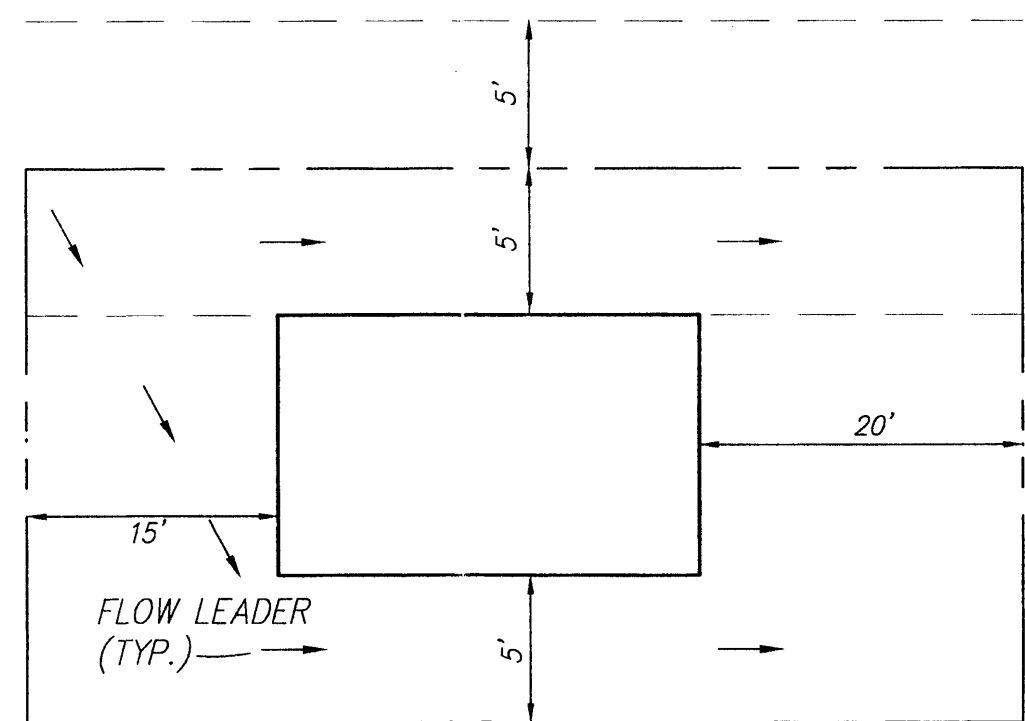




TYPICAL LOT LAYOUT PLAN
N.T.S.

Eagle Springs Subdivision Unit 2

9/26/03

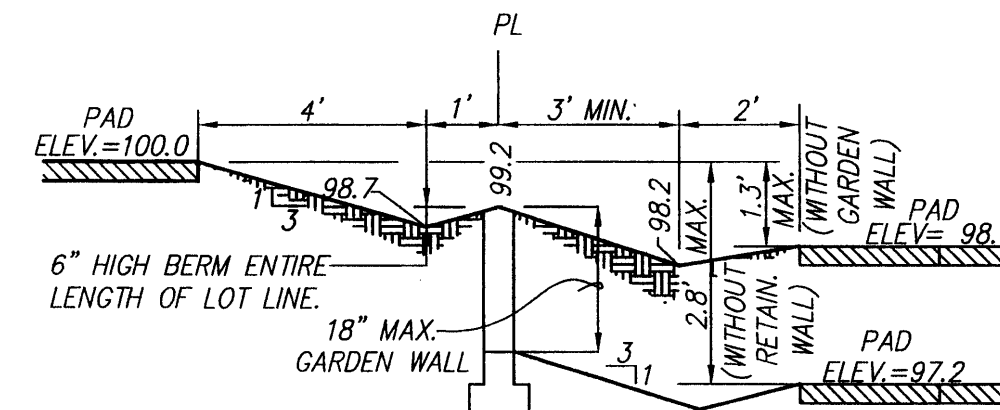
DRAINAGE CERTIFICATION

I, Diane Hoelzer, NMPE 11987, of the firm Mark Goodwin & Associates, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 1/11/03. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Release of Financial Guaranty.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Diane Hoelzer
Diane Hoelzer NMPE 11987

