 3, 1997
0332 D	March 21, 2000
0336 D	August 8, 1997 August 26, 1997 October 24, 1997 April 15, 1999 September 27, 1999
0337 D	July 17, 1998 April 15, 1999
0339 D	June 18, 1998

**LETTERS OF MAP REVISION *(continued)***

<u>Panel Numbers</u>	<u>Effective Date</u>
0342 D	April 24, 1998
0344 D	April 11, 1997
0351 D	July 1, 1997
0356 D	September 15, 1997
0357 D	September 15, 1997
0527 D	June 18, 1998

**LETTERS OF MAP AMENDMENT AND MAP REVISION BASED ON FILL**

<u>Panel Numbers</u>	<u>Effective Date</u>
0114 D	April 4, 1997
0119 D	January 30, 1998 June 3, 1998
0327 D	March 17, 1997 June 18, 1997 April 8, 1998 January 13, 2000 August 16, 2000
0328 D	June 25, 1998 January 24, 2000
0329 D	December 30, 1997 April 7, 1998 April 13, 1998
0332 D	January 13, 2000 March 21, 2000
0333 D	April 23, 1999
0336 D	March 17, 1997
0337 D	December 8, 1998 January 18, 2000



# Summary of Discharges for Shallow Flooding Areas (Cont'd)

<u>Flooding Source and Location</u>	<u>Drainage Area (Square Miles)</u>	<u>100-Year Peak Discharges ( cfs)</u>
Los Indos Arroyo "A" <sup>1</sup> At Gun Club Lateral	1.29	915 <sup>5</sup>
Mirehaven Arroyo "A" <sup>1</sup> At confluence with South Branch	2.13	1,033
At Ladera Detention Ponds	3.69	1,630
Mirehaven Arroyo "A" – South <sup>1</sup> At confluence with Main Arroyo	1.20	654
North Camino Arroyo <sup>2</sup> At Ventura Street	-- <sup>4</sup>	640
At Interstate Highway 25	-- <sup>4</sup>	1,760
At outfall to Gravel Pit	-- <sup>4</sup>	1,590
North Arroyo De Domingo Baca At Tramway Boulevard	0.89	1,080
Inflow to Upper Dam	2.68	2,794
At Holbrook Street	2.79	220
Approximately 950 feet upstream of Barstow Street	3.42	538
At Wyoming Boulevard	3.79	658
North Glenwood Hills Channel <sup>3</sup> At Tramway Boulevard	0.78	1,337
At confluence with Embudito Channel	-- <sup>4</sup>	1,450
North Hahn Channel <sup>3</sup> At Louisiana Boulevard	0.97	348
At confluence with Hahn Arroyo	-- <sup>4</sup>	596

REVISED AREA

REVISED TO  
REFLECT LOMR  
DATED JUL 16 2002

<sup>1</sup> Flows from Manotan, 1975

<sup>2</sup> Flows from Northeast Heights Drainage Management Plan – Leonard Rice – April 1975

<sup>3</sup> Flows from Albuquerque Master Drainage Study – Volume III – Bohannon – Huston, Inc. Appendix E

<sup>4</sup> Drainage areas not applicable because of interbasin transfer via roads and storm sewers

<sup>5</sup> By Regression Analysis





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 1, 2002

Jeff Mortensen, P.E.  
Jeff Mortensen & Assoc.  
6010-B Midway Park Blvd NE  
Albuquerque, New Mexico 87109

**RE: LA CUEVA VILLAGE SUBD UNIT 2 (C-19/D11B1)**  
**Engineers Certification For Release of Financial Guaranty**  
**Engineers Stamp dated 12/18/2000 Rev. 3/15/2001**  
**Engineers Certification dated 10/24/2001**

Dear Mr. Mortensen:

Based upon the information provided in your Engineers Certification submittal dated 10/16/2001, and based upon the acceptance of the LOMR by FEMA received 7/16/2002, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

If you have any questions, please call me at 924-3981.

