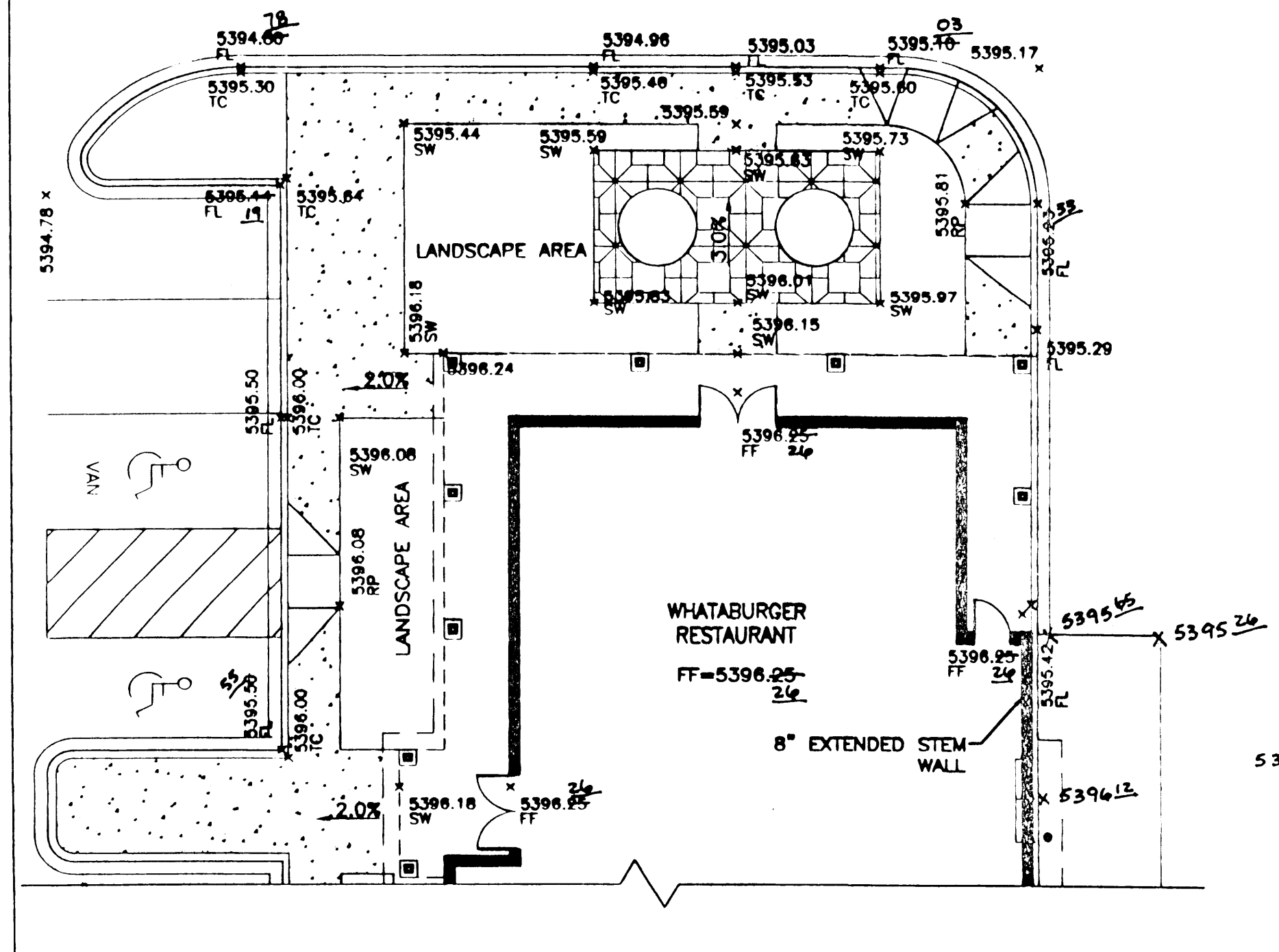
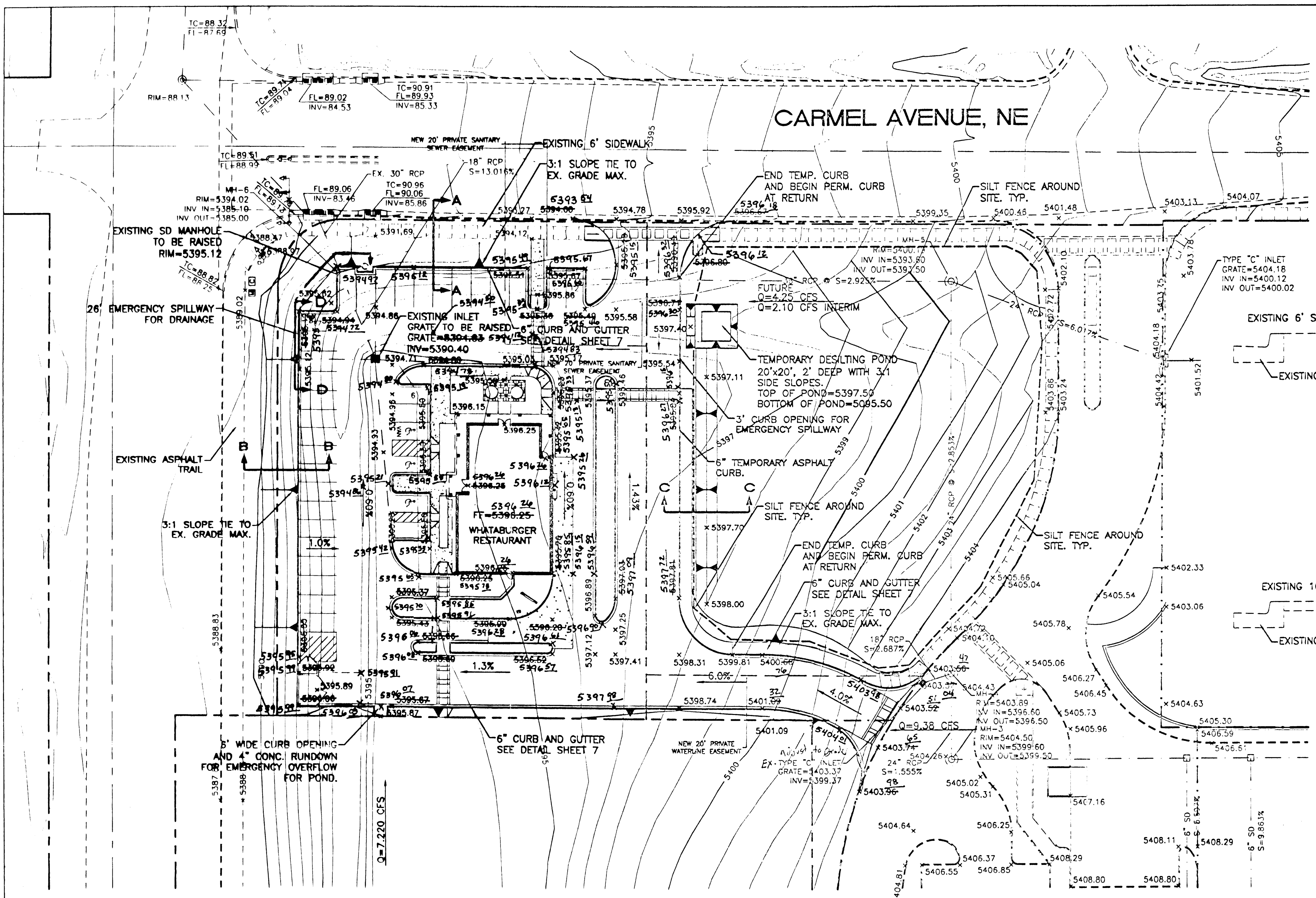
