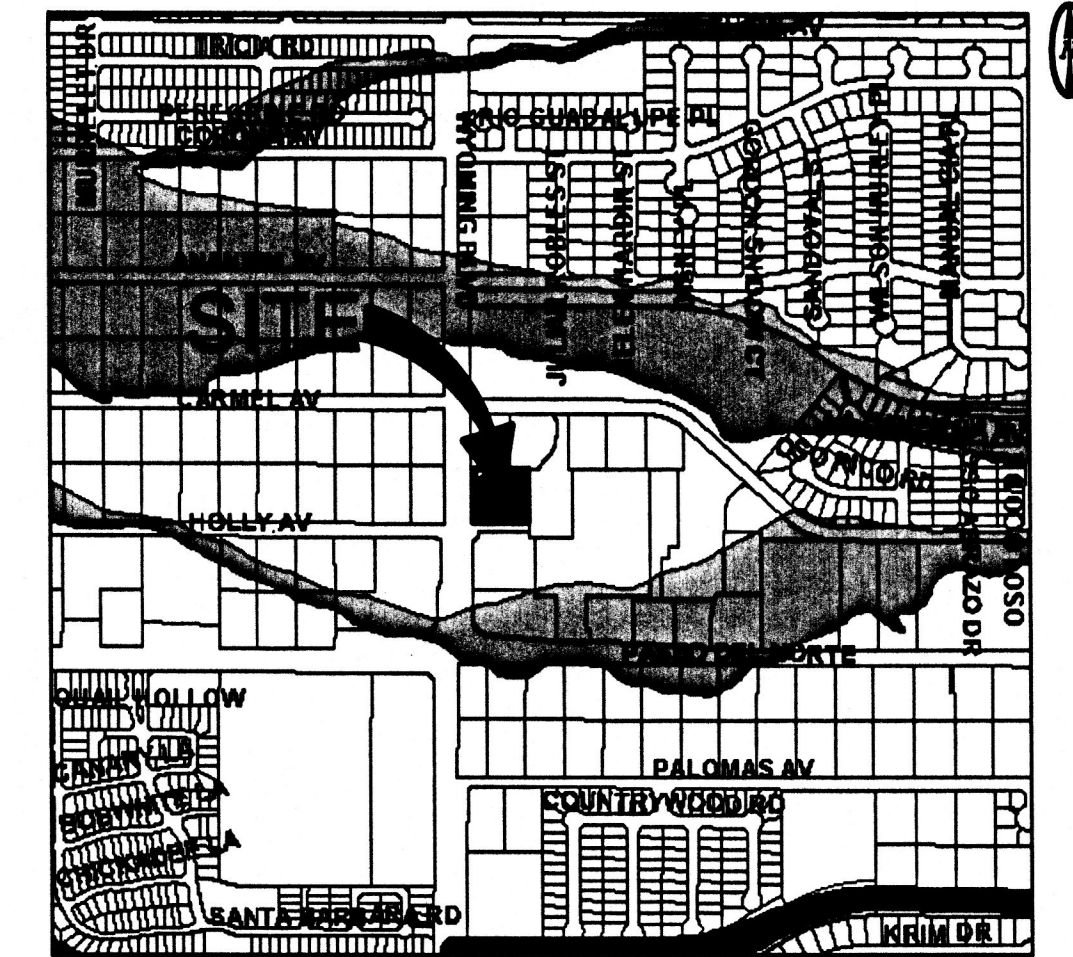
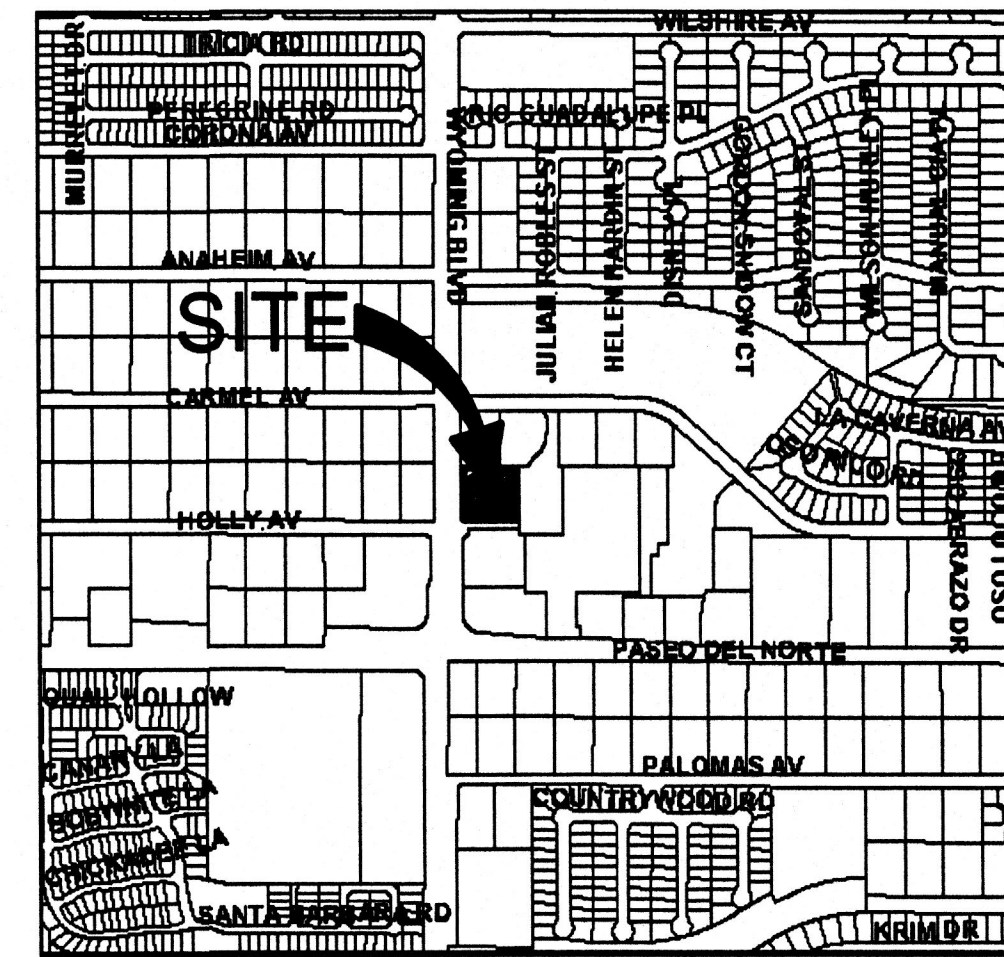
