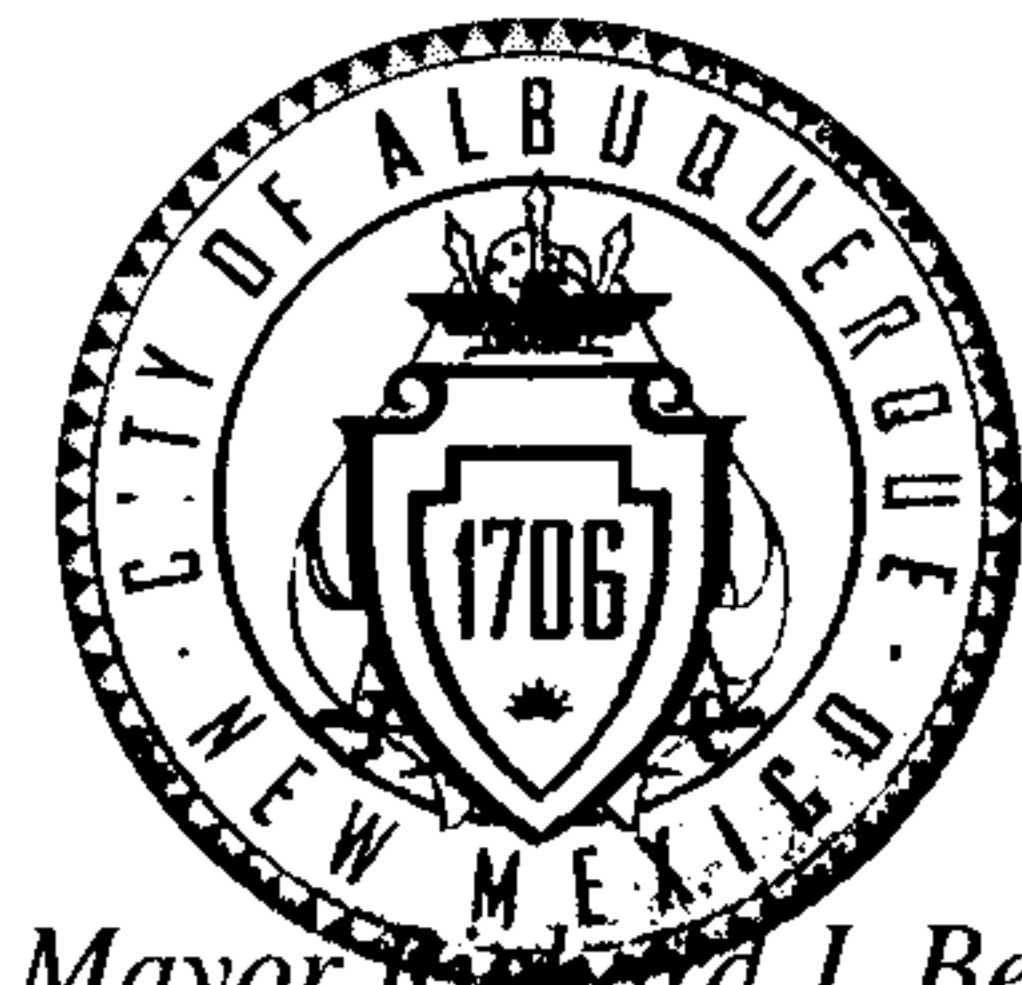


# CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director



Mayor Richard J. Berry

July 31, 2015

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: Rohan Subdivision  
Lots 1P1 – 4-P1 Lot 17 Block 1 NAA Tract 3 Unit 3  
Grading & Drainage Plan  
Engineer's Stamp dated: 6-13-16 (C19D042A)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 6/21/2016, this plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required after all pads are set and for each home.

PO Box 1293

Albuquerque

New Mexico 87103 If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3698.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer  
Planning Department

C: RR/AC  
email

Per Shahab, 8/27/14  
Wilfred Gallegos of  
DMD said ~~the~~ the  
design + construction  
for Wyoming was  
not necessary for  
Lot 17 + 9C



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

**Project Title:** Lots 1P1 thru 4-P1, Rohan Subd. Building Permit #: \_\_\_\_\_ Hydrology File #: C19D042A  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Lot 17, Block 1, NAA, Tract 2 Unit 3  
 City Address: \_\_\_\_\_

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR  
 Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
 Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_



- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

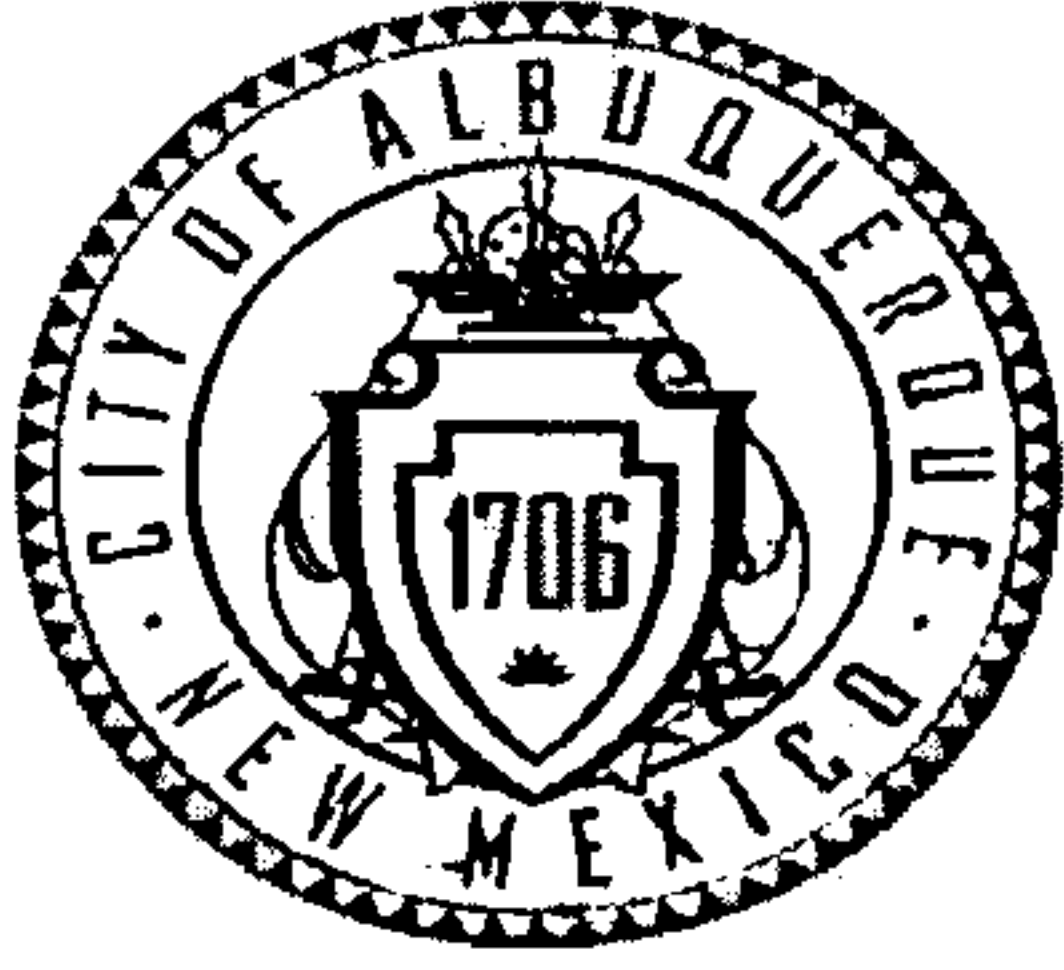
**PRE-DESIGN MEETING?**

OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 6-13-2016 By: SHAWN BIAZAR

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Montecito West Unit 1 Unser/Molten Building Permit #: \_\_\_\_\_ City Drainage #: D9/D004  
 DRB#: 1009506 EPC#: mentano Work Order#: \_\_\_\_\_  
 Legal Description: Lots 1-46 Montecito West Unit 1  
 City Address: \_\_\_\_\_

**Engineering Firm:** Bohannon Huston, Inc. Contact: Scott Steffen  
 Address: Courtyard I 7500 Jefferson Street NE Albuquerque NM 87109  
 Phone#: 505-823-1000 Fax#: \_\_\_\_\_ E-mail: ssteffen@bhinc.com

**Owner:** Pulte Homes of New Mexico Contact: Peter Steen  
 Address: 7601 Jefferson St NE Ste 320 Albuquerque NM 87109  
 Phone#: 505-761-9606 Fax#: \_\_\_\_\_ E-mail: peter.steen@pulte.com