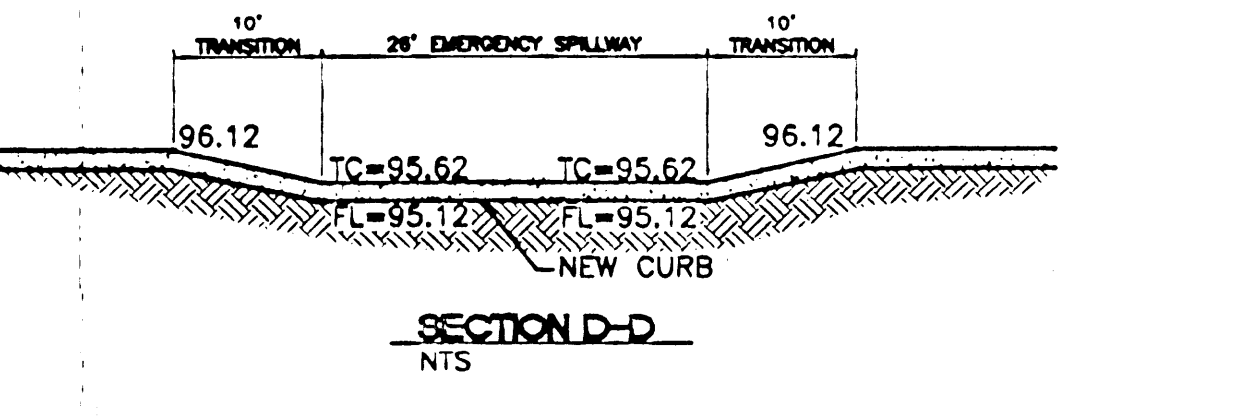
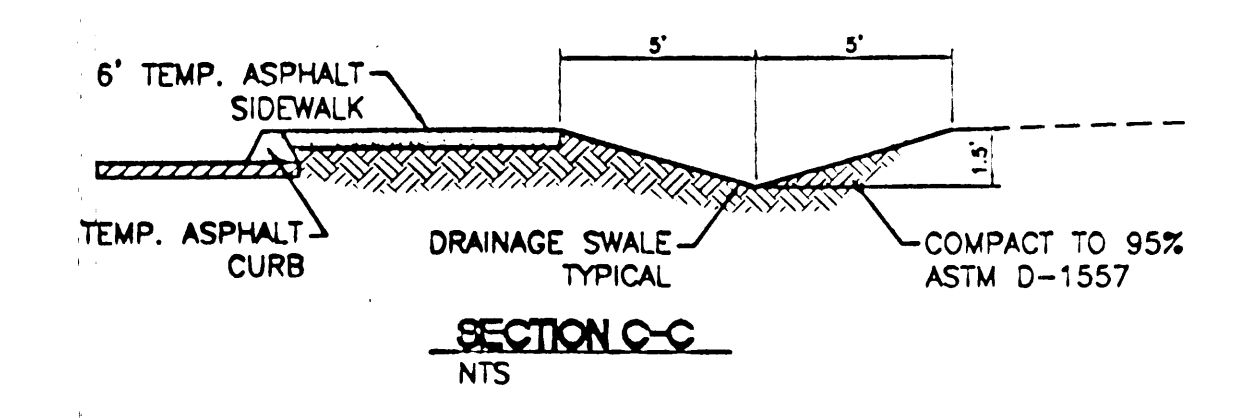
