

CONSTRUCTION ADDRESS:

NO. 7512 STREET Desert Pinnon TYPE CT QUADRANT NE ZIP 87113

APPLICANT TO PROVIDE ALL INFORMATION BELOW:

LEGAL DESCRIPTION

LOT NO. 7 BLOCK NO. UNIT  
SUBDIVISION La Vista Desert Ridge Subdivision  
UNIFORM PROPERTY CODE 101906423 851521918

TYPE OF APPLICATION

☐ NEW BUILDING  
☐ ADDITION  
☐ REMODEL  
☐ REPAIR  
☒ OTHER  
Retaining walls

RETAIN FOR REISSUE?

☐ YES ☐ NO

OWNER: Es mail Haidari PHONE 480-2633

ADDRESS 12808 Gazelle PL NE ZIP 87111

ARCHITECT, ENGINEER OR DESIGNER:

Golden Land & Associates

CONTACT: Geidie PHONE 208-2285

ADDRESS 9805 Dorothy PL ZIP 87111

CONTRACTOR:

Hyperconcrete, LLC

CONTACT: Michelle Anderson PHONE 934 2364

ADDRESS 9241 4th St NW ZIP 87114

NM STATE LICENSE NO. 192901

NM CRS STATE TAX NO. 03049016002

CITY TAX NO. FA 0059998

SIGN Nicholas DATE 11/8/11

OWNERSHIP:

☐ PRIVATE ☐ PUBLIC

DESCRIPTION OF WORK:

Retaining walls  
40 LF 10'9" - built on multiple lots

☐ PERFORMANCE BASED  
☐ SINGLE FAMILY RESIDENCE  
☐ TOWNHOUSE  
☐ CARPORT  
☐ PATIO COVER  
☐ PATIO ENCLOSURE  
☐ FOUNDATION FOR MODULAR BUILDING  
☐ FOUNDATION FOR MOVED BUILDING  
☒ GARDEN WALL, FENCE, RETAINING WALL

## GENERAL NOTES

For Building Inspections call: (505) 924-3320 or (505) 924-3326

Plan review progress and comments are now available on our website [www.cabq.gov/planning/bldgsafety/](http://www.cabq.gov/planning/bldgsafety/). Quick Links, Plan Review Comments. You must have your plan check number and please allow 24 hours for comment update.

- One set of approved plans shall be kept on the site of the building or work at all times during which the work authorized thereby is in progress.
- For foundation-only permits, a separate set of plans must be submitted. Plumbing, mechanical and electrical work in/under the slab shall be inspected and approved before any concrete is poured.
- The issuance of a permit does not guarantee that the permit holder (owner) will receive a Certificate of Occupancy upon completion of construction. It is the permit holder's responsibility to comply with all of the requirements for a Certificate of Occupancy including obtaining water and sanitary sewer service, electrical service and natural gas service.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Albuquerque Bernalillo County Water Utility Authority (ABCWUA).
- City-approved street and alley top-of-curb elevations shall be used when establishing lot grades and rear property lines. In the event that these approved elevations are not used, the City assumes no responsibility for loss of access to property or damage to property-line walls upon construction of streets, alleys, curbs and gutters.
- Gates in walls or fences on private or public property shall not swing over sidewalks, streets, alleys or other public rights-of-way.
- NOTE: Even if the Planning Dept. has approved your plans and/or issued permits, BEFORE you begin any construction, renovation, demolition or surface disturbance, you may have to obtain additional permits or submit notifications. Examples: Fugitive Dust Control Permit, Slatonary Source Permit (for emergency backup generator) and Asbestos Notification. For a list of other sources that require air quality permits, please go to [www.cabq.gov/airquality/](http://www.cabq.gov/airquality/). For more information, contact the Air Quality Division at 505-768-1972.

## ZONING ENFORCEMENT

COMPREHENSIVE CITY ZONING CODE, 14-16, ROA 1994

(505) 924-3857

CITY ZONE R-10

ZONING MAP C-19

LOT ACREAGE \_\_\_\_\_

CASE/FILE NO. 13-06115-Subdivision

USE 13-06115-Subdivision

- CAUTION ON LOCATION OF STRUCTURE:** City approval is contingent upon correct information being received from the owner's agent (architect, engineer, etc.). Zoning approval is for structures sited exactly as specified on these plans. Setbacks are measured from the lot lines. The lot line at the street right-of-way is not necessarily the curb or the edge of the sidewalk.
- Landscape and irrigation shall be designed, installed, maintained and operated as required by the Water Conservation, Landscaping and Water Waste Ordinance, 8-1, ROA 1994.
- All construction shall be in compliance with the Solar Permit Ordinance, 14-11, ROA 1994. City approval of plans is not a guarantee of compliance with any private solar rights which may be recorded with the County Clerk pursuant to Section 14-9-1, NMSA, 1978.

