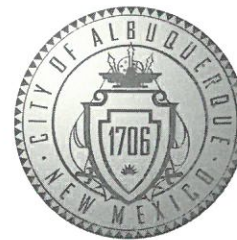


CITY OF ALBUQUERQUE



March 15, 2019

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

RE: **Rohan Subdivision**
Lots 3 – 4
Requested for Pad Cert – Not Accepted
Engineers Stamp Date 6/29/15 (C19D042A)
Certification dated: 3-6-19

Dear Mr. Afaghpour,

Based on the certification provided in your submittal received 3/7/2019, the above referenced site cannot be accepted for release of Pad Certification by Hydrology until the following comments are addressed:

- Wall opening lot 3 is different than on plan. Clarify in certification that smaller opening is sufficient.
- Swales on both sides of garden wall (section A-A) between lots 2 and 3 are missing.
- Ponds are missing on lot 3 and 4.
- Provide request for Release of Financial Guarantee

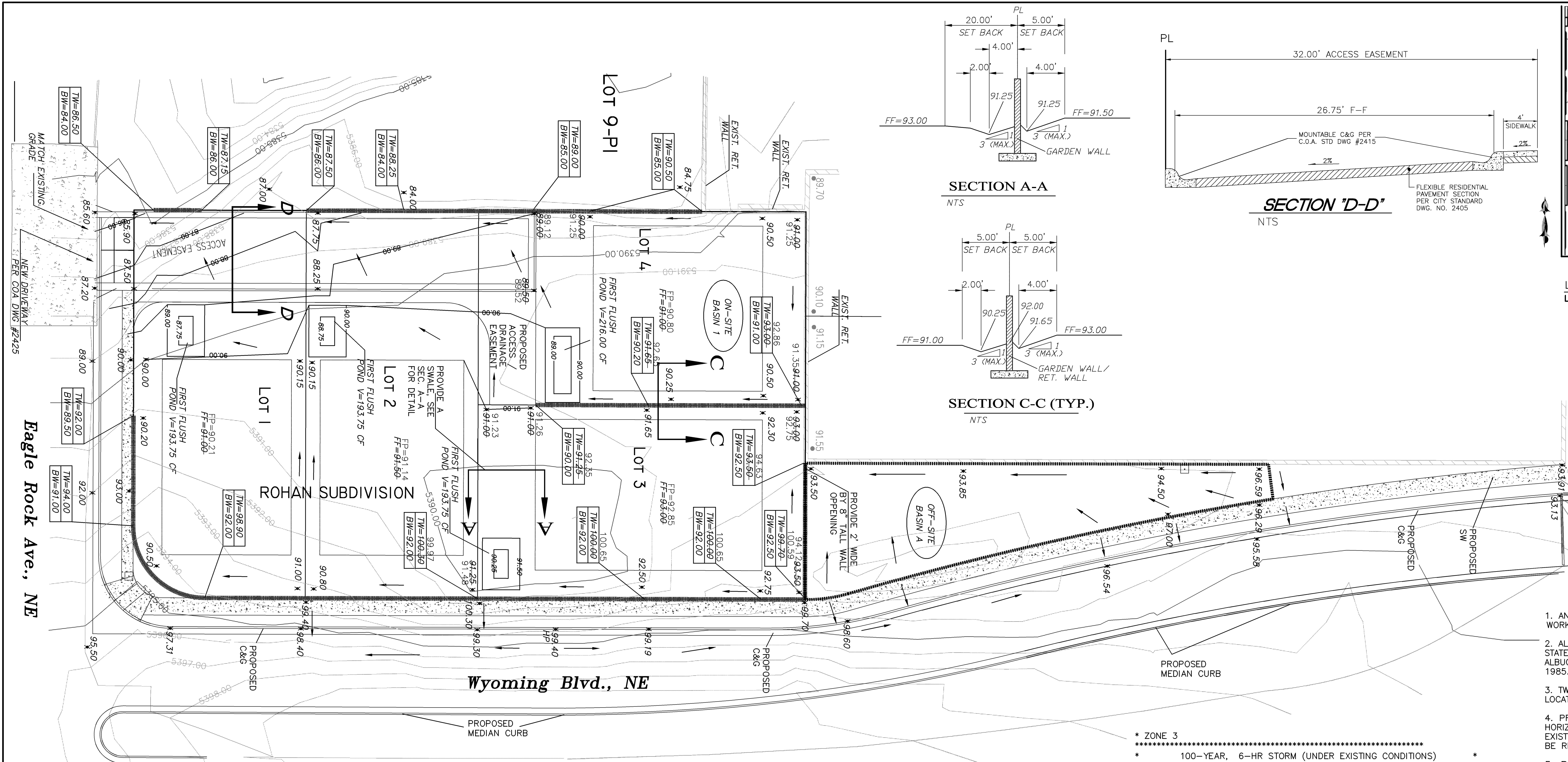
An inspection by our office will need to take place after these corrections are made.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

