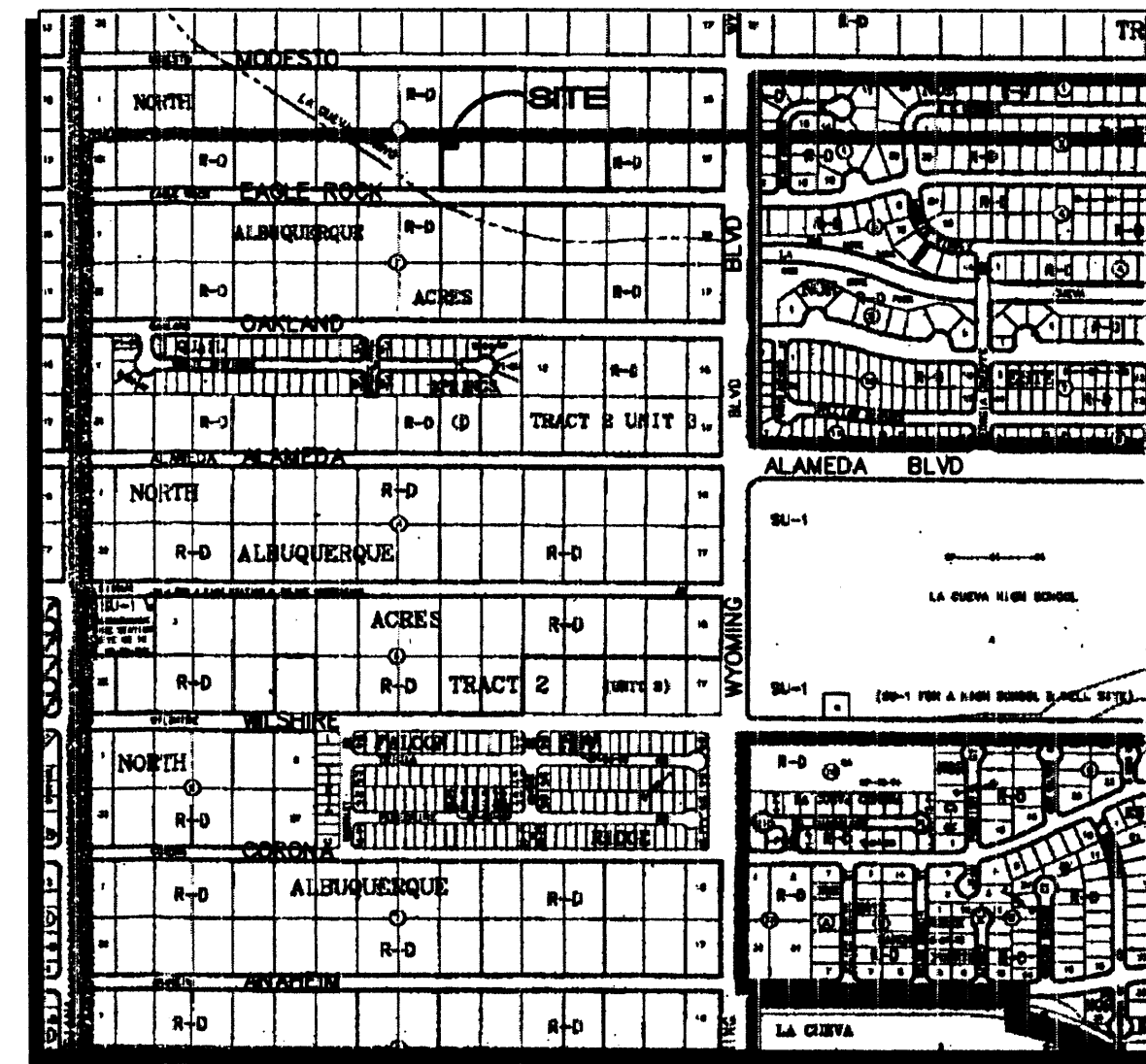
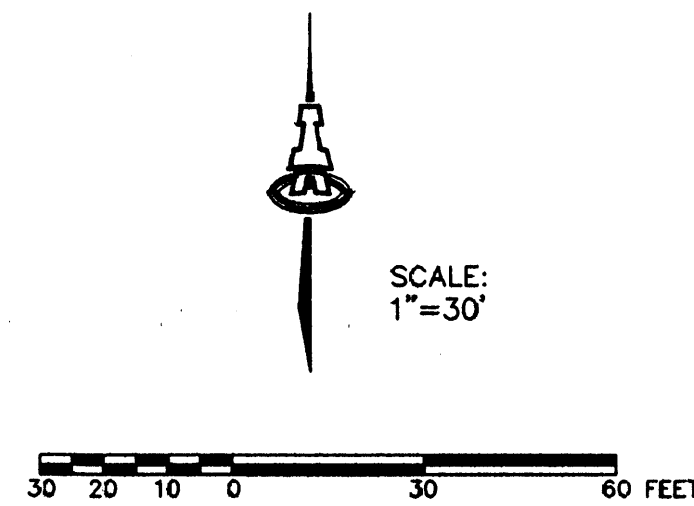