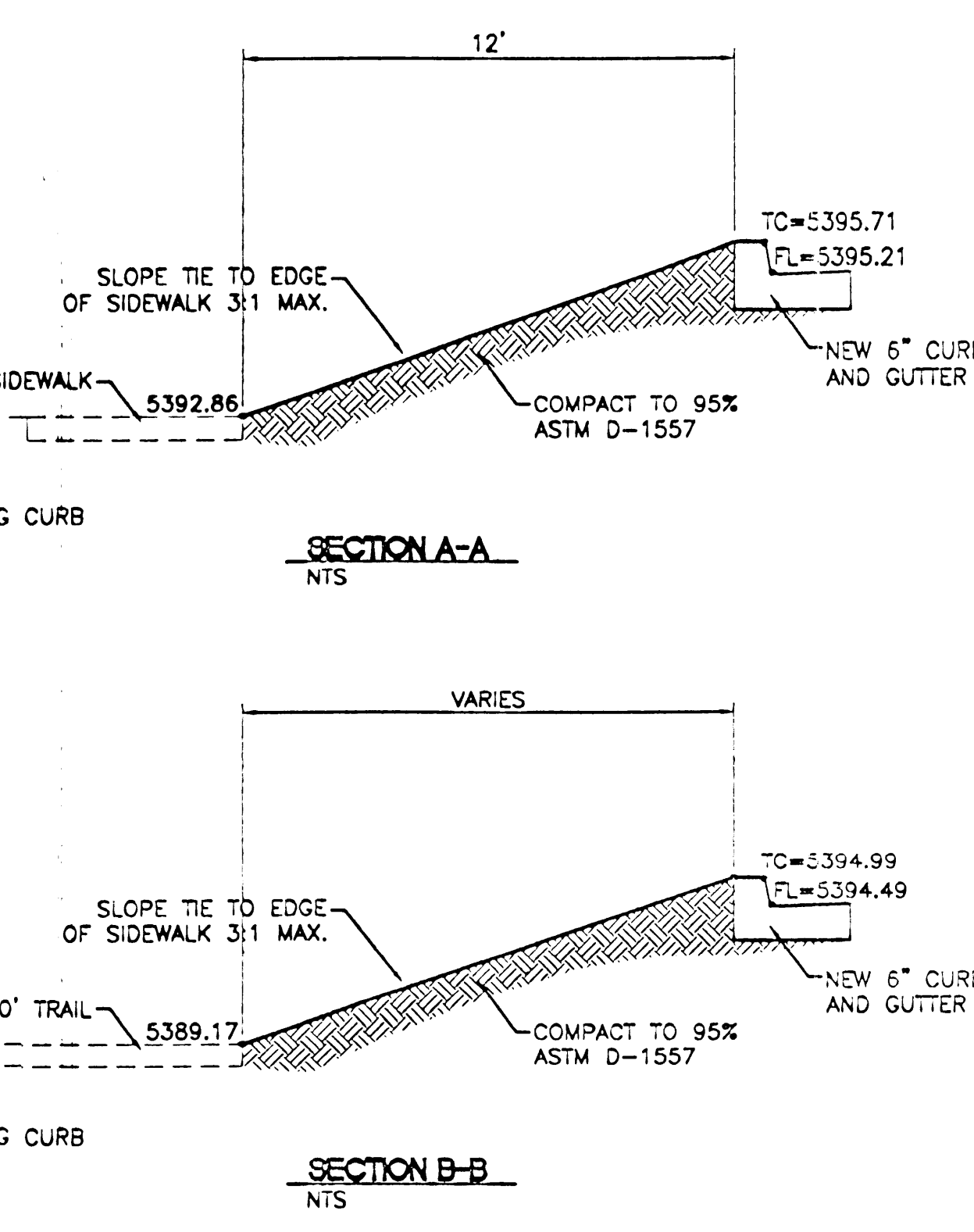
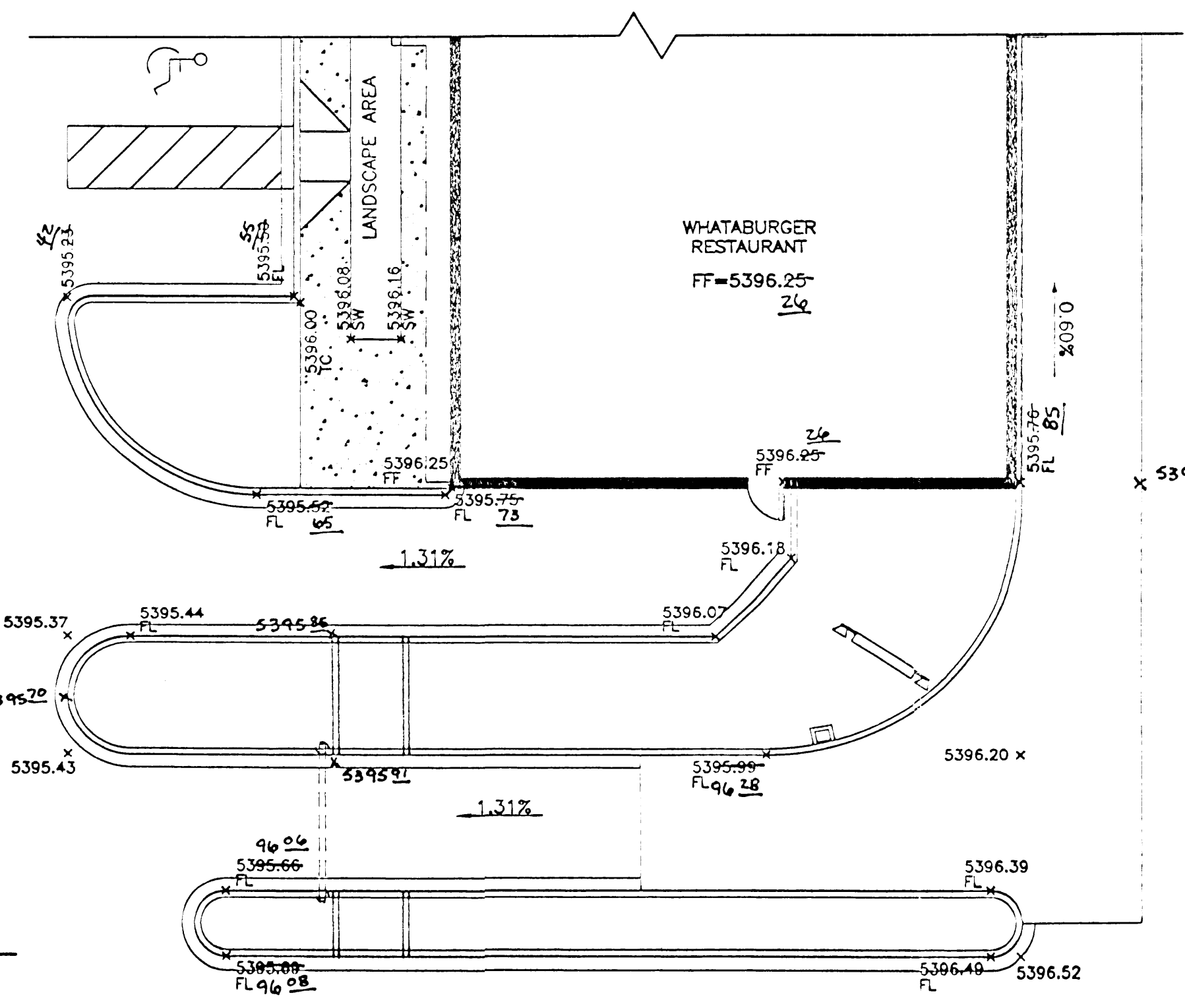