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

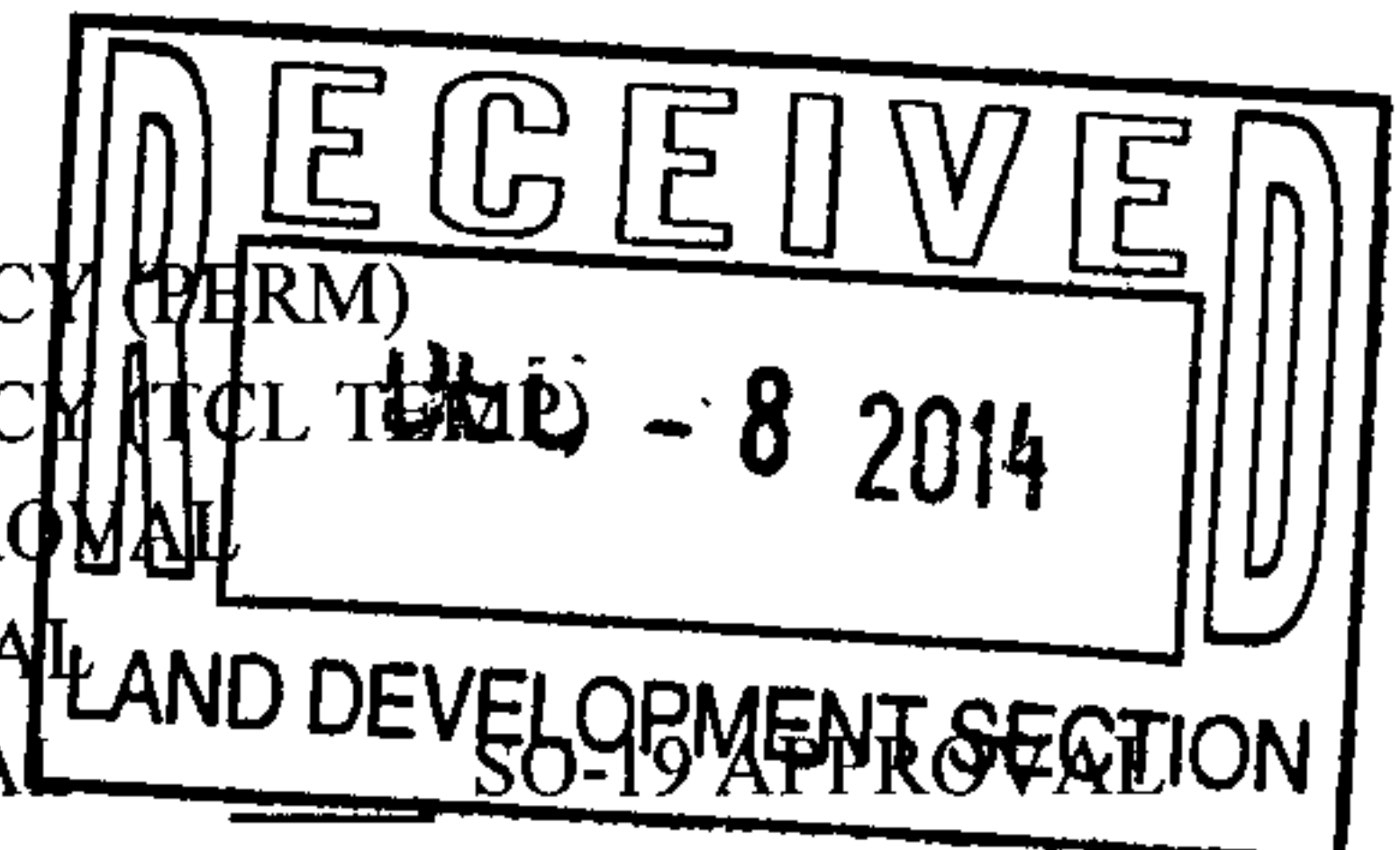
**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: December 8, 2014 By: Scott J. Steffen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



**Scott Steffen**

---

**From:** Scott Steffen  
**Sent:** Monday, December 08, 2014 11:11 AM  
**To:** Cherne, Curtis  
**Cc:** Ortiz, Monica  
**Subject:** Montecito West Unit 1 final G&D cert  
**Attachments:** Montecito West Unit 1 Final Drainage Cert.pdf

Curtis,

Attached is the final G&D cert for Montecito West Unit 1. You should receive a hard copy this afternoon.