Sincerely,

*AMH*  
Teresa A. Martin  
Hydrology Plan Checker  
Development & Bldg. Ser. Division

c: Arlene Portillo, PWD – #572985  
File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 25, 2001

Jeff Mortensen, P.E.  
Jeff Mortensen & Assoc..  
6010-B Midway Park Blvd NE  
Albuquerque, New Mexico 87109


RE: **LA CUEVA VILLAGE SUBD UNIT 2 (C-19/D11B1)**  
**Engineers Certification For Release of Financial Guaranty**  
**Engineers Stamp dated 12/18/2000 Rev. 3/15/2001**  
**Engineer's Certification dated 10/24/2001**

Dear Mr. Mortensen:

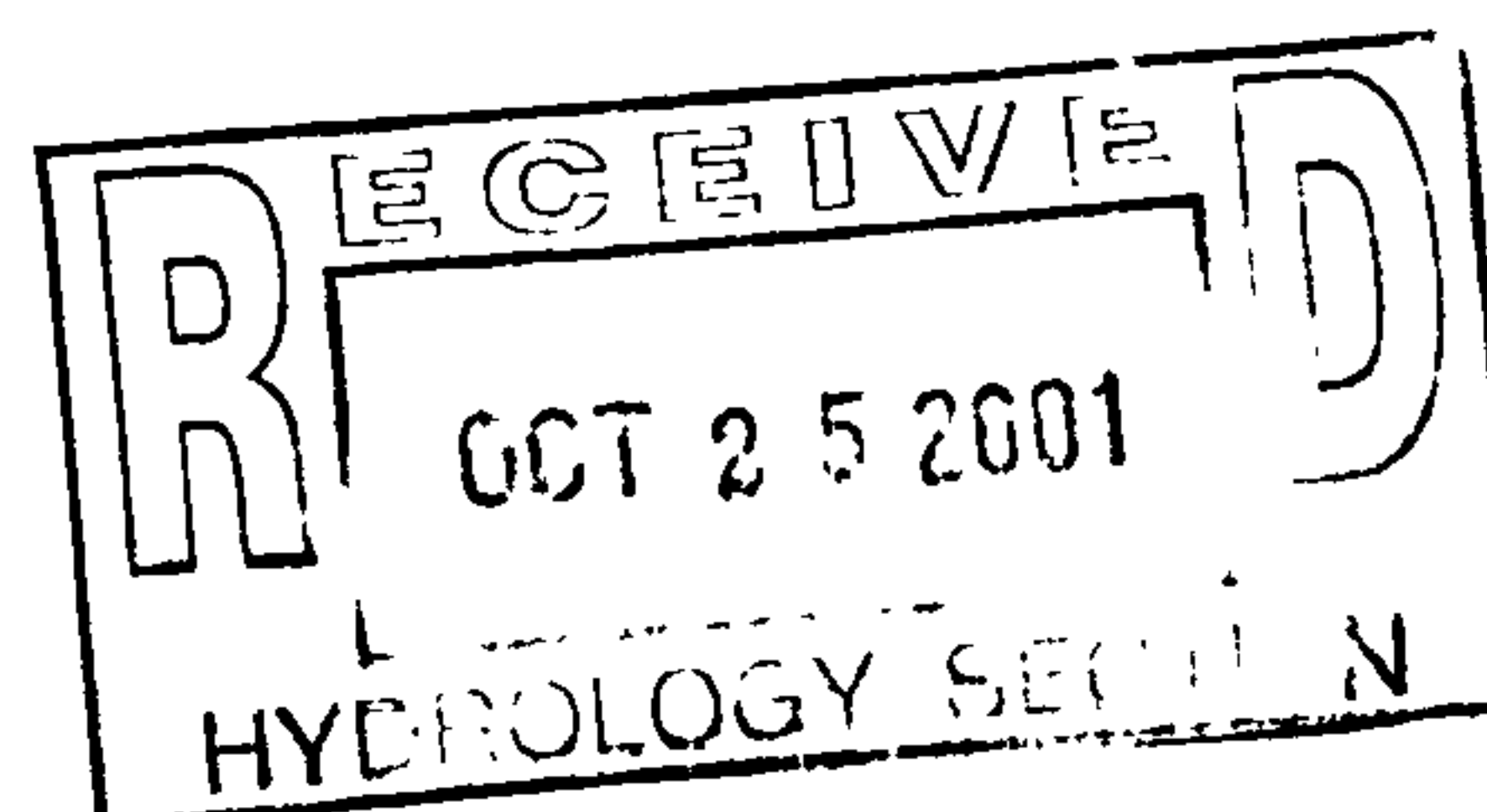
Based upon the information provided in your submittal dated 10/16/2001, the above referenced plan is adequate to satisfy the Grading and Drainage Certification requirements; **however, prior to release of the Financial Guaranty the LOMR must be accepted by FEMA.**

If you have any questions, please call me at 924-3981.