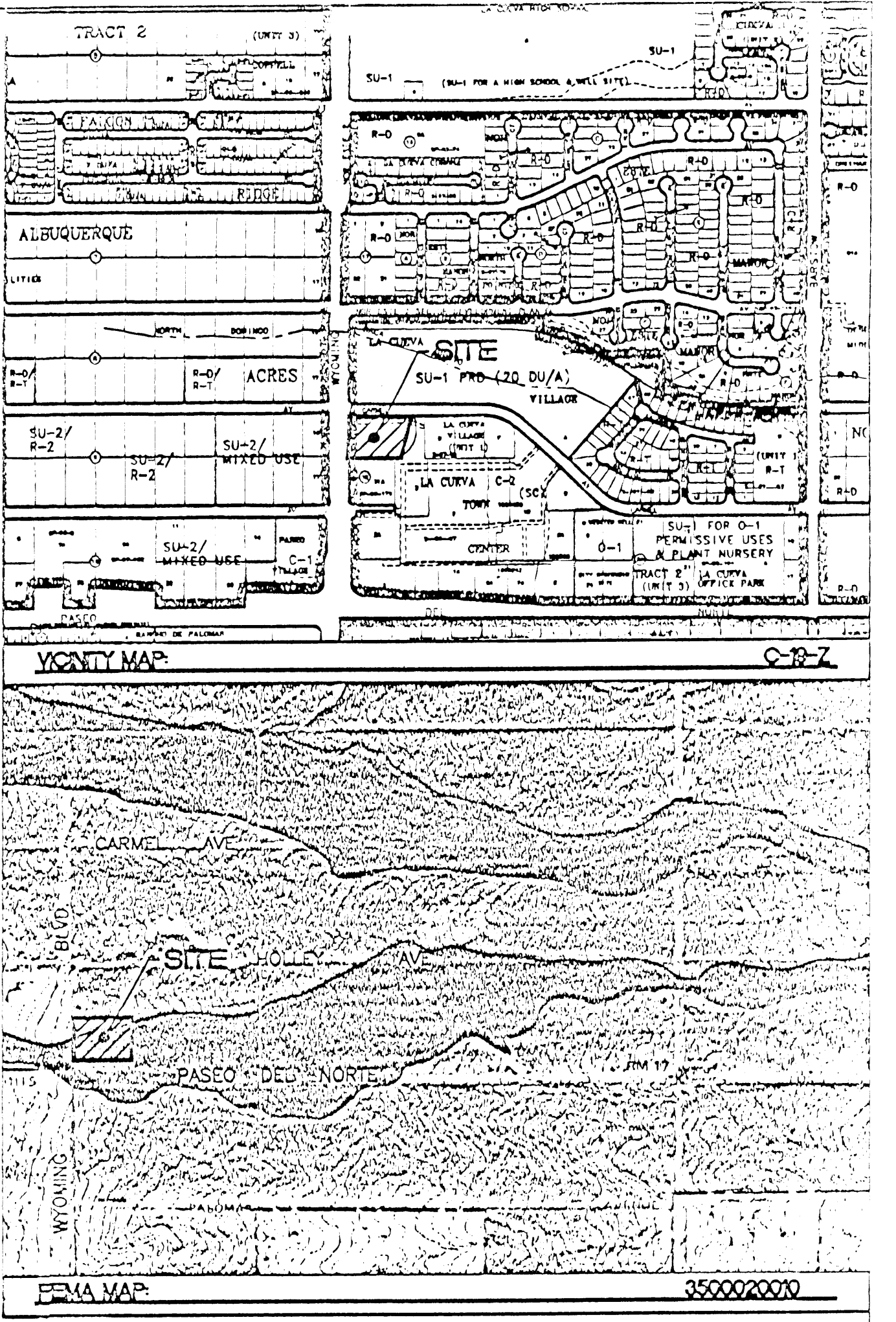
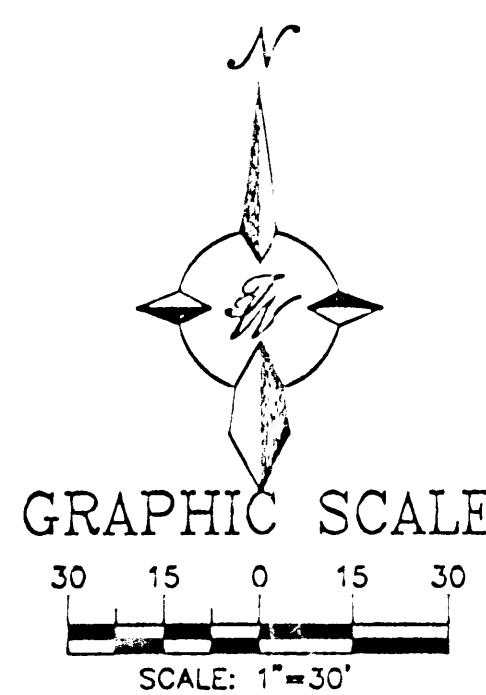
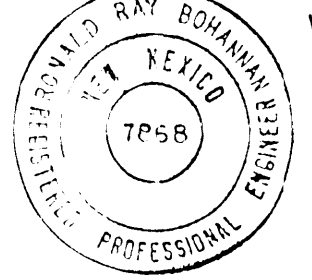