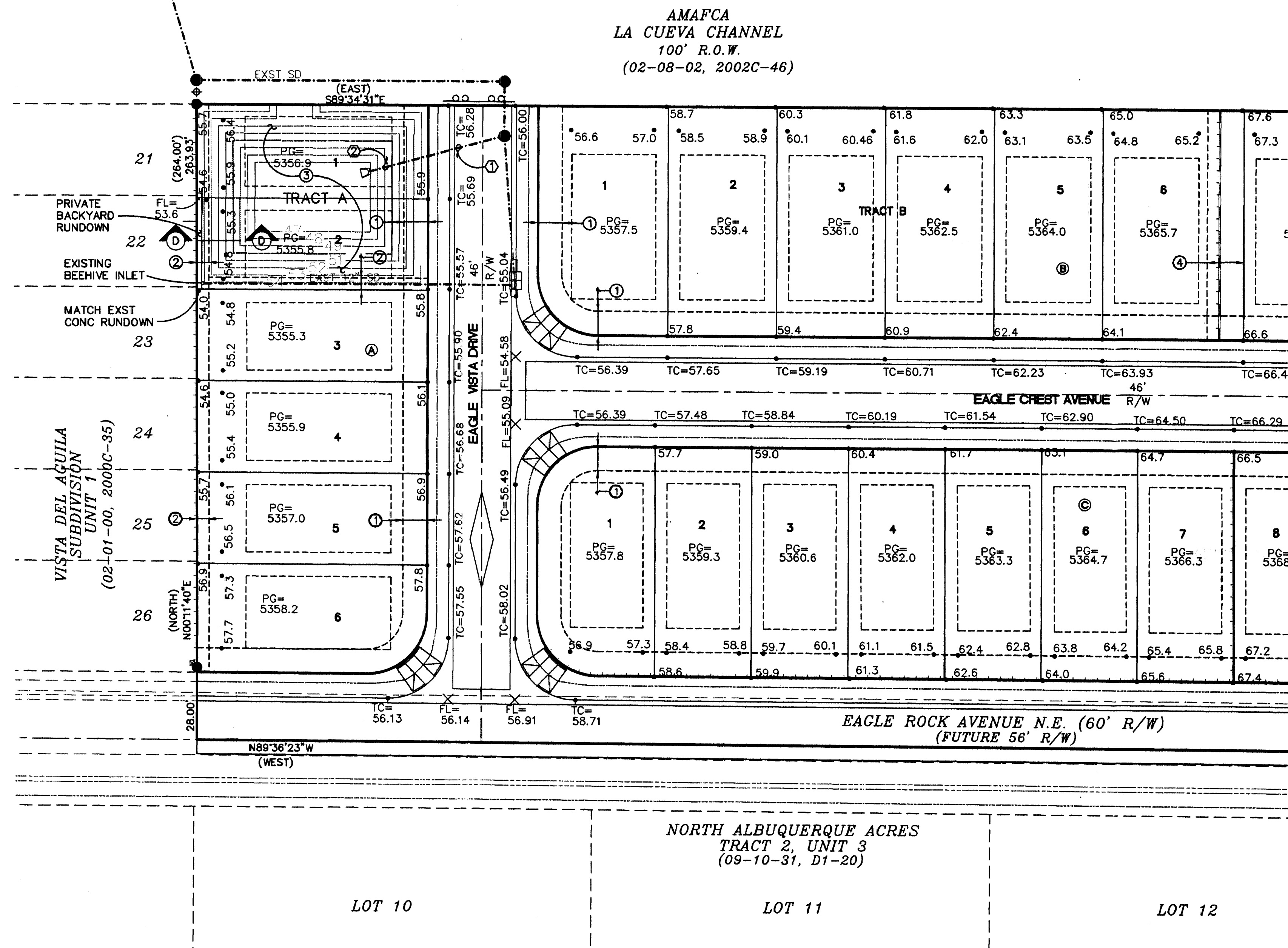




