



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 11, 2001

Jeff Mortensen, P.E.  
Jeff Mortensen & Assoc.  
6010-B Midway Park Blvd NE  
Albuquerque, NM 87109

**RE: Grading and Drainage Certification  
La Cueva Office Park- Buildings 1 - 6 (8300 Carmel NE) (C-19/D11C)  
Engineer's Stamp dated 3/8/2000  
Engineers Certification dated 4/6/2001**

Dear Mr. Mortensen:

Based upon the information provided in your Engineers Certification submittal dated 4/9/2001, the above referenced site is approved for Permanent Certificate of Occupancy for Buildings 1 thru 6.

If I can be of further assistance, please contact me at 924-3986.

Sincerely,

*Bradley L. Bingham*

Bradley L. Bingham, PE  
Senior Civil Engineer  
Hydrology Section, PWD

C: Vickie Chavez, COA  
Teresa Martin, COA  
file

**DRAINAGE INFORMATION SHEET**

**PROJECT TITLE:** La Cueva Office Park – Certification for  
Permanent C.O. for Buildings 1-6

**ZONE ATLAS/DRNG. FILE #:** C19/D11C

**DRB #:** 99-268

**EPC #:** Z98-91

**WORK ORDER #:**

**LEGAL DESCRIPTION:** Tract A, La Cueva Office Park

**CITY ADDRESS:** 8300 Carmel Ave NE – Suites 101-106

**ENGINEERING FIRM:** Jeff Mortensen & Associates, Inc.

**CONTACT:** Jeff Mortensen

**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109

**PHONE:** (505)345-4250

**OWNER:** La Cueva Office Park Development Ltd

**CONTACT:** Don Hoech

**ADDRESS:**

**PHONE:** 821-4440

**ARCHITECT:** Cherry/See Architects

**CONTACT:** Developer

**ADDRESS:**

**PHONE:**

**SURVEYOR:** Jeff Mortensen & Associates, Inc.

**CONTACT:** Charles Cala

**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109

**PHONE:** (505) 345-4250

**CONTRACTOR:** Gear-Condon

**CONTACT:** Developer

**ADDRESS:**

**PHONE:**

**TYPE OF SUBMITTAL:**

**CHECK TYPE OF APPROVAL(S) SOUGHT:**

**DRAINAGE REPORT**

**DRAINAGE PLAN**

**CONCEPTUAL GRADING & DRAINAGE  
PLAN**

**GRADING PLAN**

**EROSION CONTROL PLAN**

**X ENGINEER'S CERTIFICATION-GRADING**

**OTHER - (SPECIFY)**

**SKETCH PLAT APPROVAL**

**PRELIMINARY PLAT APPROVAL**

**S. DEV. PLAN FOR SUB'D APPROVAL**

