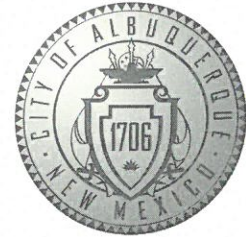


# CITY OF ALBUQUERQUE

Hydrology Section Planning Department  
David S. Campbell, Director



Timothy M. Keller, Mayor

April 10, 2019

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

RE: **Rohan Subdivision**  
**ROFG - Accepted**  
**Engineers Stamp Date 6/29/15 (C19D042A)**  
**Certification dated: 3-27-19**

Dear Mr. Afaghpour,

Based on the certification provided in your submittal received 3/28/2019, the submittal is approved for Release of Financial Guarantee..

PO Box 1293

If you have any questions, you can contact me at 924-3986 or [jhughes@cabq.gov](mailto:jhughes@cabq.gov).

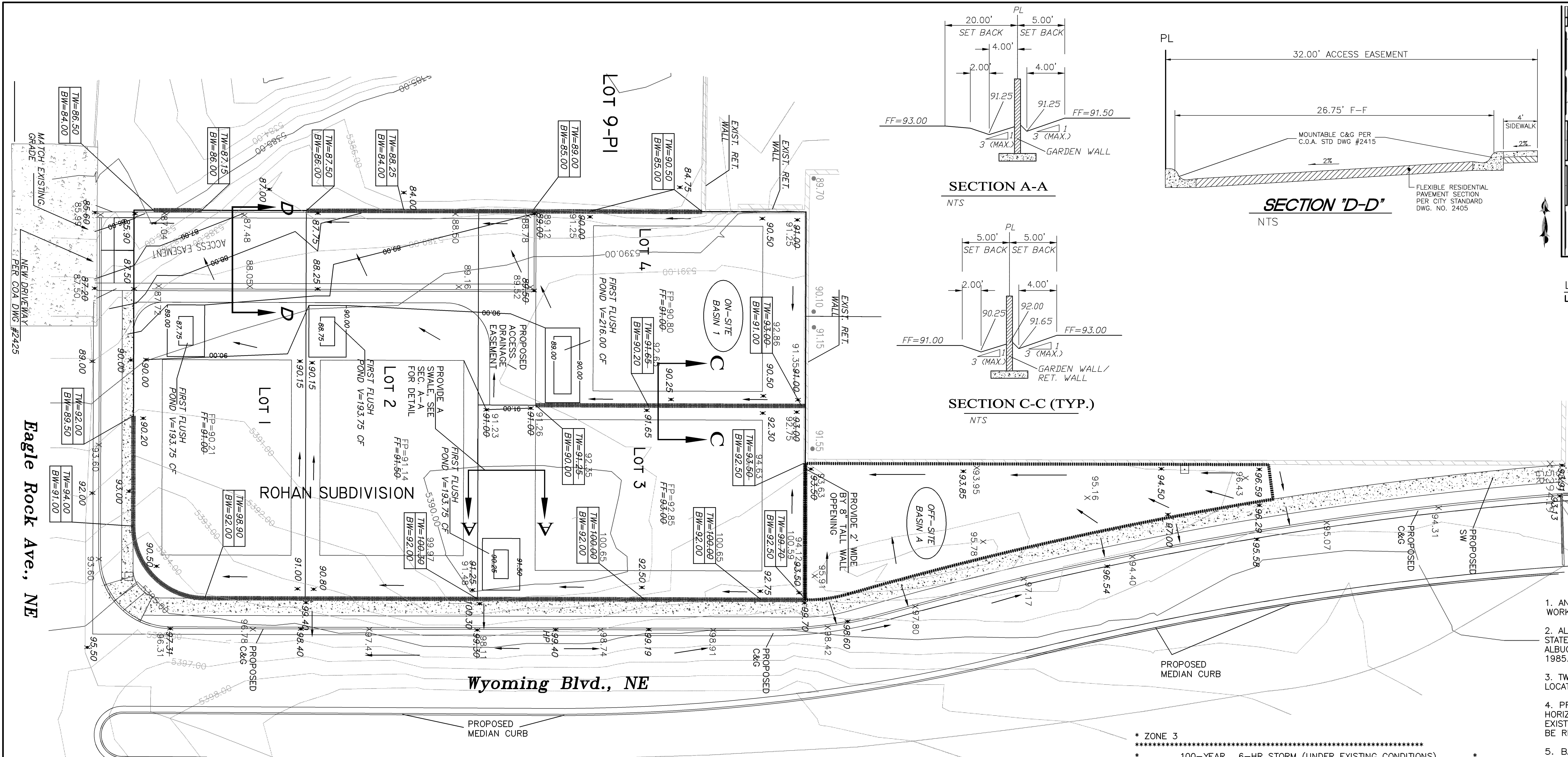
Albuquerque

Sincerely,

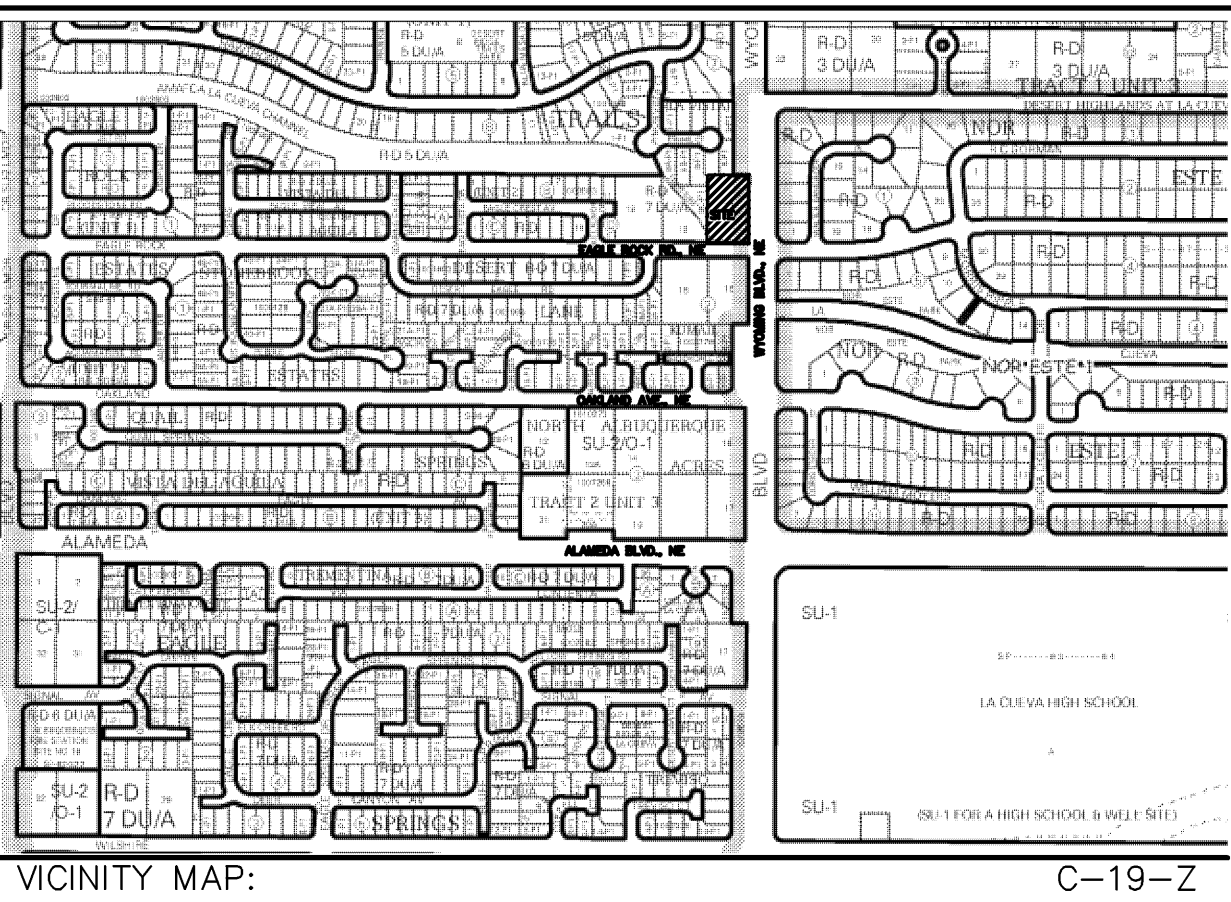
NM 87103

James D. Hughes, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)



AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) - INPUT FILE = HAYDARI.txt									
- VERSION: 1997.02d RUN DATE (MON/DAY/YR) =04/24/2016 USER NO.= AHYMO-I-9702c01000R31-AH									
PAGE = 1									
COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE NOTATION
START RAINFALL TYPE= 1									TIME=.00 RAIN= 2.600
COMPUTE NM HYD	101.00	-	1	.00017	.30	.008	.92230	1.526	2.731 PER IMP=.00
COMPUTE NM HYD	103.00	-	1	.00114	1.93	.056	.92024	1.526	2.646 PER IMP=.00
START RAINFALL TYPE= 1									TIME=.00 RAIN= 1.730
COMPUTE NM HYD	111.00	-	1	.00017	.13	.003	.35547	1.533	1.209 PER IMP=.00
COMPUTE NM HYD	113.00	-	1	.00114	1.43	.037	.60463	1.500	1.971 PER IMP=.00
START RAINFALL TYPE= 1									TIME=.00 RAIN= 2.600
COMPUTE NM HYD	103.10	-	1	.00114	3.18	.117	1.93606	1.500	4.368 PER IMP= 68.00
START RAINFALL TYPE= 1									TIME=.00 RAIN= 1.730
COMPUTE NM HYD	113.10	-	1	.00114	1.99	.070	1.15661	1.500	2.739 PER IMP= 68.00
FINISH									
REQUIRED FIRST FLUSH PONDING CALCULATIONS									
LOT 1-P1, IMPERVIOUS AREA = 5,430 CF PONDING VOLUME REQUIRED = 5,430 X 0.34/12 = 153.85 CF									
LOT 2-P1, IMPERVIOUS AREA = 5,770 CF PONDING VOLUME REQUIRED = 5,770 X 0.34/12 = 163.48 CF									
LOT 3-P1, IMPERVIOUS AREA = 4,547.50 CF PONDING VOLUME REQUIRED = 4,547.50 X 0.34/12 = 153.85 CF									
LOT 4-P1, IMPERVIOUS AREA = 5,142.50 CF PONDING VOLUME REQUIRED = 5,142.50 X 0.34/12 = 145.70 CF									
PROPOSED FIRST FLUSH PONDING VOLUME CALCULATIONS									
LOT 1-P1, TOP AREA=260 SF, BOTTOM AREA=50 SF, DEPTH= 1.25' PONDING VOLUME PROVIDED = (260 + 50)/2 * 1 = 193.75 CF									
LOT 2-P1, TOP AREA=260 SF, BOTTOM AREA=50 SF, DEPTH= 1.25' PONDING VOLUME PROVIDED = (260 + 50)/2 * 1 = 193.75 CF									
LOT 3-P1, TOP AREA=260 SF, BOTTOM AREA=50 SF, DEPTH= 1.25' PONDING VOLUME PROVIDED = (260 + 50)/2 * 1 = 193.75 CF									
LOT 4-P1, TOP AREA=312 SF, BOTTOM AREA=120 SF, DEPTH= 1.0' PONDING VOLUME PROVIDED = (312 + 120)/2 * 1 = 216.00 CF									
DRAINAGE CERTIFICATION									
I, REZA AFAGHPOUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06-13-2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801 LEONARD MARTINEZ, OF SBS CONSTRUCTION AND ENGINEERING, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINANCIAL GUARANTEE RELEASE.									
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.									
REZA AFAGHPOUR, NMPE 11814									



LEGAL DESCRIPTION:  
LOT 17, BLOCK 1, NAA, TRACT 2, UNIT 3, CONTAINING 0.7277 ACRE

- GENERAL NOTES:
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
  - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 9-D15, HAVING AN ELEVATION OF 4988.802 FEET ABOVE SEA LEVEL.
  - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  - 5: SLOPES ARE AT 3:1 MAXIMUM.
  - 6: IF THE DRIVEWAY LOCATIONS CONFLICTS WITH THE PROPOSED LOCATION OF A FIRST FLUSH PONDS, CONTRACTOR MUST RELOCATE THE PONDS WITH THE SAME VOLUME ELSEWHERE ON THE LOT, EXCEPT IN THE REAR LOT AREA.

- NOTICE TO CONTRACTORS
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- 5100 EXISTING CONTOUR (MAJOR)
- 5102 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- PROPOSED SPOT ELEVATION
- 85.46
- 4986.40 EXISTING GRADE
- AC-PA
- PROPOSED RET. WALL
- AS-BUILT SPOT ELEVATIONS
- 95.78
- FF=93.00
- FP=92.45
- GRAPHIC SCALE
- 20 10 0 20
- SCALE: 1"=20'
- SBS CONSTRUCTION AND ENGINEERING, LLC
- 10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013
- REZA AFAGHPOUR  
P.E. #11814
- LOTS 1 THRU 4, ROHAN SUBDIVISION  
GRADING AND DRAINAGE PLAN
- DRAWING: 201605-GR.DWG
- DRAWN BY: SH-B
- DATE: 03-22-2016
- SHEET # 1





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** LOTS 1 THRU 4, ROHAN SUBDIVISION **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** C19D042A  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOTS 1-4, ROHAN SUBDIVISION  
**City Address:** NW CORNER WYOMING BLVD. NE AND EAGLE ROCK NE

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR  
**Address:** 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
**Phone#:** (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 3-27-2019 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_