Sincerely,

  
Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department  
BWB

C: Arlene Portillo, PWD - #572985  
✓ File

**DRAINAGE INFORMATION SHEET****C-19/D11B1****PROJECT TITLE:** La Cueva Village, Unit 2**ZONE ATLAS/DRNG. FILE #:** ~~215711~~**DRB #:** 1001160**EPC #:****WORK ORDER #:** 572985**LEGAL DESCRIPTION:** Lots 1-p1 – 17-p1, La Cueva Village, Unit 2(Proposed)**CITY ADDRESS:** Carmel Avenue NE**ENGINEERING FIRM:** Jeff Mortensen & Associates, Inc.**CONTACT:** J. Graeme Means**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505)345-4250**OWNER:** Hoech Real Estate Corporation**CONTACT:** Don Hoech**ADDRESS:** 8300 Carmel Ave NE, Suite 601**PHONE:** 821-4440**ARCHITECT:** N/A**CONTACT:****ADDRESS:****PHONE:****SURVEYOR:** Jeff Mortensen & Associates, Inc.**CONTACT:** Charles Cala**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505) 345-4250**CONTRACTOR:** Contact Owner**CONTACT:****ADDRESS:****PHONE:****TYPE OF SUBMITTAL:****CHECK TYPE OF APPROVAL(S) SOUGHT:****DRAINAGE REPORT****SKETCH PLAT APPROVAL****DRAINAGE PLAN****PRELIMINARY PLAT APPROVAL****CONCEPTUAL GRADING & DRAINAGE  
PLAN****S. DEV. PLAN FOR SUB'D APPROVAL****S. DEV. PLAN FOR BLDG. PERMIT APPROVAL****GRADING PLAN****SECTOR PLAN APPROVAL****EROSION CONTROL PLAN****FINAL PLAT APPROVAL****X ENGINEER'S CERTIFICATION****FOUNDATION PERMIT APPROVAL****OTHER -****BUILDING PERMIT APPROVAL****CERTIFICATE OF OCCUPANCY APPROVAL****GRADING PERMIT APPROVAL****PRE-DESIGN MEETING:****PAVING PERMIT APPROVAL****YES****S.A.D. DRAINAGE REPORT****X NO****DRAINAGE REQUIREMENTS****COPY PROVIDED****X OTHER FINANCIAL GUARANTY  
RELEASE****DATE SUBMITTED:** October 24, 2001**BY:** J. Graeme Means, P.E.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 5, 2001

Jeff Mortensen, P.E.  
J. Graeme Means, P.E.  
Jeff Mortensen & Associates, Inc.  
6010B Midway Park Boulevard, NE  
Albuquerque, NM 87109

**Re: Drainage Report Submittal, Lots 1-17 La Cueva Village Unit 2**

Dear Mr. Mortensen:

Based on the information provided in the above referenced submittal dated Dec. 19, 2000, you are approved for Preliminary Plat action by DRB.

The CLOMR for the North Domingo Baca Arroyo Extension was approved and forwarded to FEMA by the City/County Floodplain Administrator on Dec. 20, 2000. Until the CLOMR is approved by FEMA, no grading can occur on Unit 2. Additionally, a LOMR and an Engineer's Certification of the grading and drainage plan are among the requirements required to release financial guarantees for Unit 2.

If you have any questions or if I may be of further assistance to you, please call me at 924-3988.

Sincerely,

Nancy Musinski, P.E.  
Hydrology/Utility Development  
City of Albuquerque Public Works

cc: file





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 5, 2001

Jeff Mortensen, PE  
Jeff Mortensen & Associates, Inc  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: La Cueva Village, Unit 2, Grading and Drainage Plan  
Engineer's Stamp dated 3-15-01 (C19/D11B1)**

Dear Mr. Mortensen,

Based upon the information provided in your resubmittal dated 3-15-01, the above referenced plan is approved for Preliminary Plat action by the DRB. As before, grading can only occur after the CLOMR has been approved.

If you have any questions, you can contact me at 924-3986.

Sincerely,

*Bradley L. Bingham*  
Bradley L. Bingham, PE  
Sr. Engineer, Hydrology

C: file

**DRAINAGE INFORMATION SHEET**

PROJECT TITLE: La Cueva Village, Unit 2

ZONE ATLAS/DRNG. FILE #: C19/D11 B1

DRB #: 96-546

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: Tract B, La Cueva Village, Unit 1(Existing), Lots 1-p1 – 17-p1, La Cueva Village, Unit 2(Proposed)

CITY ADDRESS: Carmel Avenue NE

ENGINEERING FIRM: Jeff Mortensen &amp; Associates, Inc.