Date 9-26-03

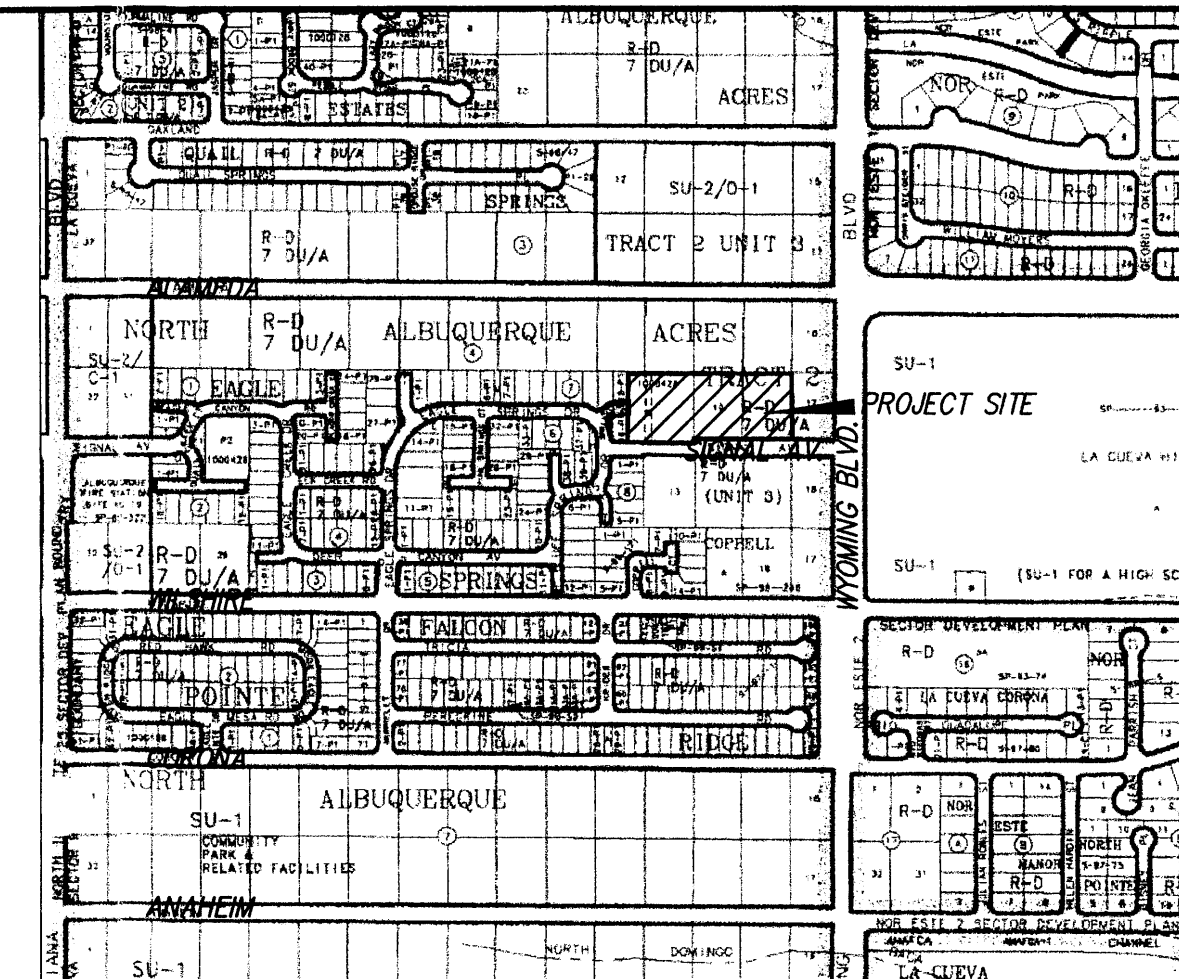


NOTES:

1. A BLOCK WALL WILL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER BOUNDARY.
2. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 1.3' AND LESS THAN 2.8' A GARDEN WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
3. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 2.8' A RETAINING WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.