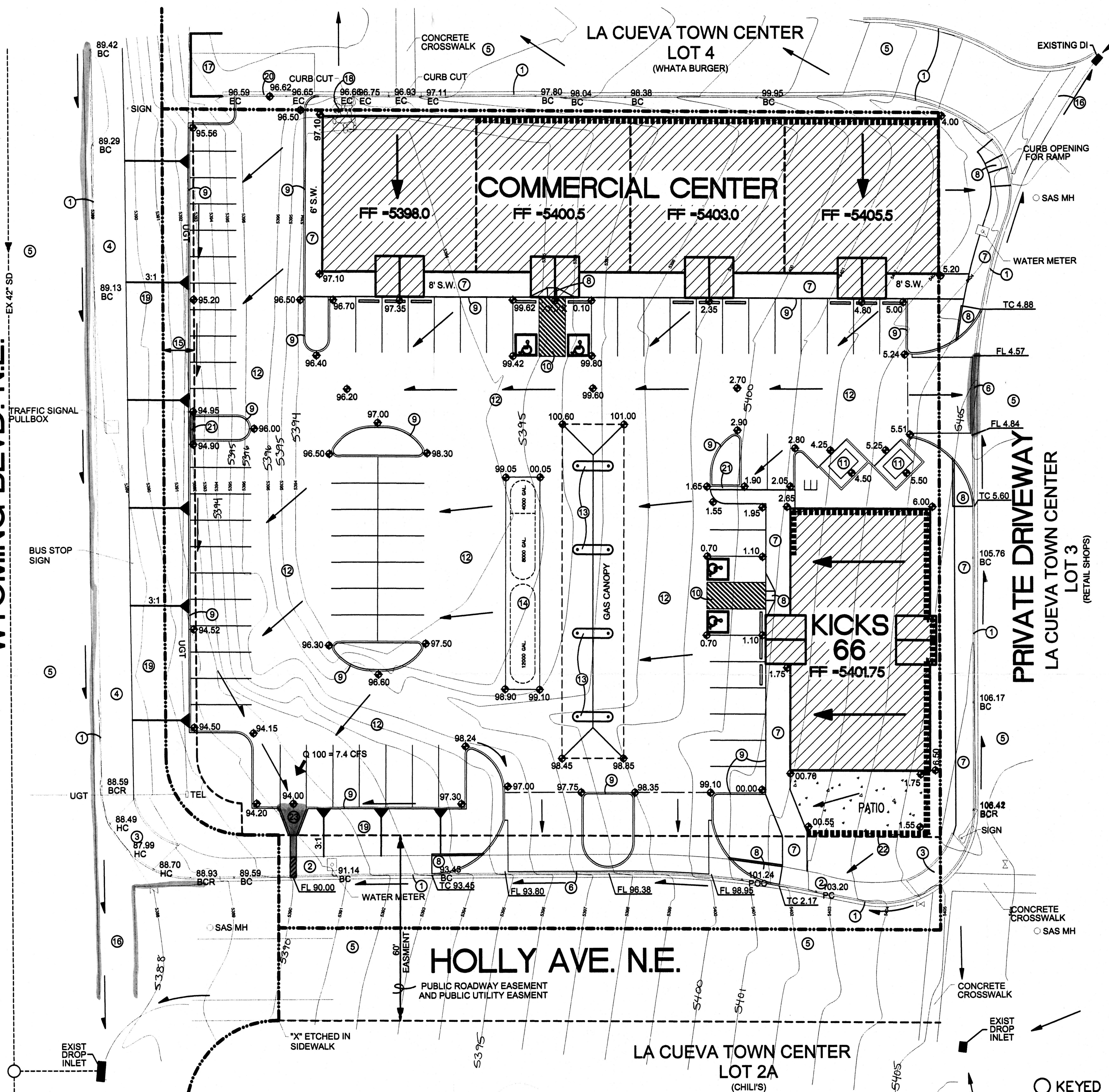