CONTACT: J. Graeme Means

ADDRESS: 6010-B Midway Pk. N.E., Albuquerque, NM 87109

PHONE: (505)345-4250

OWNER: Hoech Real Estate Corporation

CONTACT: Don Hoech

ADDRESS: 8300 Carmel Ave NE, Suite 601

PHONE: 821-4440

ARCHITECT: N/A

CONTACT:

ADDRESS:

PHONE:

SURVEYOR: Jeff Mortensen &amp; Associates, Inc.

CONTACT: Charles Cala

ADDRESS: 6010-B Midway Pk. N.E., Albuquerque, NM 87109

PHONE: (505) 345-4250

CONTRACTOR: Not Yet Selected

CONTACT:

ADDRESS:

PHONE:

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL(S) SOUGHT:

- ☒ DRAINAGE REPORT  
 DRAINAGE PLAN  
 CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
 EROSION CONTROL PLAN  
 ENGINEER'S CERTIFICATION  
☒ OTHER - *Infrastructure List*  
☒ OTHER - *Design Variance for use of Mountable Curb and Gutter*

PRE-DESIGN MEETING:

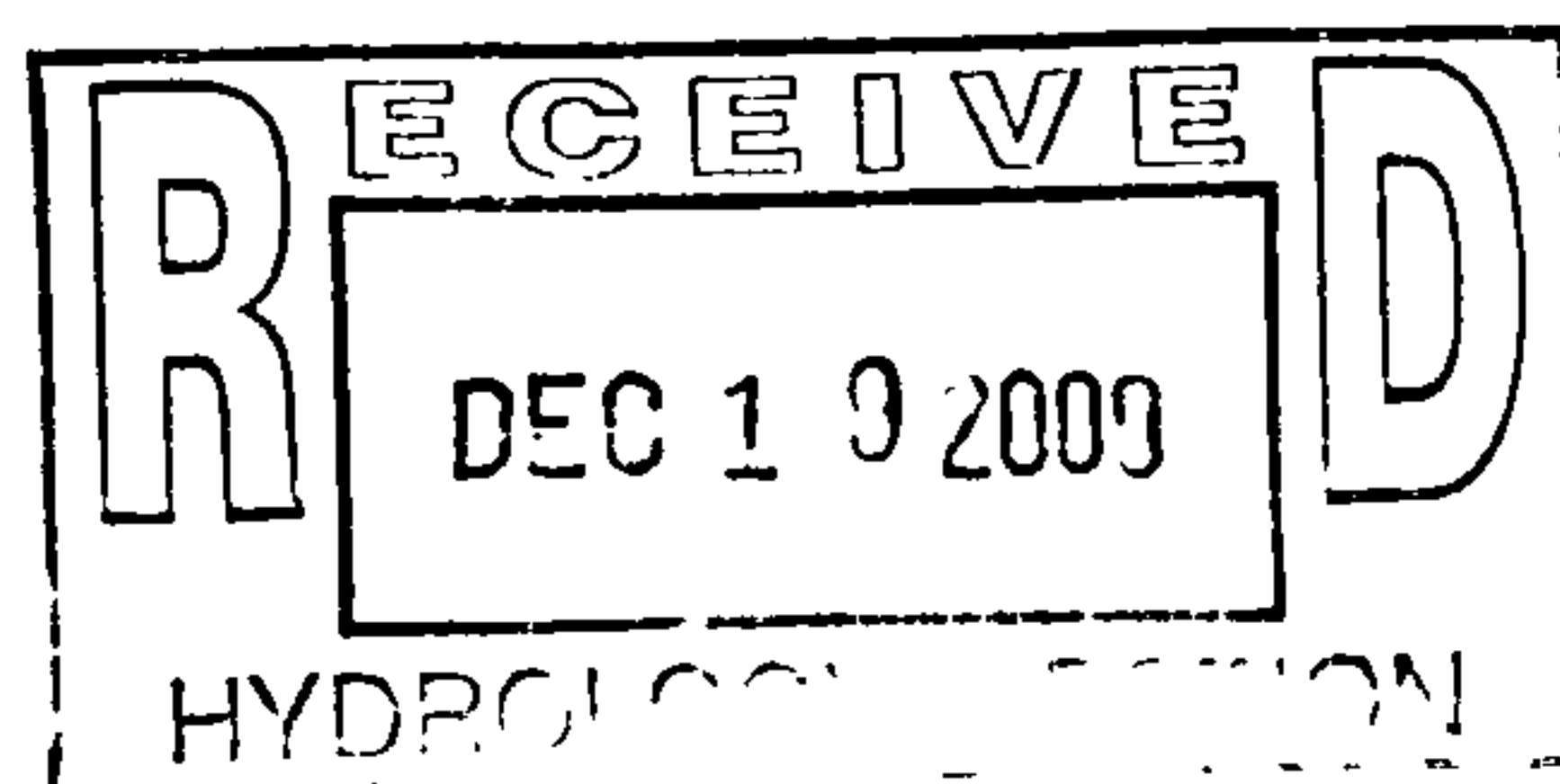
- YES  
☒ NO  
 COPY PROVIDED

- SKETCH PLAT APPROVAL  
☒ PRELIMINARY PLAT APPROVAL  
 S. DEV. PLAN FOR SUB'D APPROVAL  
 S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
 SECTOR PLAN APPROVAL  
☒ FINAL PLAT APPROVAL  
 FOUNDATION PERMIT APPROVAL  
 BUILDING PERMIT APPROVAL  
 CERTIFICATE OF OCCUPANCY APPROVAL  
☒ GRADING PERMIT APPROVAL (*Rough*)  
 PAVING PERMIT APPROVAL  