PLANS DISAPPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS DISAPPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS APPROVED Don Shepherd

DATE 11-8-11

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## TRANSPORTATION DEVELOPMENT

(505) 924-3991

- ☐ Sidewalks, drive pads, curb cuts, and curbs/gutters require a separate excavation/bermgrade permit approval from Construction Coordination (505-924-3400).
- ☐ The site plan must indicate what type of curbing fronts the proposed house and if a curb cut is required. Dimension all proposed curb cuts.
- ☐ If there is no existing sidewalk along the street frontage, it must be provided at this time.
- ☐ Recent aerial data indicates standard curb is located along this site, please clarify and indicate where and how access will be taken.
- ☐ The site plan must clearly show if a curb is required, dimensions must be provided.

PLANS DISAPPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS DISAPPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS APPROVED Kessie 08/02/04

DATE \_\_\_\_\_

IRC  
APPROVED

Albuquerque  
Building & Safety  
NOV 08 2011  
I.B.C.  
Plan Check Section



PROPERTY OF  
CITY OF ALBUQUERQUE

# ALBUQUERQUE

## BUILDING SAFETY DIVISION

600 Second Street N.W.  
Albuquerque, New Mexico 87102

IS THIS DEVELOPMENT WITHIN 1000 FT.  
OF A FORMER LANDFILL SITE?  
☒ YES ☐ NO

11-8-11

## IMPACT FEES

FOR IMPACT FEES ONLY

(505) 924-3984 (505) 924-3934

Dm \_\_\_\_\_ Rdwy \_\_\_\_\_  
Pk \_\_\_\_\_ Stly \_\_\_\_\_  
By \_\_\_\_\_

Separate permits are required for retaining walls, garden walls and fences.  
Separate permits are required for plumbing, mechanical, gas and electrical work.

## HYDROLOGY

FLOOD HAZARD ORDINANCE CERTIFICATION

(505) 924-3982

THIS SITE IS IN FLOOD HAZARD:

- ☐ ZONE X, NO ADDITIONAL APPROVALS ARE REQUIRED.
- ☐ ZONE AE, AH, AO OR A - A FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED PRIOR TO ISSUING OF A BUILDING PERMIT.

- ☐ **SEPARATE CERTIFICATION** is required prior to issuing of a Certificate of Occupancy per Floodplain permit.
1. All grading undertaken to construct this home shall be in compliance with the Drainage Control Ordinance.

PLANS DISAPPROVED 11-5-5 08/02/2011

DATE \_\_\_\_\_

PLANS DISAPPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS APPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## INTERNATIONAL RESIDENTIAL CODE UPC, UMC, NEC

(505) 924-39 55

NOTE: Plans shall be drawn to scale and shall be of sufficient clarity to indicate the nature and extent of the work proposed and show in detail that it will conform to the provisions of the technical codes and all relevant laws, ordinances, rules and regulations.

DESCRIPTION OF WORK Site Retaining Wall

SIZE OF BLDG. (SQ.FT.) 1094LF

OCCUPANCY GROUP 2-3-U

CONSTRUCTION TYPE V-B

BUILDING CODE EDITION (YR) 2009 IBC

PLANS DISAPPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS DISAPPROVED \_\_\_\_\_