**S. DEV. PLAN FOR BLDG. PERMIT APPROVAL**

**SECTOR PLAN APPROVAL**

**FINAL PLAT APPROVAL**

**FOUNDATION PERMIT APPROVAL**

**BUILDING PERMIT APPROVAL**

**X CERTIFICATE OF OCCUPANCY APPROVAL**

**(PERMANENT)**

**GRADING PERMIT APPROVAL**

**PAVING PERMIT APPROVAL**

**S.A.D. DRAINAGE REPORT**

**DRAINAGE REQUIREMENTS**

**OTHER (SPECIFY)**

**PRE-DESIGN MEETING:**

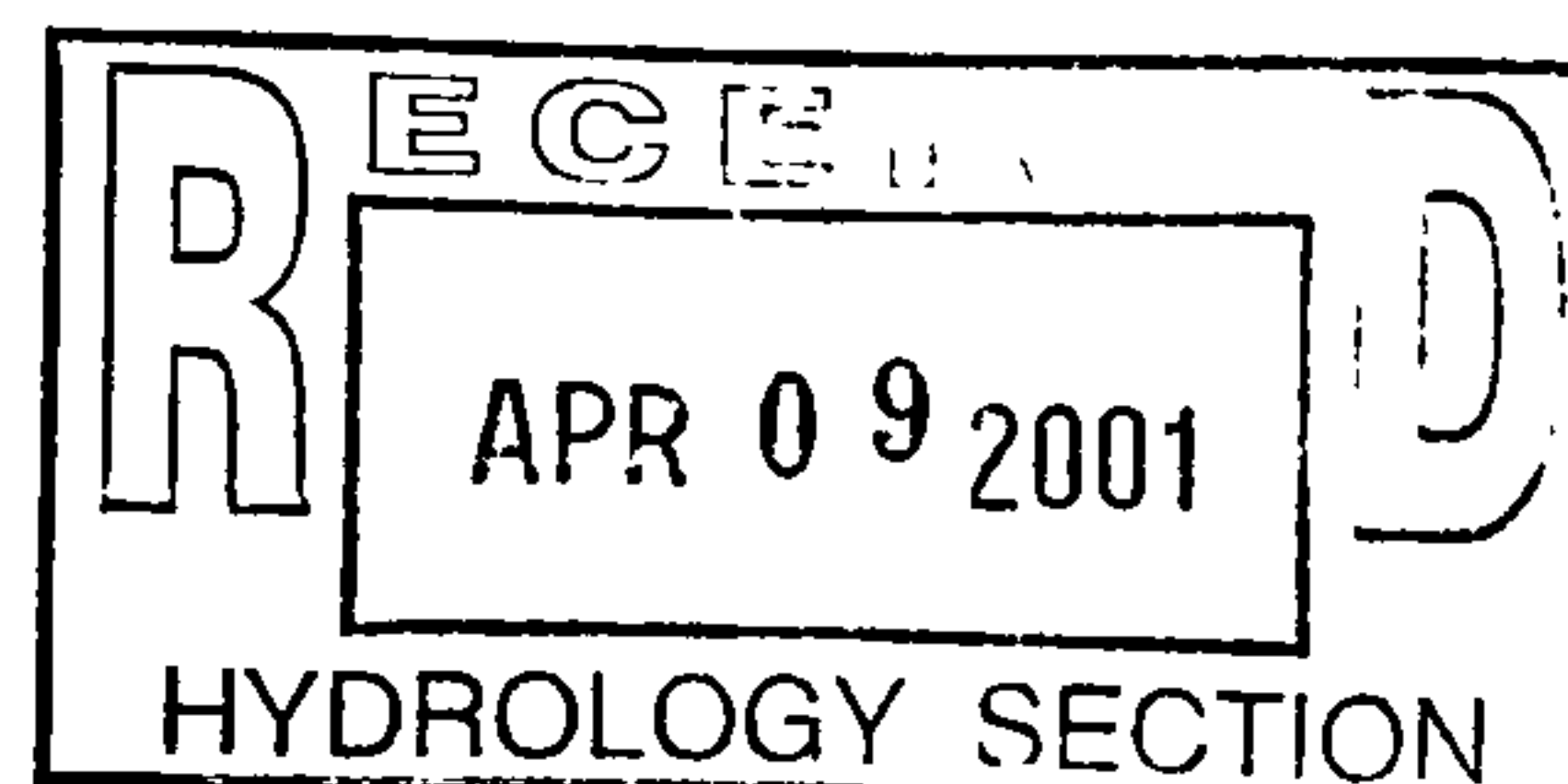
**YES**

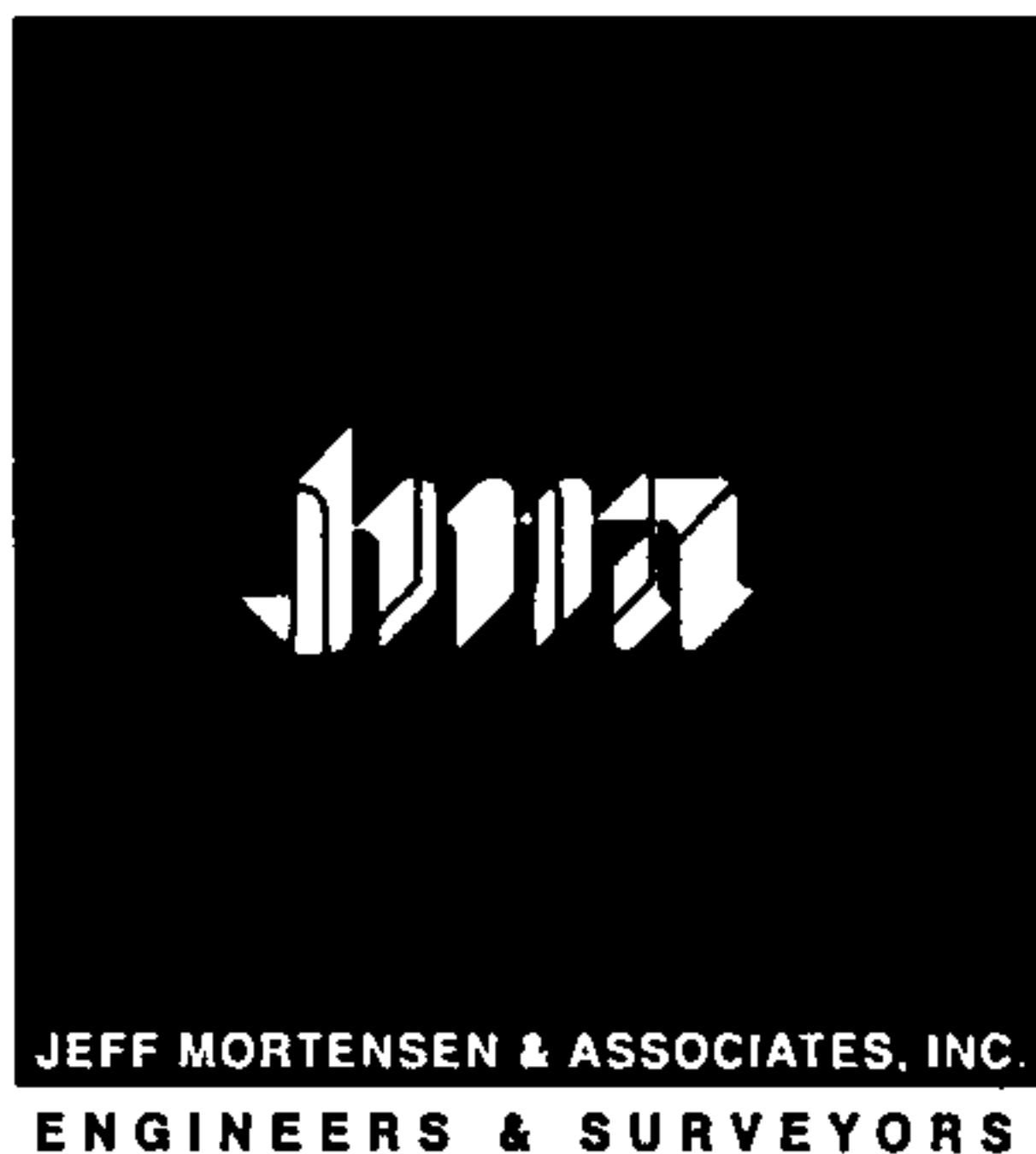
**X NO**

**COPY PROVIDED**

**DATE SUBMITTED:** 04/09/01

**BY:** J. Graeme Means





6010-B MIDWAY

PARK BLVD. NE

ALBUQUERQUE

NEW MEXICO

8 7 1 0 9

P R I N C I P A L S

JEFFREY G. MORTENSEN, P.E.

CHARLES G. CALA, JR., P.S.

J U A N M . C A L A

TEL:505-345-4250

FAX:505-345-4254

jmainc@swcp.com



2000.092.3

Bradley L. Bingham, P.E.  
City of Albuquerque Public Works Department  
Hydrology Section  
600 Second Street N.W.  
Plaza Del Sol – Second Floor  
Albuquerque, NM 87102

Re: La Cueva Office Park Buildings 1-6 Grading and Drainage Certification (C19/D11C)