 S.A.D. DRAINAGE REPORT  
 DRAINAGE REQUIREMENTS  
☒ OTHER *Work Order Approval*

DATE SUBMITTED: 12/19/00

BY: J. Graeme Means, P.E.

XC: Lynn Mazur, AMAFCA





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 20, 2000

Bill Blanton  
Federal Emergency Management Agency  
500 C Street, SW  
Washington, DC 20472

**Re: Request for a Conditional Letter of Map Revision for North Domingo Baca Arroyo, City of Albuquerque, New Mexico, Community No. 350002, FIRM Panel 350002C0141D**

Dear Mr. Blanton,

The purpose of this submittal is to request a Conditional Letter of Map Revision for the North Domingo Baca Arroyo Extension. This request is to install storm drain improvements in the public ROW in order to remove the floodplain from the adjoining lots.

Enclosed with this letter are the Application and Certification forms for requesting revisions to the National Flood Insurance Program map, analysis of the project and a check in the amount of \$4000.00.

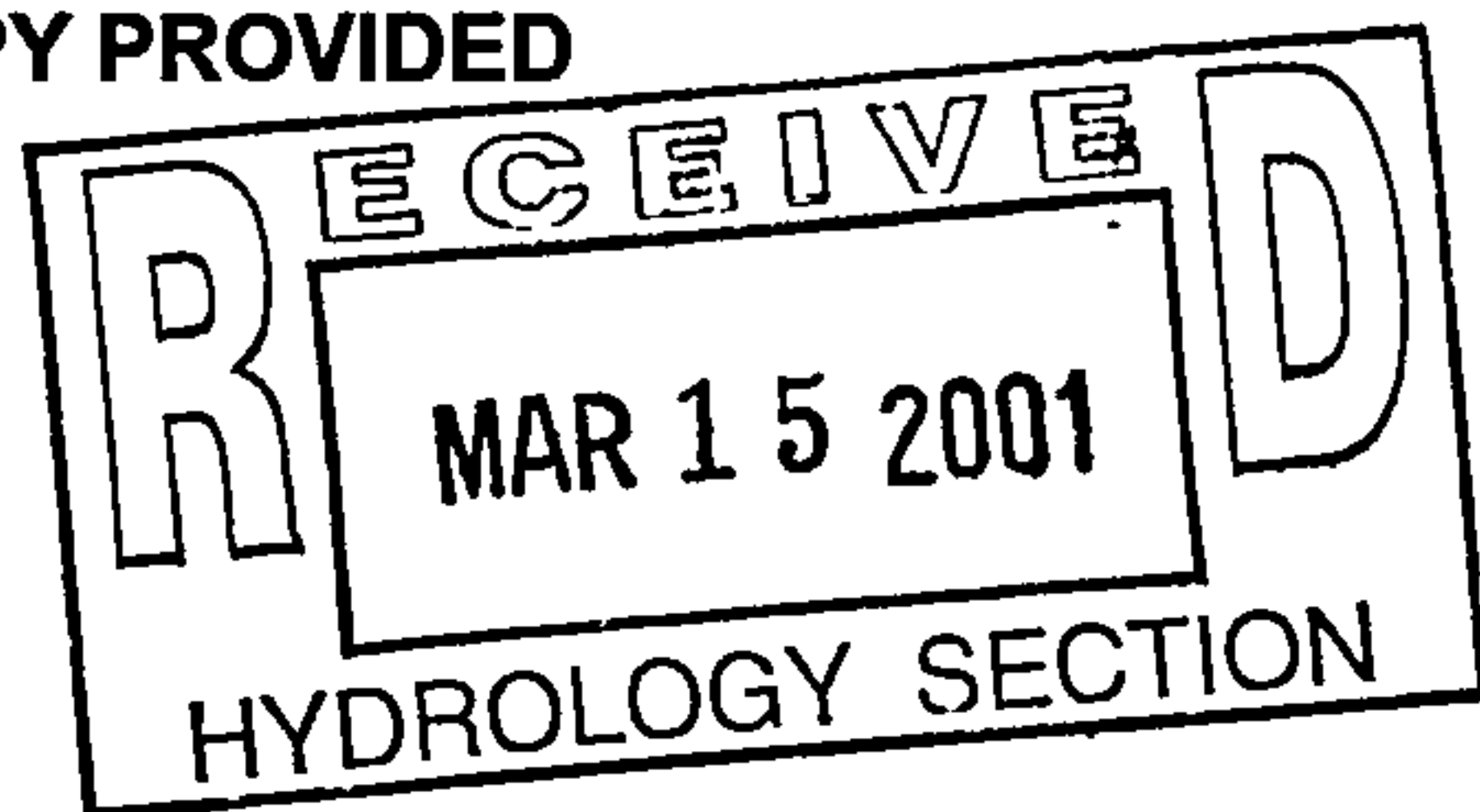
As the Community official, I have reviewed and approved the analysis and plan provided with this submittal. Our Community would greatly appreciate your prompt response and approval for this Conditional Letter of Map Revision.