TYPICAL SIDEYARD GARDEN BLOCKWALL DETAIL

N.T.S. ANY DIFFERENCE IN PAD ELEVATIONS BETWEEN ADJACENT LOTS GREATER THAN 2.8' WILL REQUIRE RETAINING WALLS



LOCATION MAP

ZONE ATLAS C-19-Z

SCALE: NONE

LEGAL DESCRIPTION:

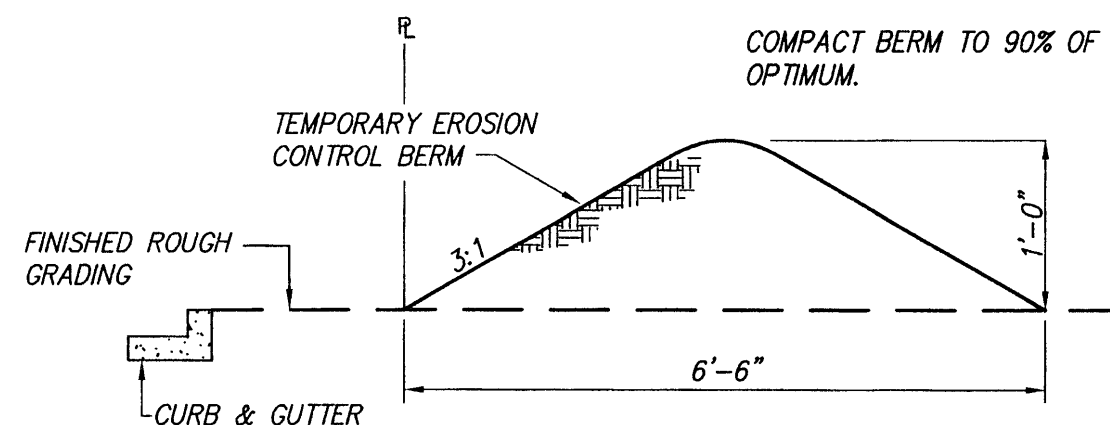
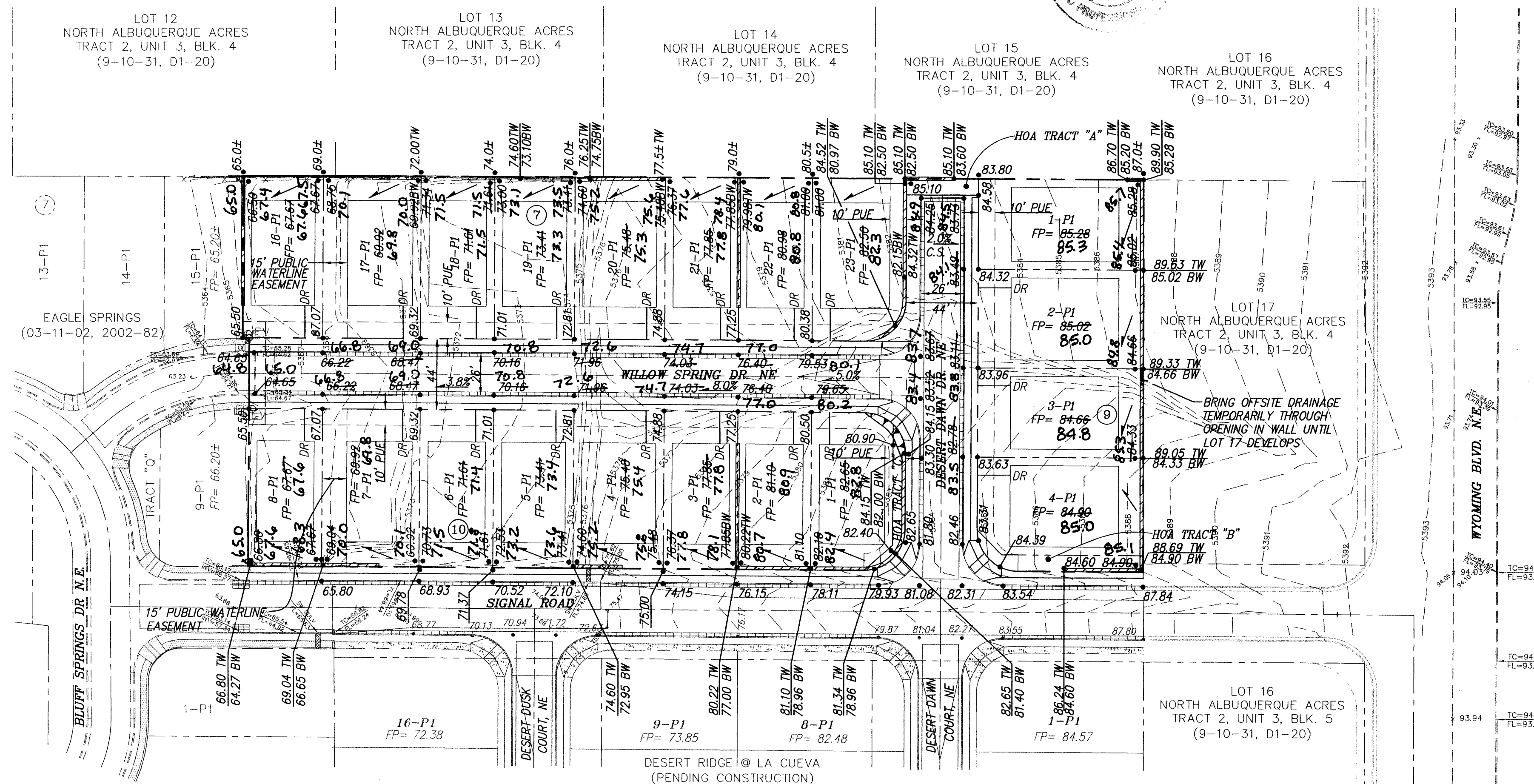
LOTS 18 AND 19, BLOCK 4, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, AND TRACT "S" EAGLE SPRINGS SUBDIVISION, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