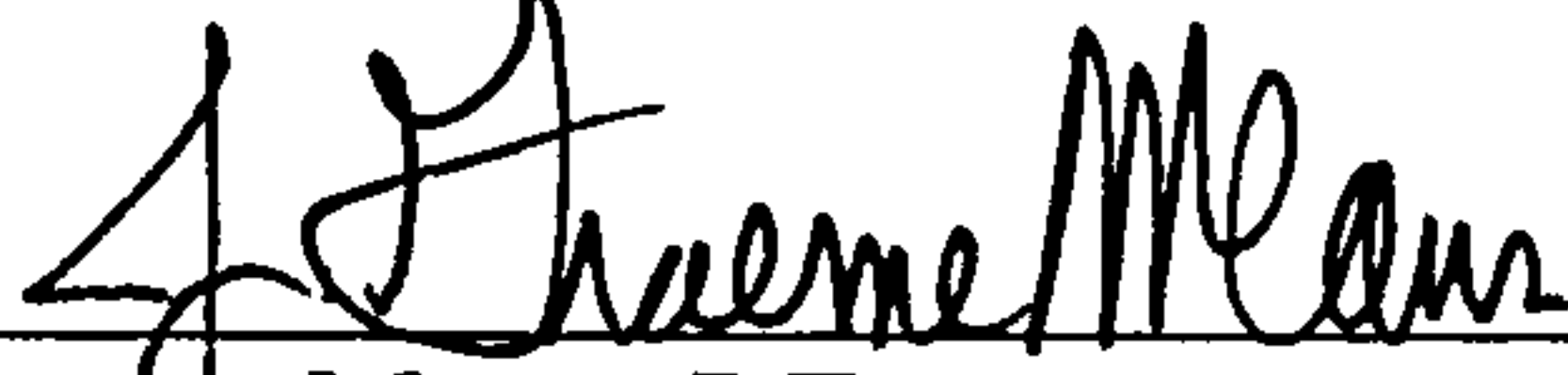
Dear Brad,

Transmitted herewith for the City's files is a blueprint of the subject Certification which has been signed by the property owner. Upon receipt of your approval letter earlier this week, I realized that the owner had not yet signed the drawing when I made the submittal.

If you should have any questions or comments concerning this submittal, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.

  
J. Graeme Means, P.E.

GM:\*  
Enclosure



# *City of Albuquerque*

February 17, 2000

Jeffrey G. Mortensen, P. E.  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park Blvd. NE  
Albuquerque, New Mexico 87109

***RE: Grading and Drainage Plan for La Cueva Office Park (C19/D11C) Submitted for Building Permit Approval for Buildings 1, 5 and 6, Engineer's Stamp Dated 1/28/00.***

Dear Mr. Mortensen:

Based on the information provided, the above referenced plan dated January 28, 2000 for La Cueva Office Park is approved for Building Permit release for Buildings 1, 5 and 6 only.

Please attach a copy of this approved plan to the set of construction drawings for Building permit signoff. As stated on the plan, a separate plan will be provided prior to approval for construction of the remaining buildings.

As you are aware, the Engineer's Certification is required prior to the release of the Certificate of Occupancy for these buildings.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Whitney Reiersen, City Hydrology  
File



PROJECT TITLE: La Cueva Office Park ZONE ATLAS/DRNG. FILE #: C19/D11C  
DRB #: 99-268 EPC #: Z98-91 WORK ORDER #: —  
LEGAL DESCRIPTION: Tract A, La Cueva Office Park  
CITY ADDRESS: 8300 Carmel N.E.  
ENGINEERING FIRM: JMA CONTACT: Graeme Means  
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250  
OWNER: Hoehn Real Estate Corp. CONTACT: Don Hoehn  
ADDRESS: — PHONE: 821-4440  
ARCHITECT: Cherry See Architects CONTACT: Ian Schultz  
ADDRESS: — PHONE: 842-1278  
SURVEYOR: JMA CONTACT: Chuck Cala  
ADDRESS: — PHONE: 345-4250  
CONTRACTOR: Gear-Con CONTACT: Owner  
ADDRESS: — PHONE: —