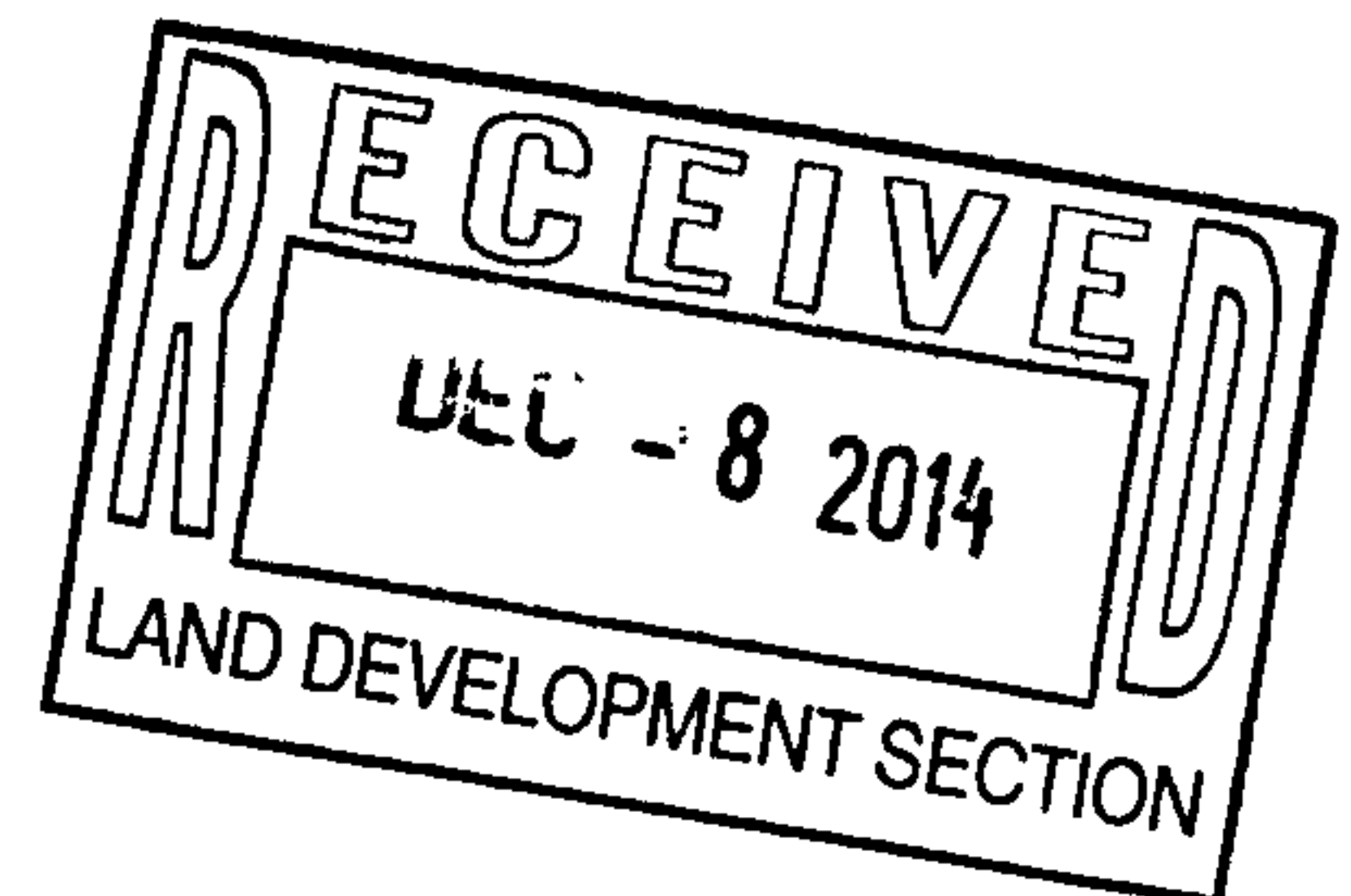
Thanks,

Scott J. Steffen  
Vice President  
Community Development and Planning

**Bohannon Huston**

Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4335  
[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000 facsimile: 505.798.7988 toll free: 800.877.5332



December 8, 2014

Mr. Curtis Cherne  
Hydrology Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Grading and Drainage Certification, Montecito West Unit 1  
DRB Case No. 1009506, (D09/D004)