BUILDING GRADING DETAILS
SCALE: 1"=10'



I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 11/13/01. Survey information was supplied by JAKE ARGUELLES, P.E., in accordance with normal surveying practices.

Rafael R. Bohannon
Rafael R. Bohannon
10/14/01
#7868

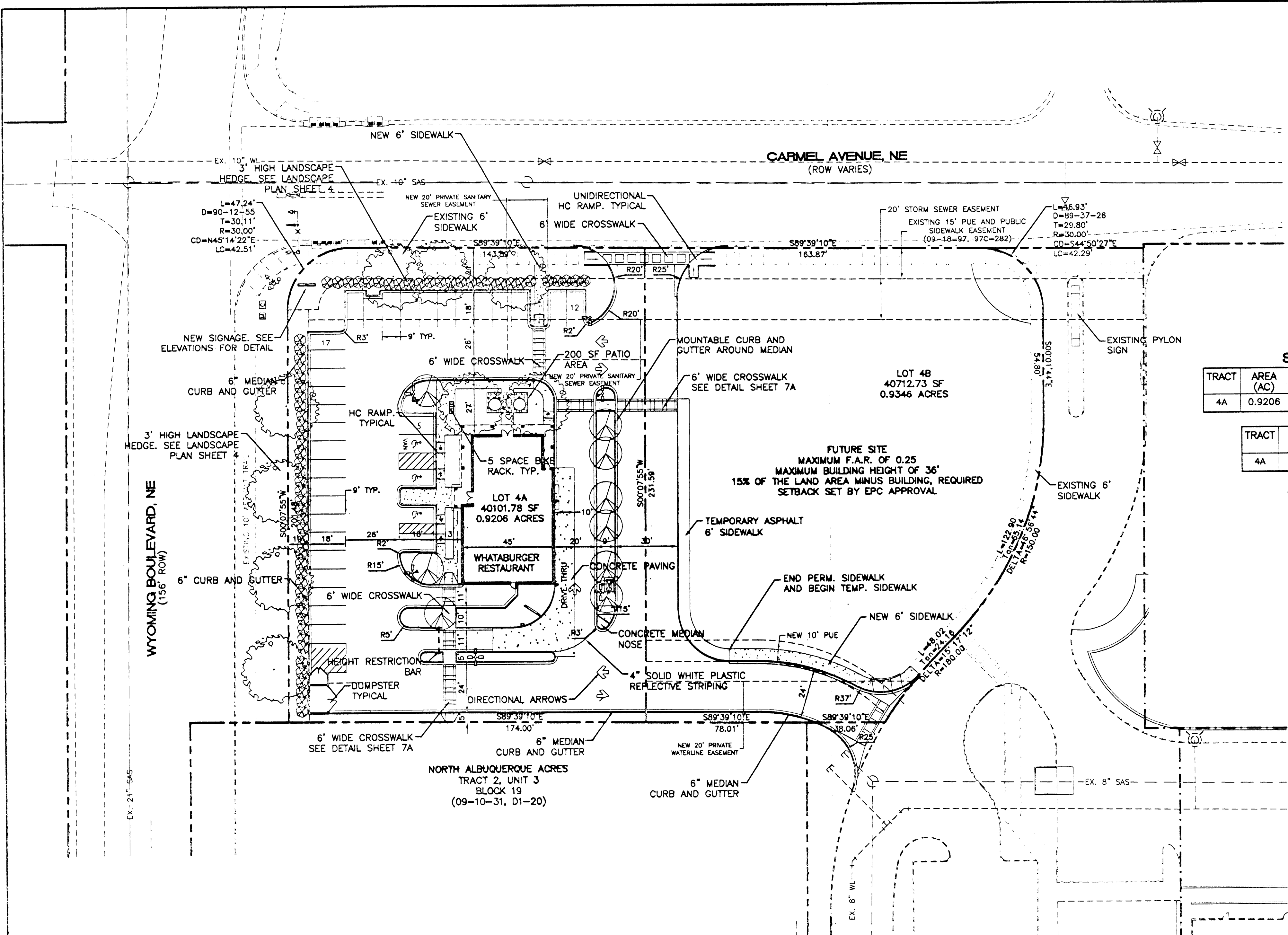


NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND	
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	PROPOSED RETAINING WALL
---	FLOWLINE
---	SILT FENCE