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL

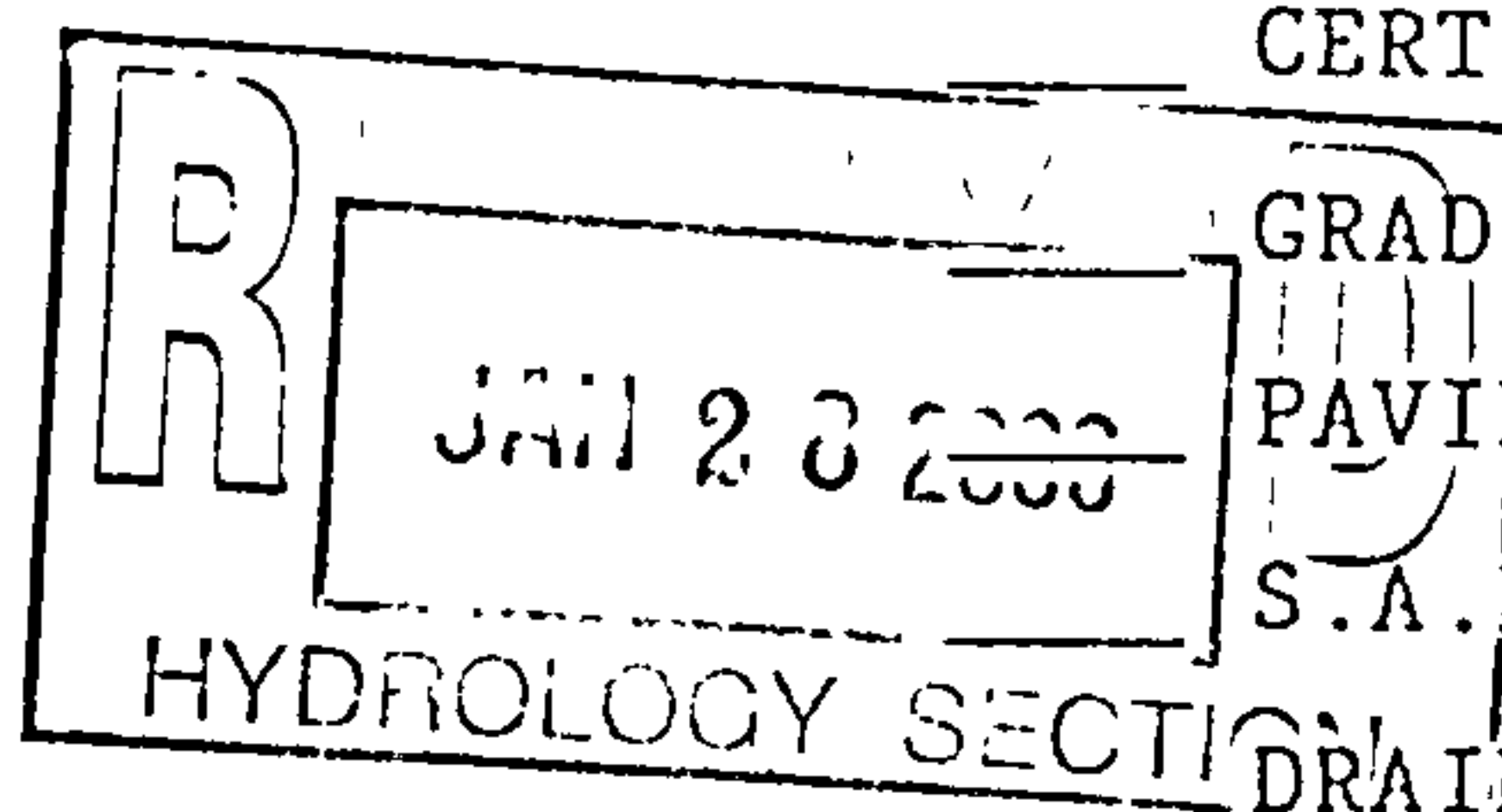
## CERTIFICATE OF OCCUPANCY APPROVAL

- ☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS

☐ OTHER — (SPECIFY)

XC: DON HOEHN  
IAN SCHULTZ

DATE SUBMITTED: 01/28/2000  
BY: Graeme Means





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 9, 1999

Jeffrey G. Mortensen, P. E.  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park Blvd. NE  
Albuquerque, New Mexico 87109

***RE: Grading Plan for La Cueva Office Park (C19/D11C) Submitted for Rough Grading Permit Approval, Engineer's Stamp Dated 10/4/99.***

Dear Mr. Mortensen:

Based on the information provided, the above referenced plan for La Cueva Office Park is approved for Rough Grading Permit release.