WYOMING BLVD. NE.



LOCATION MAP C-19 NOT TO SCALE

FIRM PANEL NOT TO SCALE

CONCEPTUAL GRADING AND DRAINAGE PLAN

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of a commercial center and Kicks 66 Store, located on Wyoming Boulevard NE at Holly Avenue NE, at the La Cueva Town Center. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements. This plan is presented to establish conceptual grading and drainage criteria to support site plan review by the Environmental Planning Commission.

EXISTING CONDITIONS

The project site is approximately 1.56 acres in size and is located on Wyoming Blvd NE, at Holly Ave NE. The project site is particularly described as Lot 31-A, Block 19, Tract 2, Unit 3, North Albuquerque Acres. The site is bounded by undeveloped. Site topography slopes from east to west at approximately 5-percent. A temporary erosion control berm has been constructed along the south and west site boundaries to create a temporary sedimentation pond. An overflow spillway exists on the north side of the pond, allowing the pond to overflow into the Whataburger property. Developed off-site flows are conveyed by private road improvements to private storm drains. No off-site flows enter the site.

As shown by the attached FIRM Panel, mapped floodplains are located north and south of the site that have been re-mapped as a result of development. This site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of a commercial center and Kick's 66 Store, with associated site improvements. The Plan shows the elevations and detail necessary to demonstrate the grading and drainage criteria for development of the property. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

Drainage management criteria for the site was established by the Drainage Report for La Cueva Town Center, prepared by Tierra West. The Masterplan allows free discharge from the site to the perimeter streets and the 42-inch public storm drain located in Wyoming Blvd.

The plan proposes to free discharge on-site flows per the Masterplan. The site will drain overland to the southwest corner of the parking lot, where all flows will drain down a concrete channel and sidewalk culvert to Holly Avenue. Holly Avenue drains to an existing drop inlet located at the southeast curb return at Wyoming.