VICINITY MAP

GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

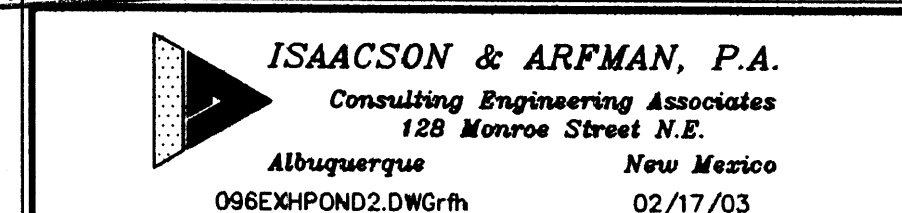
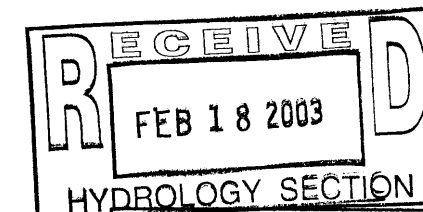
EASEMENT NOTES

- EXST 10' PUBLIC UTILITY EASEMENT (04-04-02, 2002C-103)
- EXST 5' PRIVATE DRAINAGE EASEMENT (04-04-02, 2002C-103)
- EXST PUBLIC BLANKET DRAINAGE EASEMENT (04-04-02, 2002C-103), VACATED BY THIS PLAT.
- EXST 15' PUBLIC WATERLINE EASEMENT (04-04-02, 2002C-103)

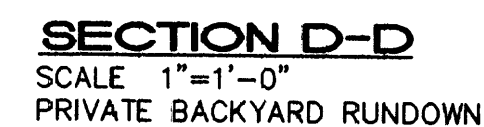
KEYED CONSTRUCTION NOTES

- BACKFILL SD WITH LEANFILL. MAINTAIN A CLEAN MANHOLE FLOWLINE.
- REMOVE EXISTING SD TO R/W LINE.

APPROVAL	NAME	DATE
INSPECTOR		



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: VISTA DEL AGUILA--UNIT 2 LOTS 1 & 2, BLOCK A DRAINAGE & GRADING PLAN	
Design Review Committee	City Engineer Approval
City Project No. 650681	Zone Map No. C-19
Sheet 1 Of 2	