NOTES

1. ALL CURB & GUTTER IN THE SUBDIVISION IS STANDARD CURB & GUTTER.

LEGEND

- 5615 — EXISTING CONTOUR (MAJOR)
- 5616 — EXISTING CONTOUR (MINOR)
- 5616 — EXISTING SPOT ELEVATION
- 5616 — EXISTING CONCRETE CURB
- 5616 — EXISTING CONCRETE SIDEWALK
- 5616 — EXISTING WALL OR HEAD WALL
- 5616 — FUTURE CURB & GUTTER
- 5616 — EXISTING CURB & GUTTER
- 5616 — NEW MOUNTABLE CURB & GUTTER
- 5616 — NEW STANDARD CURB & GUTTER
- 5616 — NEW SIDEWALK
- 5616 — NEW RIGHT-OF-WAY
- 5616 — NEW CENTERLINE
- 5616 — NEW LOT LINES
- 5616 — NEW EASEMENTS
- 5616 — PROPOSED SWALE
- 5616 — PROPOSED RETAINING WALL
- 74.00 BW BOTTOM OF RETAINING WALL
- 70.00 TW TOP OF RETAINING WALL
- 83.44 PROPOSED SPOT ELEVATION
- FP= 85.60 PROPOSED FINISHED PAD ELEVATION
- DR — PROPOSED DRIVEWAY LOCATION



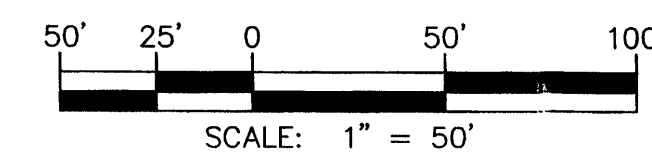
EROSION CONTROL BERM DETAIL

N.T.S.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

APPROVED ROUGH GRADING ±18" CITY HYDROLOGY DATE



SCALE: 1" = 50'

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: EAGLE SPRINGS-UNIT 2
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN UPDATE MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 662782

ZONE MAP NO. C-19-Z

SHEET 1 OF 1

A2087ESE/A2087gd2.dwg/01-10-03/ KJS MJR DER