As stated above, this plan is presented to establish conceptual grading and drainage criteria to support site plan review by the Environmental Planning Commission, and does not provide the detail necessary for construction. Upon site plan approval, a comprehensive grading and drainage plan will be prepared for building permit purposes that provides the required details and supportive calculations.

EROSION CONTROL

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution control aspects of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

PROJECT HYDROLOGY		BLAIR PLAZA						
ZONE:	3							
P _{hour} :	2.60"							
P _{15 day} :	4.90"							
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.56	0.00	0.00	1.45	0.11	1.37	5.6	0.176
DEVELOPED (PROPOSED):								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	1.56	0.00	0.07	0.16	1.33	2.19	7.4	0.285

LEGEND

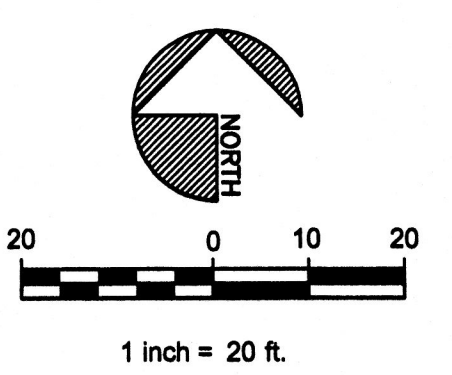
- 6001 — EXISTING CONTOUR ELEVATION
- 02.5 x — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- 02.5 — PROPOSED SPOT ELEVATION
- — DIRECTION OF FLOW
- — DRAINAGE SWALE
- — SITE LIGHT POLE
- — EXISTING FIRE HYDRANT
- — NEW FIRE HYDRANT
- — NEW RETAINING WALL
- — PROPERTY LINE

KEYED NOTES

1. EXISTING CONCRETE CURB & GUTTER
2. EXISTING 6" SIDEWALK
3. EXISTING ACCESSIBLE RAMP
4. EXISTING ASPHALT REC TRAIL
5. EXISTING PAVEMENT
6. REMOVE & DISPOSE CONCRETE CURB
7. NEW SIDEWALK
8. NEW ACCESSIBLE RAMP
9. NEW 6" CONCRETE CURB
10. NEW ACCESSIBLE PARKING AREA
11. NEW REFUSE ENCLOSURE
12. NEW ASPHALT PAVING
13. NEW FUELING ISLANDS
14. UNDERGROUND FUEL TANKS
15. 10" PUE
16. EXISTING VALLEY GUTTER
17. EXISTING REFUSE ENCLOSURE
18. REMOVE EXISTING RIP RAP SPILLWAY
19. LANDSCAPE BUFFER
20. R & D EXISTING CONCRETE CURB MATCH EXISTING
21. PROVIDE 12" CHANNEL THRU MEDIAN
22. NEW RETAINING WALL
23. BUILD CONCRETE RUNDOWN AND 24" SIDEWALK CULVERT

SURVEY NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "16-D19", HAVING AN ELEVATION OF 5391.40.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-868-6088 Fax: 505-868-6188