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL		DATE
ENGINEER'S SEAL	WHATA BURGER	DRAWN BY: BOG
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER #14522	GRADING AND DRAINAGE PLAN	DATE: 09/13/01
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2107GR.DWG
		SHEET # 6
		JOB # 210007



SITE DATA TABLE

TRACT	AREA (AC)	BUILDING AREA (SF)	USE	ZONING	F.A.R.	MAX. BLDG. HEIGHT
4A	0.9206	3,100	RESTAURANT	C-2 (SC)	0.08	23'

TRACT	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	BIKE RACKS REQ.
4A	32	35	3	3	1

EMPLOYEE PARKING: (1 SPACE PER 2 EMPLOYEES) = 4
 SEATING: (1 SPACE PER 3 SEATS) = 25
 PATIO AREA: (200 SF, 9 SEATS) = 3
 TOTAL = 32

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	40,101 square feet
TOTAL BUILDINGS AREA	3,100 square feet
OFFSITE AREA	3,460 square feet
NET LOT AREA	33,541 square feet
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	5,031 square feet
TOTAL LANDSCAPE PROVIDED	11,576 square feet
TOTAL BED PROVIDED	11,576 square feet
TOTAL SOD PROVIDED	0 square feet
TOTAL NATIVE SEED PROVIDED	0 square feet

I certify that the improvements shown on this plan have been built in substantial compliance with the approved site plan dated 9-13-01. This information was provided by Tierra West LLC.

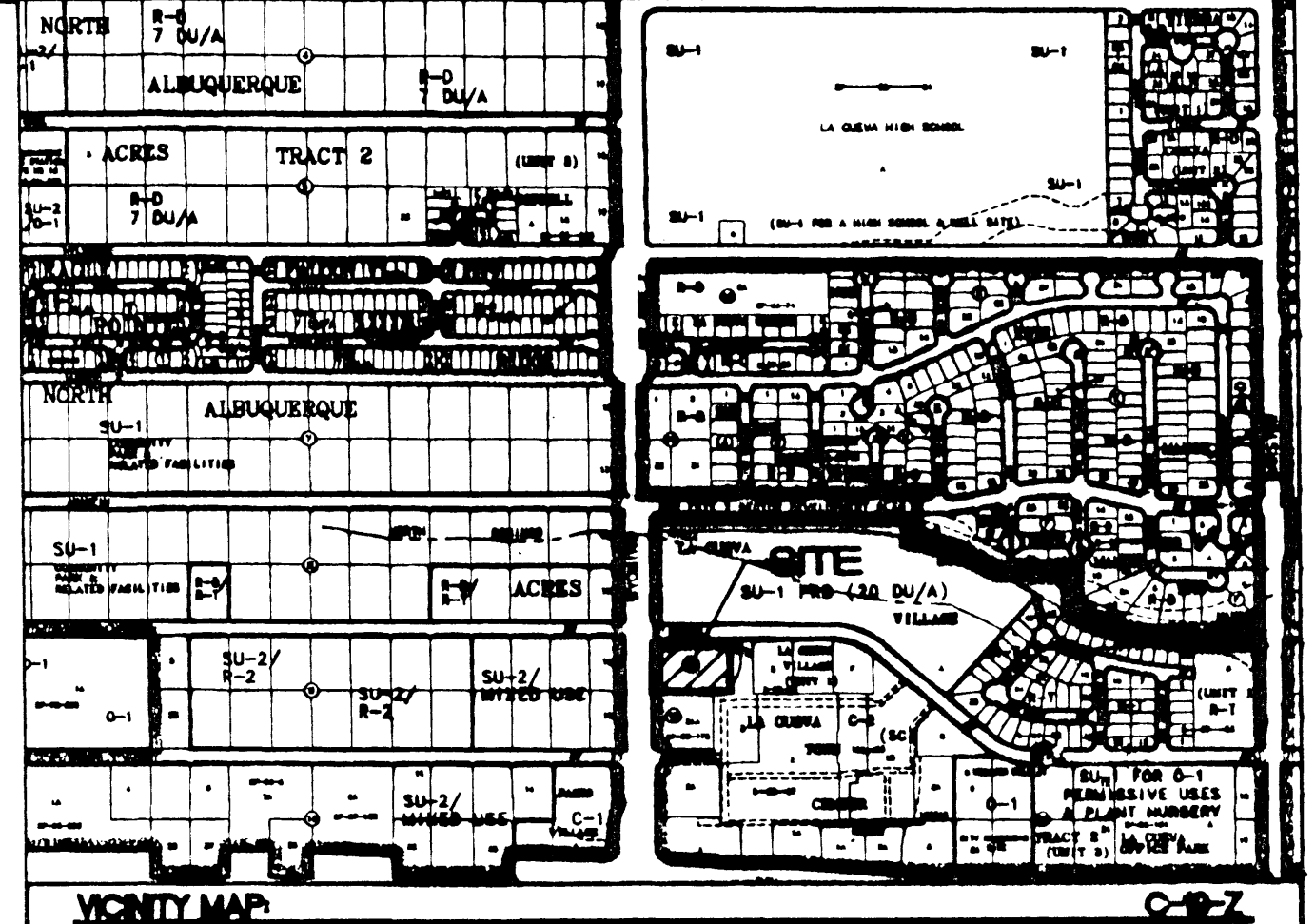
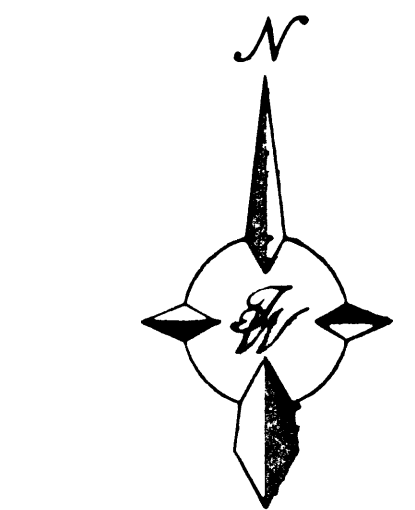
Ronald R. Bohannon
 Date: 12/27/01
 #7868