Prior to release of the Building Permit however, please verify that the off-site runoff is being intercepted at Barstow with the County's project, as the plan states. Providing a copy of Sheet 3-29 of the County construction plans would be helpful. Also as stated, the site specific Grading and Drainage Plans for each phase will be required with each Building Permit request.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Don Hoech, Land Development IV Ltd. Co.  
File

PROJECT TITLE: LA WENA OFFICE PARK ZONE A1/LAS/DRNG. EUB #: 980075  
DRB #: 96-546 EPC #: Z98-91 WORK ORDER #: C19/D11C  
LEGAL DESCRIPTION: LOTS 13-15, 18-20, Block 20, TRACT 2, UNIT 3, NAA  
CITY ADDRESS: CARMEL AVE N.E.

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: GRAEME MEANS

ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250

OWNER: LAND DEVELOPMENT III LTD. CO. CONTACT: DON HOECH

ADDRESS: 12500 MONTGOMERY NE SUITE 127 PHONE: 821-4440

ARCHITECT: CHERRY SEE ARCHITECTS CONTACT: JIM SEE

ADDRESS: 220A GOLD SW PHONE: 842-1278

SURVEYOR: JMA CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

XC: DON HOECH

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☒ GRADING PERMIT APPROVAL (ROUGH)  
☐ PAVING PERMIT APPROVAL

S.A.D. DRAINAGE REPORT  
RECEIVED  
DRAINAGE REQUIREMENTS  
OCT 4 1999  
HYDROLOGY SECTION

(SPECIFY)

DATE SUBMITTED:

10/05/99

BY:

J. GRAEME MEANS





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 19, 1999

Jeffrey G. Mortensen, P. E.  
Jeff Mortensen & Associates, Inc.  
6010-B Midway Park Blvd. NE  
Albuquerque, New Mexico 87109

***RE: Grading and Drainage Plan for La Cueva Office Park (C19/D11C) Submitted for Site Development Plan for Building Permit Approval, Engineer's Stamp Dated 6/24/99.***

Dear Mr. Mortensen:

Based on the information provided, the above referenced plan for La Cueva Office Park is approved for Site Development Plan for Building Permit approval by the DRB.

Prior to release of the Building Permit however, the following comments must be addressed:

1. The plan states that the off-site flows which currently cross Barstow will be intercepted by the proposed storm drain system which is being constructed by the County. Please provide the information to verify that the system in Barstow can pick up these flows. Also verify that this portion of the storm drain system is in place.
2. Provide the street grades for the proposed Frontage Road adjacent to your site.

The owner should be made aware of the timing for the LOMR to remove the floodplain. The request cannot be submitted to FEMA until the entire system has been built and the As-Built drawings are complete. This may not be done for another year. Then it may take FEMA another 3 to 6 months to issue the LOMR. The floodplain will not be removed until FEMA issues the LOMR, therefore flood insurance will be required for the buildings within the existing floodplain for the next year or two.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Don Hoech, Owner  
File



PROJECT TITLE: LA CUEVA OFFICE PARK ZONE ATLAS/DRNG. FILE #: 780071  
DRB #: 96-546 EPC #: Z98-91 WORK ORDER #: C19/D11C  
LEGAL DESCRIPTION: LOTS 13-15, 18-20, BLOCK 20, TRACT 2, UNIT 3, NAA  
CITY ADDRESS: CARMEL AVE N.E.

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: GRAEME MEANS

ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250

OWNER: LAND DEVELOPMENT III LTD. CO. CONTACT: DON HOECH

ADDRESS: 12500 MONTGOMERY NE SUITE 127 PHONE: 821-4440

ARCHITECT: CHERRY SEE ARCHITECTS CONTACT: JIM SEE

ADDRESS: 220A GOLD SW PHONE: 842-1278

SURVEYOR: JMA

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

XC: DON HOECH

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 06/24/99

BY: J. GRAEME MEANS