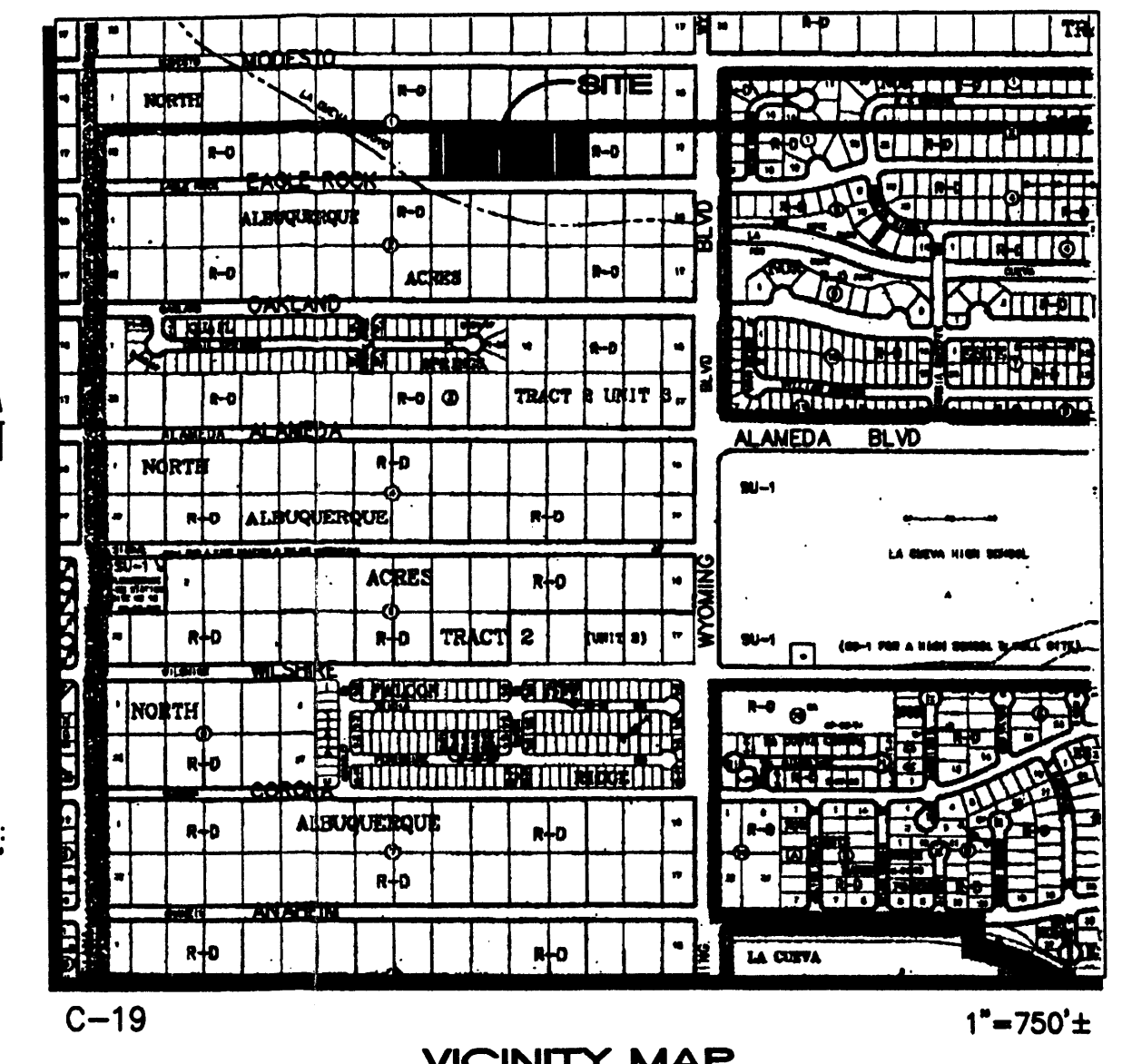
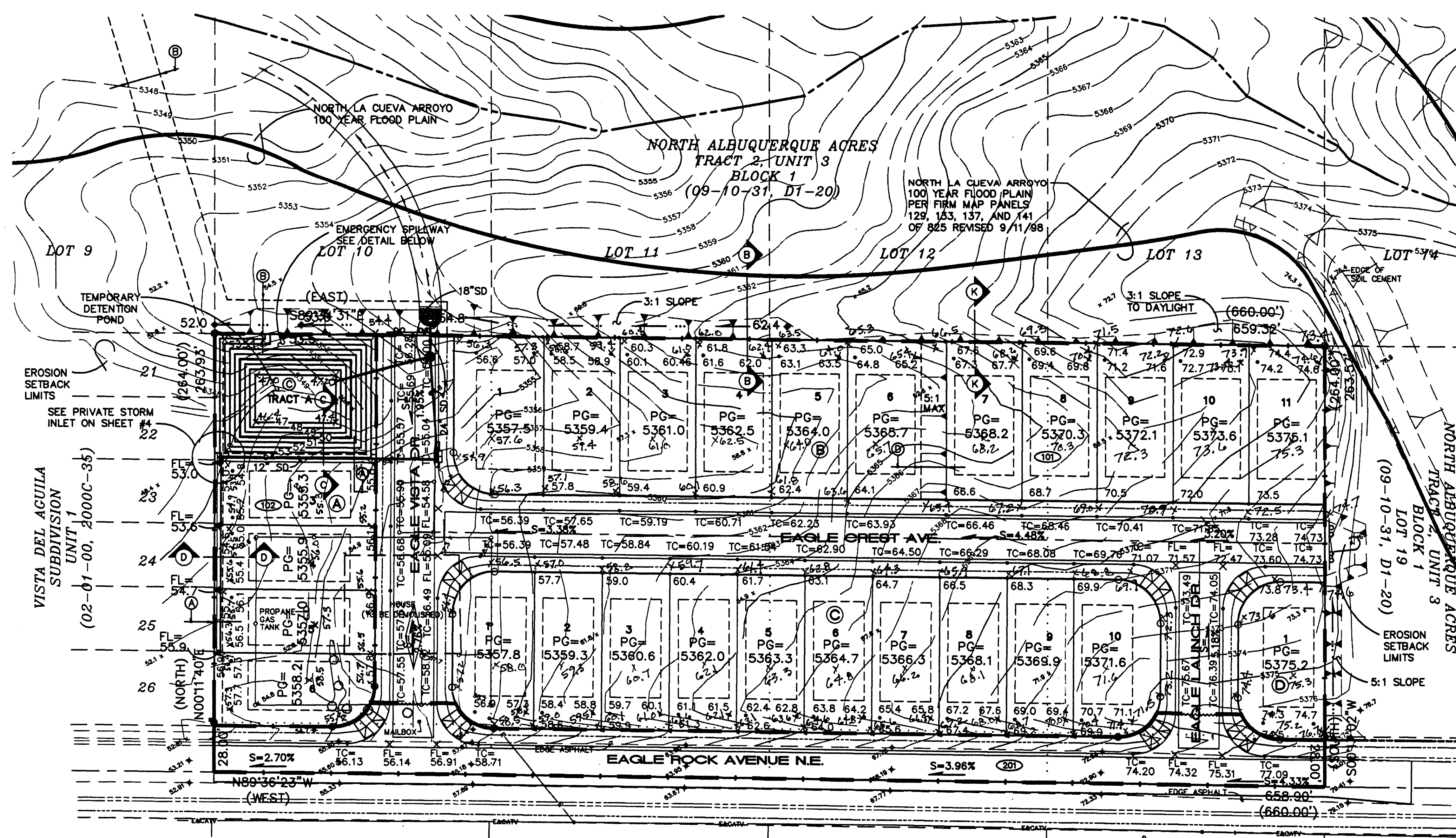
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