TE/JH



DRAINAGE PLAN:

LEGAL DESCRIPTION: LOT 17, BLOCK 1, NAA TRACT 2, UNIT 3

SITE AREA: 0.7277 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED AUGUST 16, 2012 (PANEL NO. 35001C0133G & 35001C0141G) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN. THE NORTH LA CUEVA CHANNEL AT THE SOUTHWEST CORNER HAS A FLOOD HAZARD ZONE A WITH A 1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL.

LOCATION AND DESCRIPTION: THE LOT IS LOCATED ON EAGLE ROCK AVENUE WEST OF WYOMING BOULEVARD. AT THE SOUTHWEST CORNER OF THE PROPERTY IS THE NORTH LA CUEVA CHANNEL.

EXISTING DRAINAGE CONDITIONS:

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL SECTION 22.2, HYDROLOGY. THE PROPERTY IS LOCATED IN ZONE 3. THE 100-YEAR, 6-HOUR STORM IS 2.60 INCHES.

THE SITE CURRENTLY DRAINS FROM EAST TO WEST TO THE NORTH LA CUEVA CHANNEL. CURRENTLY THERE ARE OFFSITE FLOWS FROM THE EAST AND NORTH.

DEVELOPED DRAINAGE CONDITIONS:

THERE IS ONE OFF-SITE BASINS DRAINING ONTO LOT 17. OFF-SITE BASIN A IS LOCATED NORTH OF LOT 17. RUNOFF FROM OFF-SITE BASIN B WILL DRAIN TO THE POND PROVIDED JUST NORTH OF THE LOT 17, 377.50 CFS. THE PEAK FLOW OF 0.71 CFS WILL BE CONVEYED TO THE POND.

RUNOFF FROM ON-SITE BASIN 1, WHICH INCLUDES ALL OF LOT 17, WILL BE DIRECTED TO EAGLE ROCK AVENUE THROUGH THE PAVED DRIVEWAY. THE ROOF OF THE BUILDINGS WILL DRAIN TO THE WEST AND EAST. EACH LOT WILL HAVE A PONDING AREA FOR THE FIRST FLUSH. AFTER SENDING THE WATER INTO THE PONDS, THEN THE FLOWS WILL BE DIRECTED INTO PAVED ROAD AND FINALLY INTO EAGLE ROCK. A TOTAL OF 2.63 CFS FROM LOT 17 WILL DRAIN TO EAGLE ROCK AVENUE AND WILL DRAIN TO THE NORTH LA CUEVA CHANNEL. THE FIRST FLUSH FROM ON-SITE BASIN 1 WILL BE RETAINED IN THE PONDS PROVIDED ON EACH LOT. THE FIRST FLUSH VOLUME FOR A 0.44-INCH RAIN IS 304 CUBIC-Feet.

HYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
INPUT FILE = HAYDARI.txt

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
START RAINFALL TYPE= 1										
COMPUTE NM HYD	101.00	-	1	.00017	.30	.008	.92230	1.526	2.731	PER IMP= .00
COMPUTE NM HYD	103.00	-	1	.00114	1.93	.056	.92024	1.526	2.646	PER IMP= .00
START RAINFALL TYPE= 1										
COMPUTE NM HYD	111.00	-	1	.00017	.13	.003	.35547	1.533	1.209	PER IMP= .00
COMPUTE NM HYD	113.00	-	1	.00114	1.43	.037	.60463	1.500	1.971	PER IMP= .00
START RAINFALL TYPE= 1										
COMPUTE NM HYD	103.10	-	1	.00114	3.18	.117	1.93606	1.500	4.368	PER IMP= 68.00
START RAINFALL TYPE= 1										
COMPUTE NM HYD	113.10	-	1	.00114	1.99	.070	1.15661	1.500	2.739	PER IMP= 68.00
FINISH										

REQUIRED FIRST FLUSH PONDING CALCULATIONS

LOT 1-P1, IMPERVIOUS AREA = 5,430 CF
PONDING VOLUME REQUIRED = 5,430 X 0.34/12 = 153.85 CF

LOT 2-P1, IMPERVIOUS AREA = 5,770 CF
PONDING VOLUME REQUIRED = 5,770 X 0.34/12 = 163.48 CF

LOT 3-P1, IMPERVIOUS AREA = 4,547.50 CF
PONDING VOLUME REQUIRED = 4,547.50 X 0.34/12 = 153.85 CF

LOT 4-P1, IMPERVIOUS AREA = 5,142.50 CF
PONDING VOLUME REQUIRED = 5,142.50 X 0.34/12 = 145.70 CF

PROPOSED FIRST FLUSH PONDING VOLUME CALCULATIONS

LOT 1-P1, TOP AREA=260 SF, BOTTOM AREA=50 SF, DEPTH= 1.25'
PONDING VOLUME PROVIDED = (260 + 50)/2 * 1 = 193.75 CF

LOT 2-P1, TOP AREA=260 SF, BOTTOM AREA=50 SF, DEPTH= 1.25'
PONDING VOLUME PROVIDED = (260 + 50)/2 * 1 = 193.75 CF

LOT 3-P1, TOP AREA=260 SF, BOTTOM AREA=50 SF, DEPTH= 1.25'
PONDING VOLUME PROVIDED = (260 + 50)/2 * 1 = 193.75 CF

LOT 4-P1, TOP AREA=312 SF, BOTTOM AREA=120 SF, DEPTH= 1.0'
PONDING VOLUME PROVIDED = (312 + 120)/2 * 1 = 216.00 CF

VERSION: 1997.02d RUN DATE (MON/DAY/YR) =04/24/2016
USER NO.= AHYMO-I-9702c01000R31-AH

TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=2.14 IN RAIN SIX=2.60 IN
RAIN DELAY=3.10 IN DT=0.00512 HR

START RAINFALL

100-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS)

OFF-SITE BASIN A
COMPUTE NM HYD

ON-SITE
COMPUTE NM HYD

10-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS)

OFF-SITE BASIN A
COMPUTE NM HYD

ON-SITE
COMPUTE NM HYD

10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS)

ON-SITE
COMPUTE NM HYD

10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS)