If you have any questions, you can contact me at (505) 924-3986.

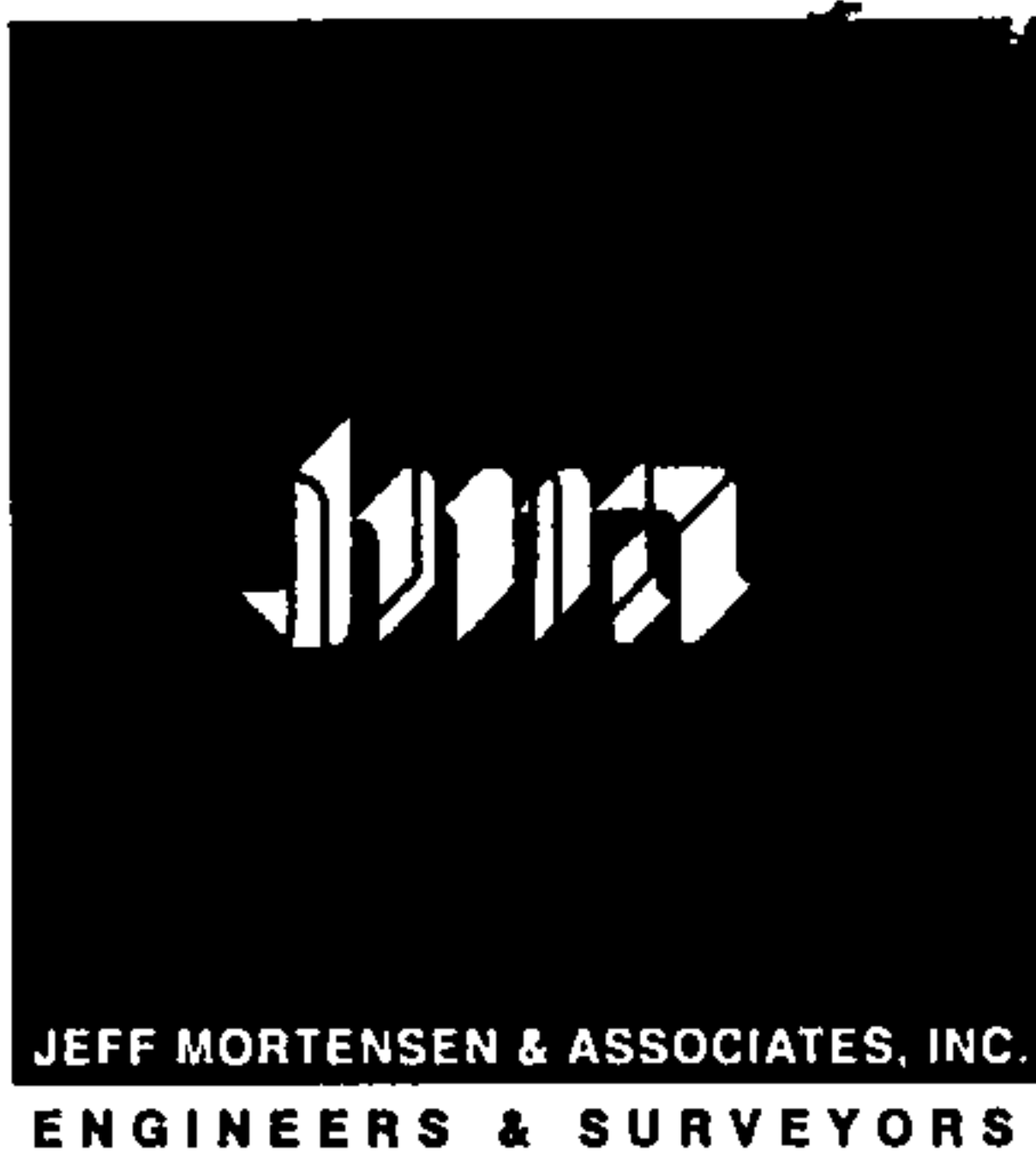
Sincerely,

Bradley L. Bingham, PE  
City/County Floodplain Administrator (Acting)

C: Jeff Mortensen, P.E. Jeff Mortensen and Assoc.  
Alan Johnson, FEMA Headquarters  
Jack Quarles, FEMA Region VI

**DRAINAGE INFORMATION SHEET****PROJECT TITLE:** La Cueva Village, Unit 2**ZONE ATLAS/DRNG. FILE #:** C19/D11 B1**DRB #:** 96-546**EPC #:****WORK ORDER #:****LEGAL DESCRIPTION:** Tract B, La Cueva Village, Unit 1(Existing), Lots 1-p1 – 17-p1, La Cueva Village, Unit 2(Proposed)**CITY ADDRESS:** Carmel Avenue NE**ENGINEERING FIRM:** Jeff Mortensen & Associates, Inc.**CONTACT:** J. Graeme Means**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505)345-4250**OWNER:** Hoech Real Estate Corporation**CONTACT:** Don Hoech**ADDRESS:** 8300 Carmel Ave NE, Suite 601**PHONE:** 821-4440**ARCHITECT:** N/A**CONTACT:****ADDRESS:****PHONE:****SURVEYOR:** Jeff Mortensen & Associates, Inc.**CONTACT:** Charles Cala**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505) 345-4250**CONTRACTOR:** Not Yet Selected**CONTACT:****ADDRESS:****PHONE:****TYPE OF SUBMITTAL:****CHECK TYPE OF APPROVAL(S) SOUGHT:**☒ **DRAINAGE REPORT****DRAINAGE PLAN****CONCEPTUAL GRADING & DRAINAGE  
PLAN**☒ **GRADING PLAN****EROSION CONTROL PLAN****ENGINEER'S CERTIFICATION**☒ **OTHER - Infrastructure List**☒ **OTHER - Design Variance for use of  