C-19

VICINITY MAP

1" = 750' ±

[illegible]



- LEGEND**
- 5200 — EXISTING CONTOUR
 - 50 — PROPOSED CONTOUR
 - FLOW ARROW
 - PG=5375.0 PAD GRADE ELEVATION
 - TC=81.95 TOP OF CURB ELEVATION
 - FL=81.45 FLOW LINE ELEVATION
 - WATER BAR
 - PROPOSED RETAINING WALL
 - TOP OF WALL ELEVATION
 - BOTTOM OF WALL ELEVATION
 - EROSION CONTROL BERM
 - SCOUR WALL
 - BASIN BOUNDARY
 - BASIN BOUNDARY TAG

DRAINAGE CERTIFICATION

I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 8/13/01. The record information edited onto the original design document has been obtained by Tim Aldrich, NMPS #7719, of the firm Aldrich Land Surveying, Inc. I further certify that I have personally visited the project site on 6/19/03 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for financial guarantee release and final acceptance.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donart
Genevieve L. Donart
6/19/03
Date
NMPE #15088

NOTE:
NO CONSTRUCTION MAY BE PERFORMED ON AMAFCA PROPERTY BETWEEN JUNE 1st AND OCTOBER 15th, LOTS 9 THROUGH 14 TO THE NORTH, AND LOT 19 TO THE EAST ARE AMAFCA PROPERTY.