BLAIR PLAZA
CONCEPTUAL GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NEW MEXICO
BLI PROJECT 03539

REVISION DATE

OCT 21 2003

HYDROLOGIST SECTION

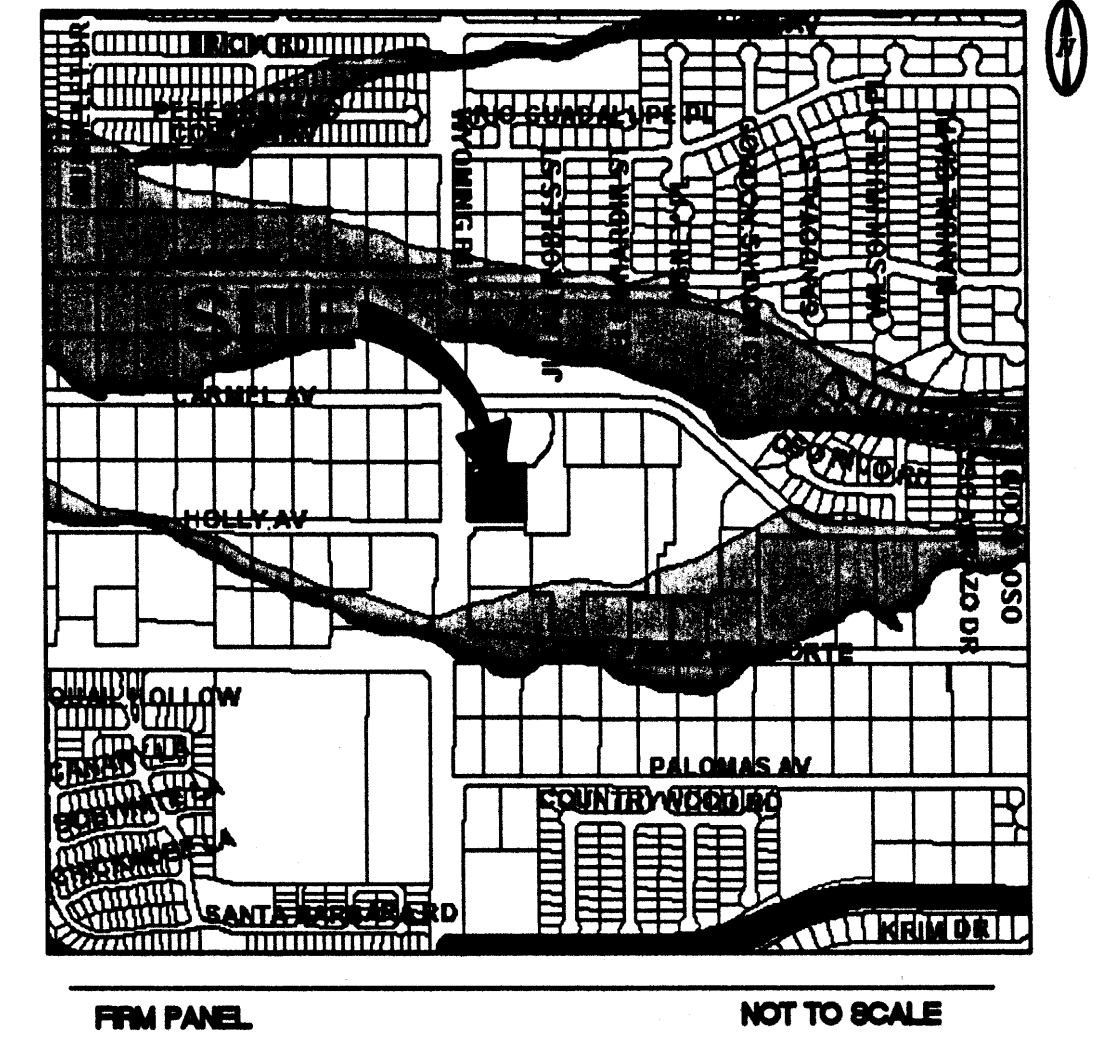
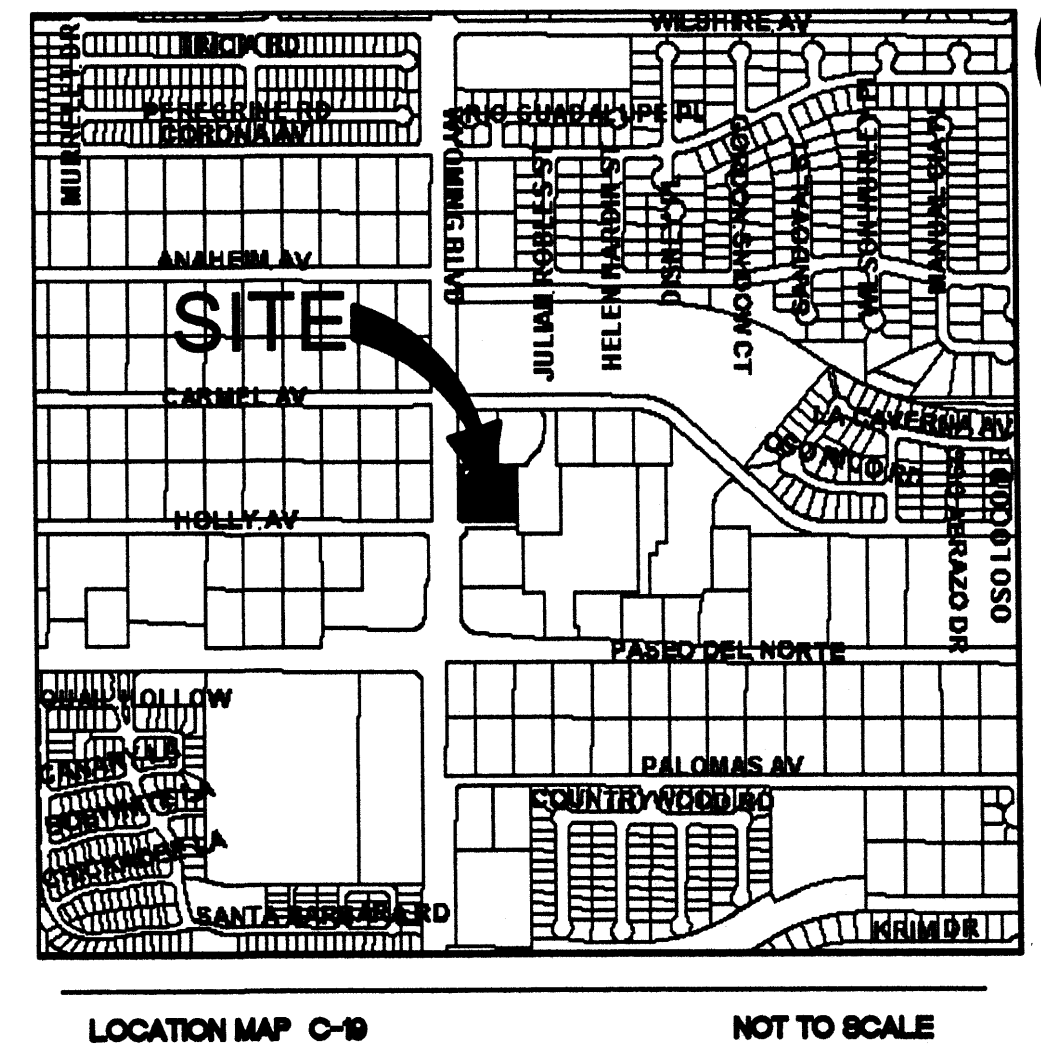
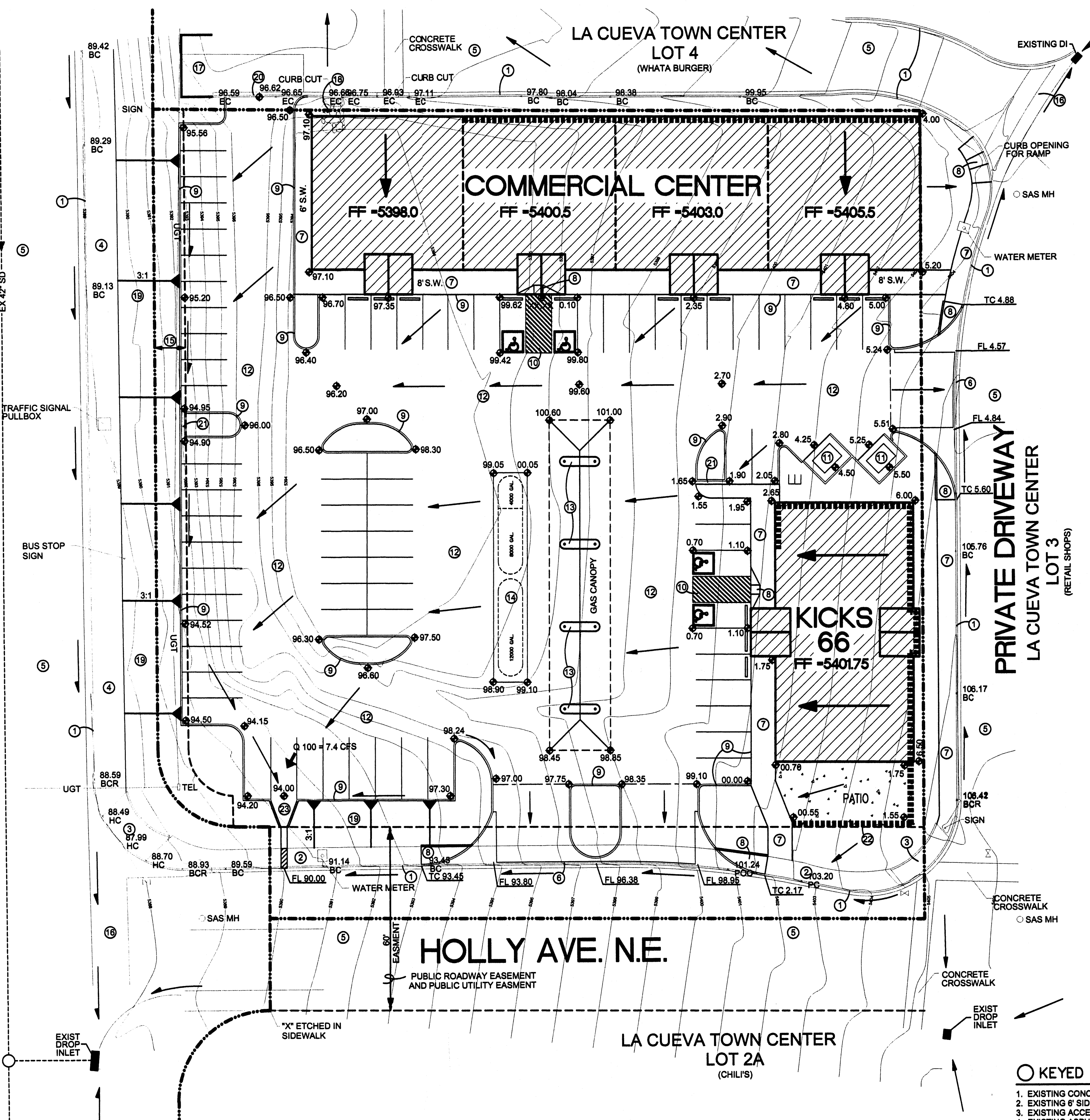
DEANE A. LORENZ
REGISTERED PROFESSIONAL ENGINEER