ON-SITE
COMPUTE NM HYD

FINISH

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

5100 EXISTING CONTOUR (MAJOR)

5102 EXISTING CONTOUR (MINOR)

85.46 PROPOSED SPOT ELEVATION

4986.40 EXISTING GRADE

AC-PA

PROPOSED RET. WALL

AS-BUILT SPOT ELEVATIONS

GRAPHIC SCALE

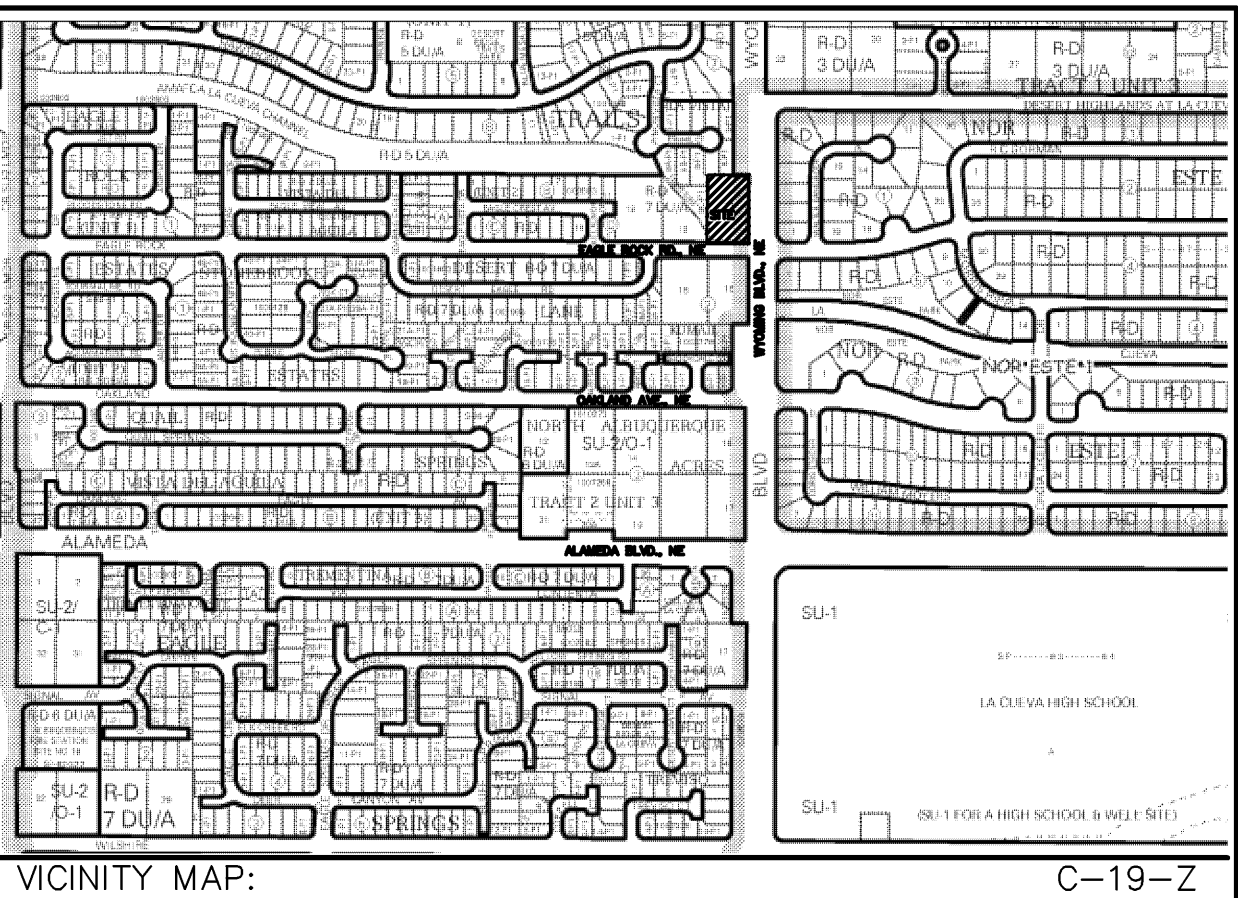
SCALE: 1"=20'

SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

**LOTS 1 THRU 4, ROHAN SUBDIVISION
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201605-GR.DWG	SH-B	03-22-2016	1



VICINITY MAP: C-19-Z

LEGAL DESCRIPTION:
LOT 17, BLOCK 1, NAA, TRACT 2, UNIT 3, CONTAINING 0.7277 ACRE

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 9-D15, HAVING AN ELEVATION OF 4988.802 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.
- 6: IF THE DRIVEWAY LOCATIONS CONFLICTS WITH THE PROPOSED LOCATION OF A FIRST FLUSH PONDS, CONTRACTOR MUST RELOCATE THE PONDS WITH THE SAME VOLUME ELSEWHERE ON THE LOT, EXCEPT IN THE REAR LOT AREA.

REZA AFAGHPUR, NMPE 11814
03/06/2016
03/06/2019



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: LOTS 1 THRU 4, ROHAN SUBDIVISION **Building Permit #:** _____ **Hydrology File #:** C19D042A
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOTS 1-4, ROHAN SUBDIVISION
City Address: NW CORNER WYOMING BLVD. NE AND EAGLE ROCK NE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 3-07-2019 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____