DATE \_\_\_\_\_

PLANS APPROVED 11-8-11

DATE 11/9/11

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**Pinon Vista Ct., NE**

**Wyoming Blvd., NE**

**LOT 1** FP=81.15  
TW=83.00 BW=81.00  
TW=87.00 BW=84.30

**LOT 2** FP=84.35  
TW=83.00 BW=81.00  
TW=87.00 BW=84.30

**LOT 3** FP=87.50  
TW=86.15 BW=84.00  
TW=87.47 BW=86.80

**LOT 4** FP=90.35  
TW=89.20 BW=87.00  
TW=87.47 BW=86.80

**LOT 5** FP=91.80  
TW=91.15 BW=89.00  
TW=91.55 BW=89.00

**LOT 6** FP=91.80  
TW=91.15 BW=89.00  
TW=91.55 BW=89.00

**LOT 7** FP=90.35  
TW=89.20 BW=87.00  
TW=87.47 BW=86.80

**LOT 8** FP=87.65  
TW=87.00 BW=84.20  
TW=89.20 BW=87.00

**LOT 9** FP=84.50  
TW=87.00 BW=84.20  
TW=89.20 BW=87.00

**ON-SITE BASIN 1**  
Q<sub>max</sub>=8.10 CFS  
TW=84.27 BW=83.00  
TW=86.25 BW=83.80  
TW=87.20 BW=85.70

**ON-SITE BASIN 2**  
FP=85.00  
TW=87.00 BW=84.20  
TW=89.20 BW=87.00

**OFF-SITE BASIN A**  
Q<sub>max</sub>=1.62 CFS  
5'x10' RIPRAP PAD  
D<sub>max</sub>=3"

**OFF-SITE BASIN B**

**15' PUBLIC STORM DRAIN EASEMENT**

**10' UTILITY EASEMENT**

**EXISTING CONCRETE RUNDOWN**

**NORTHERN LA CIEVA CHANNEL**

**Storm Drain Manhole**  
Rim Elevation 5379.97  
Invert 5367.67

**Storm Drain Manhole**  
Rim Elevation 5379.07  
Invert 5366.47

**Future Sidewalk and C&G**

**Earth Swale**

**Proposed Retaining Wall**

**Proposed Mountable Curb and Gutter**

**Proposed Basin Number**

**Proposed Basin Boundary**

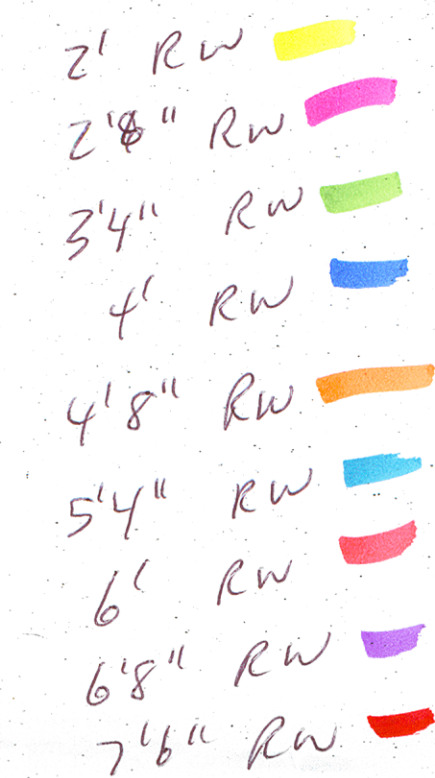
**Proposed Wheel Chair Ramps**

**Legend:**

- PROPOSED RETAINING WALL
- PROPOSED MOUNTABLE CURB AND GUTTER
- PROPOSED BASIN NUMBER
- PROPOSED BASIN BOUNDARY
- PROPOSED WHEEL CHAIR RAMPS

**Dimensions:**




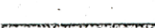

24 20 28 15  
24 63  
87



- NOTE:  
DRAINAGE PLAN, HYDROLOGIC CALCULATIONS AND  
DETAILS SEE SHEET 2 THIS PLANSET

[illegible]

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

FP=09.07	FINISHED PAD SITE ELEVATION	■■■■■■■■	PROPOSED RETAINING WALL
60.23	PROPOSED SPOT ELEVATION	=====	PROPOSED MOUNTABLE CURB AND GUTTER
TW=12.51	TOP OF WALL		PROPOSED BASIN NUMBER
BW=11.84	BOTTOM OF WALL		PROPOSED BASIN BOUNDARY
	EXISTING MAJOR CONTOUR		PROPOSED WHEEL CHAIR RAMPS
	EXISTING MINOR CONTOUR		

<p align="center"><b>CITY OF ALBUQUERQUE</b>  <b>PUBLIC WORKS DEPARTMENT</b>  <b>TRANSPORTATION DEVELOPMENT</b></p>				
<p align="center"><b>LA VISTA @ DESERT RIDGE SUBDIVISION</b>  <b>GRADING AND DRAINAGE PLAN</b></p>				
<p>DESIGN REVIEW COMMITTEE</p>	<p>CITY ENGINEER APPROVAL</p>		MO./DAY/YR.	MO./DAY/YR.
<p>City Project No. XXXXXX</p>	<p>Zone Map No. C-19-Z</p>	<p>Sheet 1</p>	<p>Of 2</p>	

Q:\projects\Eagle Rock-Wyoming Subdivision\BASE-REVISED-14-LOTS.dwg 10/25/2011 1:25:59 PM MDT