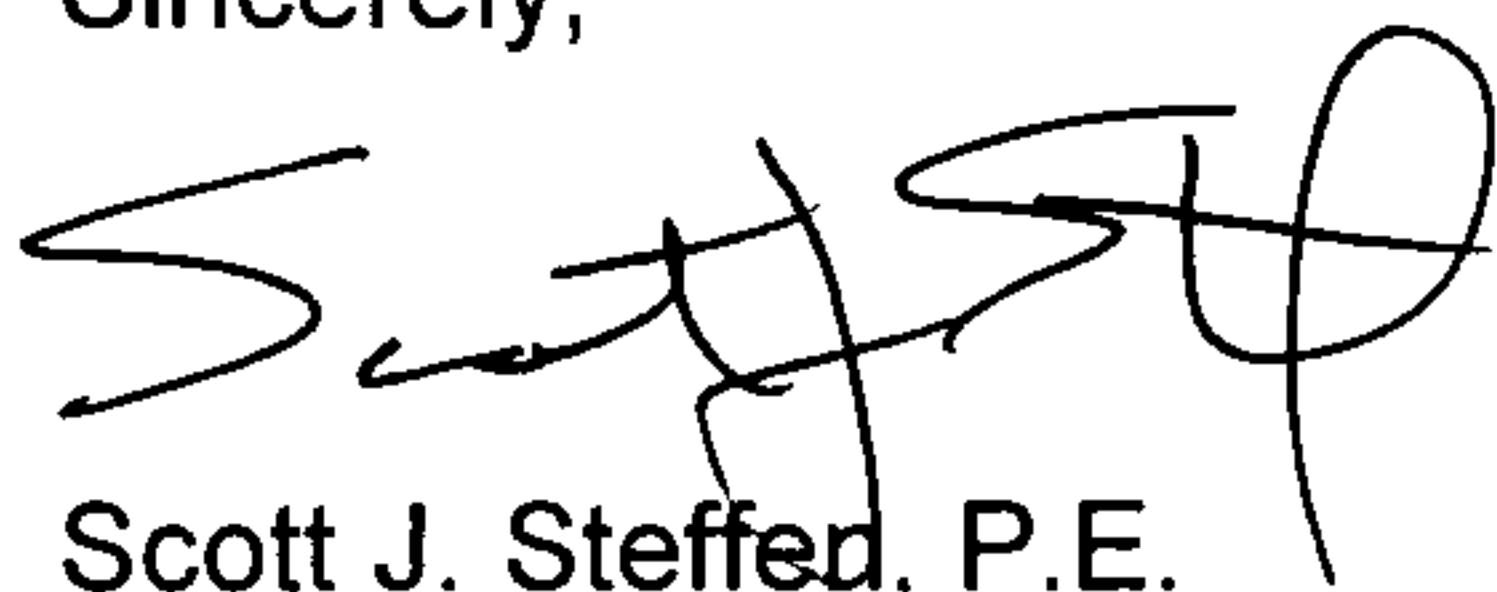
Dear Curtis:

We are submitting the final grading and drainage certification for Montecito West Unit 1. Enclosed for your review is the approved grading and drainage plan dated 3/6/14, with as-built elevations.

After reviewing these as-built elevations and visiting the site on 11/07/14 and 11/21/14, it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage.

Your review and approval is requested for Building Permit Approval and Release of Financial Guaranty. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