Mountable Curb and Gutter****SKETCH PLAT APPROVAL**☒ **PRELIMINARY PLAT APPROVAL****S. DEV. PLAN FOR SUB'D APPROVAL****S. DEV. PLAN FOR BLDG. PERMIT APPROVAL****SECTOR PLAN APPROVAL**☒ **FINAL PLAT APPROVAL****FOUNDATION PERMIT APPROVAL****BUILDING PERMIT APPROVAL****CERTIFICATE OF OCCUPANCY APPROVAL**☒ **GRADING PERMIT APPROVAL (Rough)****PAVING PERMIT APPROVAL****S.A.D. DRAINAGE REPORT****DRAINAGE REQUIREMENTS**☒ **OTHER Work Order Approval****PRE-DESIGN MEETING:****YES**☒ **NO****COPY PROVIDED****DATE SUBMITTED:****BY:** J. Graeme Means, P.E.**XC:** Lynn Mazur, AMAFCA





6010-B MIDWAY  
PARK BLVD. NE  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 9

P R I N C I P A L S  
\_\_\_\_\_  
JEFFREY G. MORTENSEN, P.E.  
CHARLES G. CALA, JR., P.S.  
J U A N M . C A L A

TEL:505-345-4250

FAX:505-345-4254

jmainc@swcp.com



2000.093.1

Nancy Musinski, P.E.  
City of Albuquerque Public Works Department  
Hydrology Section  
600 Second Street N.W.  
Plaza Del Sol – Second Floor  
Albuquerque, NM 87102

Re: La Cueva Village, Unit 2 (C19/D11)