- NOTES:**
- AMAFCA Field Engineer shall be notified 48-hours prior to any work within the AMAFCA R/W. Tel 884-2215 Jerry Lovato.
 - All subgrade, backfill and embankment shall be compacted to 95% (modified proctor) within the AMAFCA R/W. Testing reports shall be provided to AMAFCA Field Engineer.
 - AMAFCA Field Engineer will be notified 48-hours prior to final inspection of any facilities within the AMAFCA R/W.
- APPROVED FOR CONSTRUCTION WITHIN AMAFCA RIGHT-OF-WAY:
Lynn M. Mason 8-13-01
(for A.M.A.F.C.A.) DATE

EASEMENT NOTES

- PROPOSED 5' PRIVATE DRAINAGE EASEMENT TO BE GRANTED BY FINAL PLAT.
- 20' PUBLIC DRAINAGE EASEMENT (02-01-01, A14-9437)
- PUBLIC DRAINAGE EASEMENT TO BE GRANTED BY FINAL PLAT.
- 15' PUBLIC WATERLINE EASEMENT TO BE GRANTED BY FINAL PLAT.

GENERAL NOTES:

- FUTURE REALIGNMENT OR ENLARGEMENT OF OFFSITE STORM DRAIN FOR THE PURPOSES OF REMOVING THE DETENTION POND AND DEVELOPING LOTS 1 & 2 OF BLOCK A, (CURRENTLY TRACT A) WILL BE THE RESPONSIBILITY OF THE DEVELOPER. ALL CHANGES MUST BE APPROVED BY AMAFCA.
- THE SIDES OF THE STORM WATER DETENTION POND SHALL BE OVER EXCAVATED AT AN INCLINATION OF 1-1/2:1 (HORIZONTAL:VERTICAL). CONTROLLED COMPACTED FILL SHALL THEN BE PLACED TO PRODUCE THE 3:1 FINISH SLOPES. THIS WILL RESULT IN 10.5' OF STRUCTURAL FILL AT THE BOTTOM OF THE POOL AND APPROXIMATELY 5" OF FILL AT THE 100-YEAR STORM LEVEL. THE BOTTOM OF THE POND SHALL BE OVER EXCAVATED TO ALLOW PLACEMENT OF TWO FEET OF STRUCTURAL FILL.
- STRUCTURAL FILL SHALL BE PLACED IN VERTICAL 8" LIFTS AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. FILL SHALL BE COMPACTED USING SHEEPSFOOT-TYPE COMPACTOR. STRUCTURAL FILL SHALL CONTAIN BETWEEN 20% AND 45% MATERIAL PASSING A #200 SIEVE. FOR FURTHER INFORMATION, SEE THE LETTER PROVIDED BY THE GEOTECHNICAL ENGINEER DATED 9/21/00 AT THE ENGINEERS OFFICE.

EMERGENCY SPILLWAY DETAIL
SCALE 1"=10'-0"

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
096GRD.DWG-rh VIEW 1 07/27/01

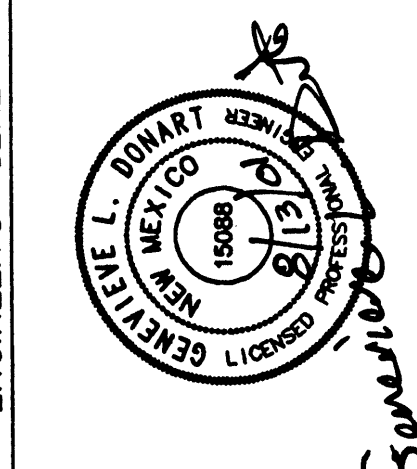
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:
VISTA DEL AGUILA-UNIT 2 HYDROLOGY SECTION
GRADING & DRAINAGE PLAN

Design Review Committee
APPROVED
CITY ENGINEER

City Project No. 650681 Zone Map No. C-19

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGNED BY		DRAWN BY		CHECKED BY	
CONTRACTOR	DATE	CONCRETE POST LOCATED IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF WYOMING BLVD. AND MODESTO AVE. (NGVD 1929)	DATE	FIELD NOTES	DATE	SEAL	DATE	NO.	DATE	GLD	DATE	ANW	DATE	FCA	DATE
				1	11/99						2/00		2/00		2/00



RECEIVED
JUN 20 2003
HYDROLOGY SECTION