rick bennett ARCHITECTS
1100 Park Avenue SW Albuquerque, New Mexico 87102
(505)242-1838 Fax: (505)242-8830 rbennett@rickbennett.com

DATE
10-17-2003

SHEET NUMBER
D-1

WYOMING BLVD. N.E.



DRAINAGE PLAN NOTES

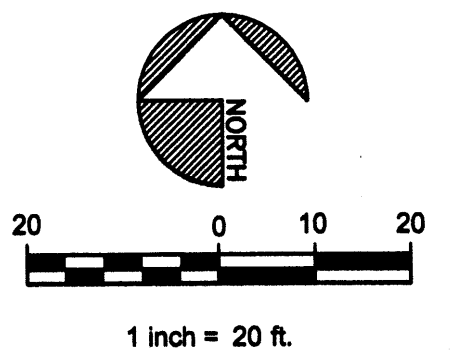
1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.

LEGEND

- 0.00' — EXISTING CONTOUR ELEVATION
- 0.5' x — EXISTING SPOT ELEVATION
- 0.1' — PROPOSED CONTOUR ELEVATION
- 0.5' ♦ — PROPOSED SPOT ELEVATION
- — DIRECTION OF FLOW
- — DRAINAGE SWALE
- ○ — SITE LIGHT POLE
- ○ — EXISTING FIRE HYDRANT
- ♦ — NEW FIRE HYDRANT
- — — — — NEW RETAINING WALL
- — — — — PROPERTY LINE