INDEX TO DRAWINGS

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. ELEVATIONS
4. ELEVATIONS
5. LANDSCAPE PLAN
6. CONCEPTUAL GRADING PLAN
7. MASTER UTILITY PLAN
- 7A. DETAILS
- 7B. DETAILS
8. APPROVED SITE PLAN FOR BUILDING PERMIT (LA CUEVA TOWN CENTER) FOR REFERENCE ONLY
9. APPROVED SITE PLAN FOR SUBDIVISION (LA CUEVA TOWN CENTER) FOR REFERENCE ONLY
10. APPROVED AMENDMENT TO THE SITE PLAN (LA CUEVA TOWN CENTER) FOR REFERENCE ONLY
11. APPROVED ELEVATIONS, FOR REFERENCE ONLY
12. APPROVED ELEVATIONS, FOR REFERENCE ONLY
13. APPROVED ELEVATIONS, FOR REFERENCE ONLY

AFD PLANS CHECKING OFFICE
 924-3811
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 Signature & Date

RECORD DRAWING
 DATE: 12-6-01
 DRAFTED BY: TIERRA WEST DEV.
 THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THE DOCUMENT AS A RESULT.



NOTES
 LOT 4, LA CUEVA TOWN CENTER

- NOTES**
1. LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE THE FULL CUT-OFF SHOEBOX TYPE AND SHALL BE NO HIGHER THAN 20 FEET. SITE LIGHTING THAT IS WITHIN 150 FEET OF RESIDENTIAL DEVELOPMENT SHALL BE 16 FEET HIGH MAXIMUM. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
 2. SITE LIGHTING SHALL NOT HAVE OFF-SITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 200 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
 3. BUILDING MOUNTED SIGNS SHALL BE LIMITED TO 6% OF THE FACADE AREA ON WHICH THEY ARE MOUNTED. SIGN LETTERS SHALL BE CHANNELIZED OR NEON. BACKLIT PANEL OR BOX SIGNS SHALL NOT BE USED.
 4. THE HEIGHT OF ROOF MOUNTED EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SHALL NOT BE VISIBLE FROM ADJACENT PROPERTIES AND RIGHT OF WAYS.
 5. PEDESTRIAN CROSSINGS OF VEHICLE CIRCULATION AREAS SHALL BE MINIMUM 6' WIDE, OF AN ALTERNATIVE TEXTURED MATERIAL AND SLIGHTLY RAISED.
 6. THE SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION / CONFIGURATIONS MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
 7. PROVISIONS OF ADEQUATE PEDESTRIAN CIRCULATION WITH HANDICAPPED FEATURES WITHIN THE SITE AND TO THE ADJACENT STREETS. UNIDIRECTIONAL RAMPS ARE NEEDED AT PEDESTRIAN SIDEWALKS AND ENTRANCES.
 8. PROPOSED STREETS CIRCULATION DRIVES AND INTERNA; PARKING AREAS MUST BE LAYED AS PER DPM STANDARDS.
 9. LOCATIONS OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE.
 10. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 11. LOW HEDGE WALLS, 2'-3' HIGH, SHALL BE REQUIRED AROUND PARKING LOTS TO SCREEN VEHICLES IN PARKING LOTS ADJACENT TO PUBLIC ROADS.
 12. A BLANKET CROSS LOT ACCESS, PARKING AND DRAINAGE EASEMENT SHALL BE GRANTED WITH THE PLAT.

EPC 01128-00000-00563, 01128-00000-00564

01450-00000-00949
 PROJECT
 CASE NUMBER Z-10001163

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on 11/22/01 and that the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN

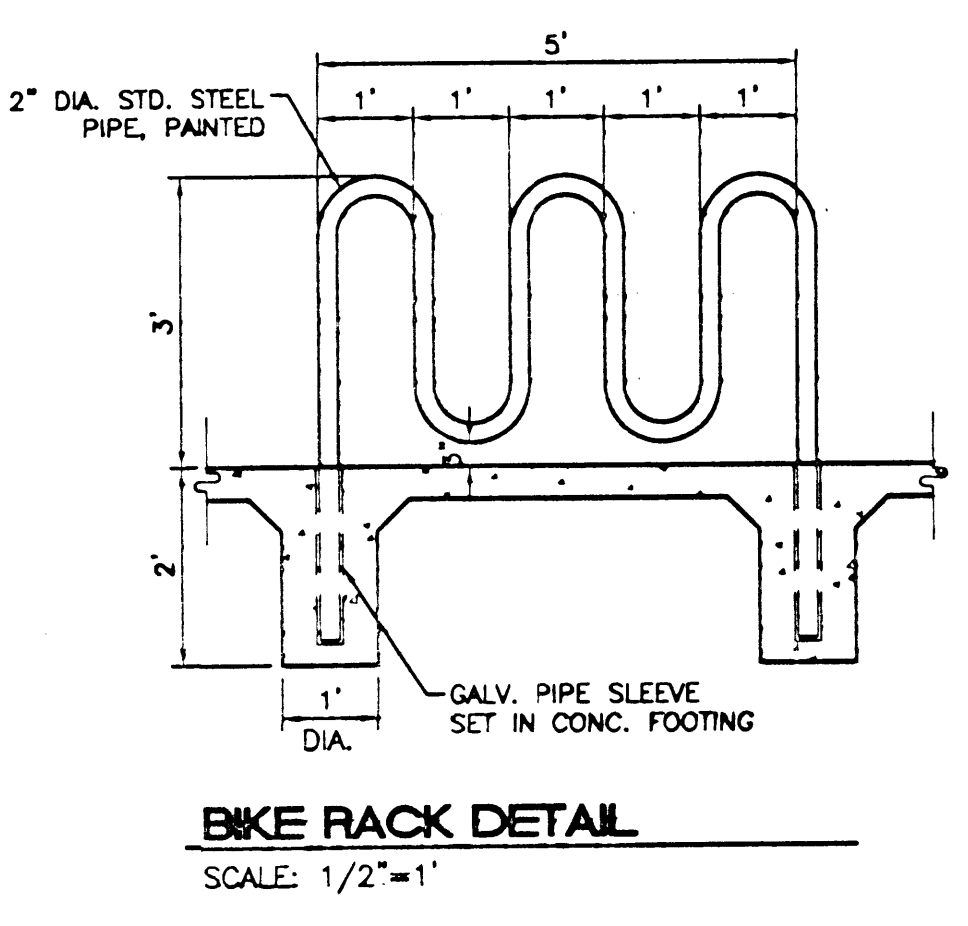
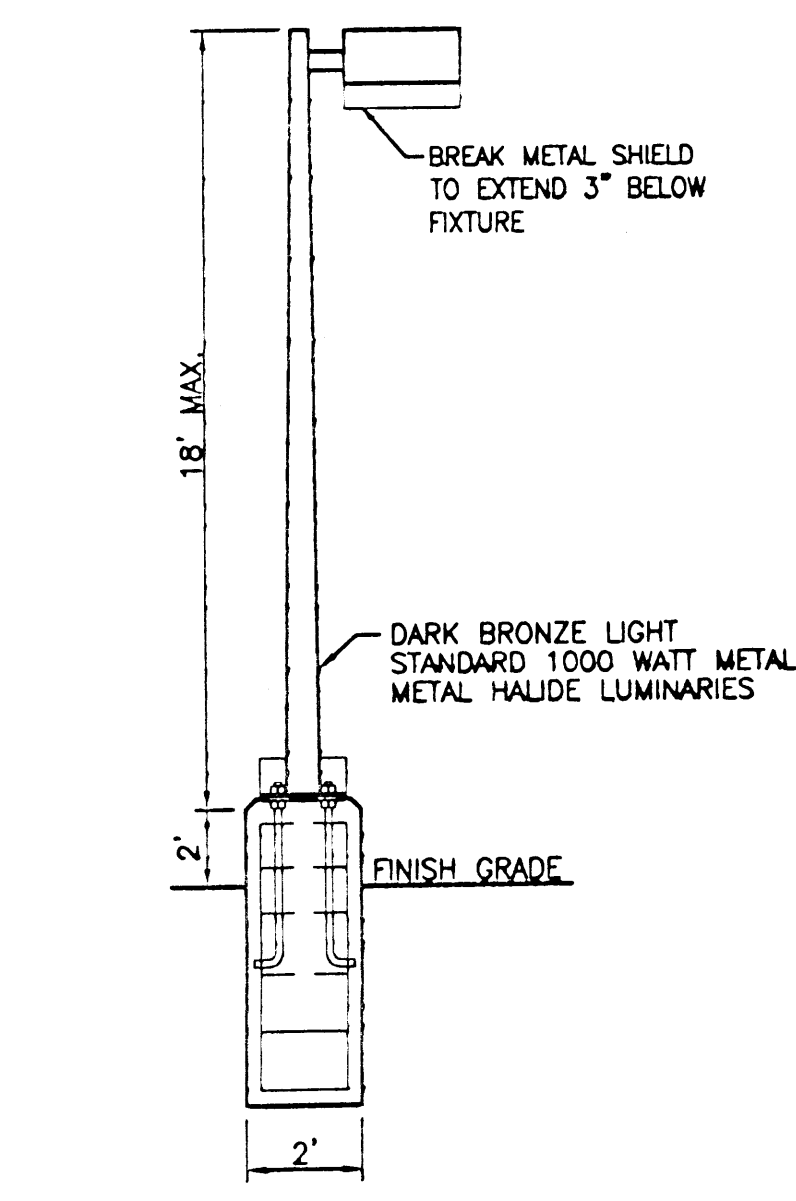
Traffic Engineer, Transportation Division	8-08-01
Design and Development of Parks & Rec	8-08-01
Public Works, Water Utilities Division	8-1-01
City Engineer, Engineering Division / AMAFCA	8/1/01

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernadette
 City Planning Division
 PLNZ (10708) 4/98

Michael Mullen, Solid Waste Dept. 7-18-01
 Approved on condition, while not all SWL aspects

ENGINEER'S SEAL	WHATA BURGER AT LA CUEVA TOWN CENTER	DRAWN BY BDG
	SITE PLAN FOR SUBDIVISION	DATE 07/16/01
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2112SPB.DWG
	SHEET # 1	JUB # 21012



LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SIDEWALK
---	PROPOSED CROSSWALK
---	PROPOSED TRANSFORMER
---	PROPOSED PARKING LOT LIGHT
---	PROPOSED BIKE RACK
---	PATIO AREA
---	CONCRETE PAVING

LIGHT POLE DETAIL
 NTS