Dear Nancy,

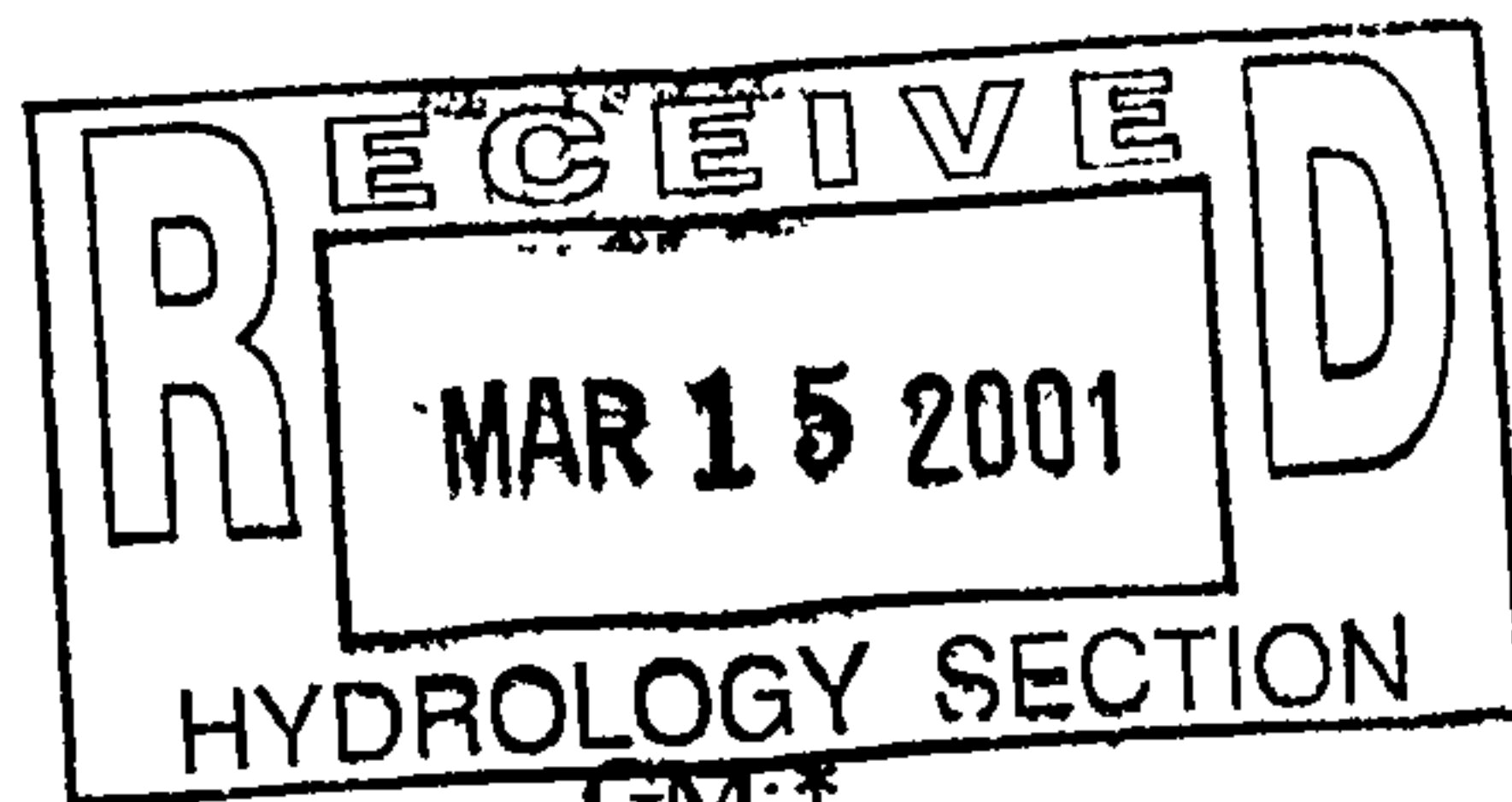
Transmitted herewith is a revised Grading and Drainage Plan for the subject project. We have revised the previously approved Plan to update the current configuration of the proposed offsite AMAFCA improvements, to reference the now executed Agreement to construct those improvements, to reference the FEMA case number for the pending CLOMR, to add a grading cross-section, and to reduce the amount of retaining wall required at the northeast corner of the site. Also transmitted is a copy of the Infrastructure List which I have revised per your verbal comments to add the upstream offsite improvements.

We plan to submit the plat and grading plan next week to be heard at the April 18 DRB public hearing. If you should have any questions or comments concerning this submittal, please do not hesitate to call. . .

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.

  
J. Graeme Means, P.E.



Enclosures

xc: Lynn Mazur, AMAFCA