KEYED NOTES

1. EXISTING CONCRETE CURB & GUTTER
2. EXISTING 6" SIDEWALK
3. EXISTING ACCESSIBLE RAMP
4. EXISTING ASPHALT REC TRAIL
5. EXISTING PAVEMENT
6. REMOVE & DISPOSED CONCRETE CURB CONSTRUCT CONCRETE VALLEY GUTTER
7. NEW SIDEWALK
8. NEW ACCESSIBLE RAMP
9. NEW 6" CONCRETE CURB
10. NEW ACCESSIBLE PARKING AREA
11. NEW REFUSE ENCLOSURE
12. NEW ASPHALT PAVING
13. NEW FUELING ISLANDS
14. UNDERGROUND FUEL TANKS
15. 10' PUE
16. EXISTING VALLEY GUTTER
17. EXISTING REFUSE ENCLOSURE
18. REMOVE EXISTING RIP RAP SPILLWAY
19. LANDSCAPE BUFFER
20. R & D EXISTING CONCRETE CURB MATCH EXISTING
21. PROVIDE 12" CHANNEL THRU MEDIAN
22. NEW RETAINING WALL
23. BUILD CONCRETE RUNDOWN AND 24" SIDEWALK CULVERT



CONCEPTUAL GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Conceptual Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of a commercial center and Kicks 66 Store, located on Wyoming Boulevard NE at Holly Avenue NE, at the La Cueva Town Center. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements. This plan is presented to establish conceptual grading and drainage criteria to support site plan review by the Environmental Planning Commission.

EXISTING CONDITIONS

The project site is approximately 1.56-acre in size and is located on Wyoming Blvd NE, at Holly Ave NE. The project site is particularly described as Lot 31-A, Block 19, Tract 2, Unit 3, North Albuquerque Acres. The site is bounded by undeveloped. Site topography slopes from east to west at approximately 5-percent. A temporary erosion control berm has been constructed along the south and west site boundaries to create a temporary sedimentation pond. An overflow spillway exists on the north side of the pond, allowing the pond to overflow in to the Whataburger property. Developed off-site flows are conveyed by private road improvements to private storm drains. No off-site flows enter the site.

As shown by the attached FIRM Panel, mapped floodplains are located north and south of the site that have been re-mapped as a result of development. This site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of a commercial center and Kicks 66 Store, with associated site improvements. The Plan shows the elevations and detail necessary to demonstrate the grading and drainage criteria for development of the property. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions.

Drainage management criteria for the site was established by the Drainage Report for La Cueva Town Center, prepared by Tierra West. The Masterplan allows free discharge from the site to the perimeter streets and the 42-inch public storm drain located in Wyoming Blvd.

The plan proposes to free discharge on-site flows per the Masterplan. The site will drain overland to the southwest corner of the parking lot, where all flows will drain down a concrete channel and sidewalk culvert to Holly Avenue. Holly Avenue drains to an existing drop inlet located at the southeast curb return at Wyoming.

As stated above, this plan is presented to establish conceptual grading and drainage criteria to support site plan review by the Environmental Planning Commission, and does not provide the detail necessary for construction. Upon site plan approval, a comprehensive grading and drainage plan will be prepared for building permit purposes that provides the required details and supportive calculations.

EROSION CONTROL

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution-control aspects of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1999.

PROJECT HYDROLOGY							
BLAIR PLAZA							
ZONE:	3						
P _{24HR} :	2.60"						
P _{15MIN} :	4.90"						
UNDEVELOPED:							
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)
SITE	1.56	0.00	0.00	1.45	0.11	1.37	5.6
DEVELOPED (PROPOSED):							
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)
SITE	1.56	0.00	0.07	0.18	1.33	2.19	7.4

PROJECT DATA

PROPERTY ADDRESS
WYOMING BLVD NE

LEGAL DESCRIPTION
NORTH ALBUQUERQUE ACRES
TRACT 2, UNIT 3, BLOCK 19, LOT 31A
WITHIN THE ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST NMPM
CITY OF ALBUQUERQUE
BERNALLILLO COUNTY, NEW MEXICO

MAPPING
FIELD MEASUREMENTS BY
BRASHER & LORENZ, INC.
SEPTEMBER, 2003

SURVEY NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "16-D19", HAVING AN ELEVATION OF 5391.40.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

BLAIR PLAZA
CONCEPTUAL GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NEW MEXICO
BLI PROJECT 03539

REVISION DATE

10-20-03

DATE
10-17-2003

SHEET NUMBER
D-1