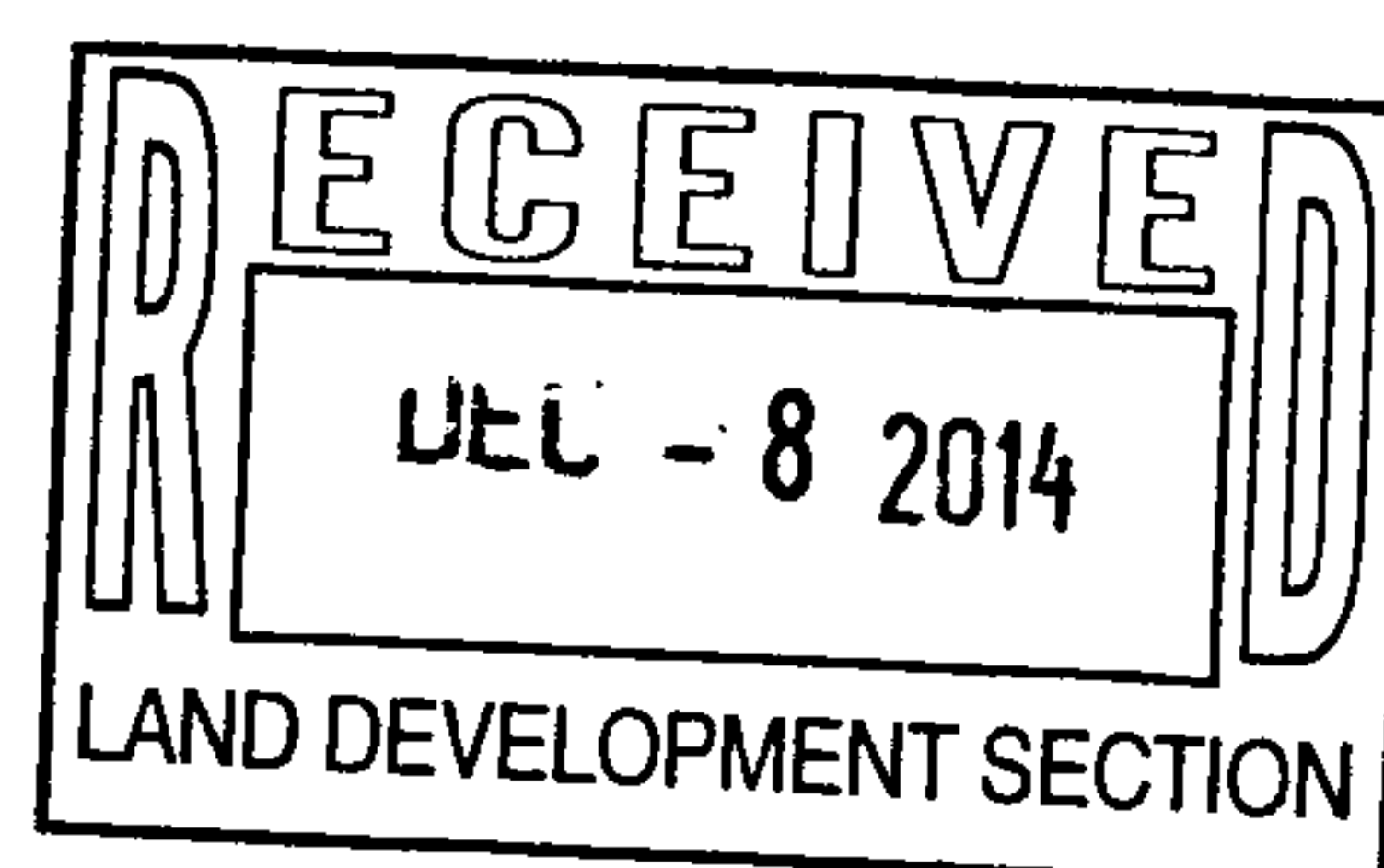
Sincerely,



Scott J. Steffer, P.E.  
Vice President  
Community Development & Planning

Enclosure

cc: Peter Steen, Pulte Homes  
Kevin Patton, Pulte Homes



Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

# CITY OF ALBUQUERQUE



December 12, 2014

Scott Steffen, P.E.  
Bohannon-Huston, Inc.  
Courtyard 1 7500 Jefferson St NE  
Albuquerque, New Mexico 87109

**RE: Montecito West Unit 1, Lots 1-46  
Grading and Drainage Plan  
Engineers Stamp Date 6/6/14 (D9D004)  
Certification Date 12/8/14**

Dear Mr. Steffen,

Based upon the information provided in your submittal received 12/8/2014, the above referenced Certification for Montecito West Unit 1 is acceptable for Release of Financial Guarantee and Building Permit approval.

Hydrology realizes that rip-rap or similar was not specified at the end of the pipe between lots 38 and 39 on the approved Grading and Drainage Plan, but feels it would be helpful to prevent sediment from entering the pipe, would help prevent erosion and should improve the effectiveness of the storm drain.

Please mention to Pulte Homes that Hydrology is requesting rip-rap or similar in the depressed area at the pipe end. It is not a requirement for the approval of this request.

If you have any questions, please contact me at 924-3986.

Sincerely,

A handwritten signature in cursive script that reads 'Curtis Cherne'.

Curtis Cherne, P.E.  
Principal Engineer, Hydrology  
Planning Dept.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: File

**Rael, Rudy E.**

---

**From:** Rael, Rudy E.  
**Sent:** Tuesday, June 14, 2016 3:02 PM  
**To:** 'aecllc@aol.com'  
**Cc:** Abiel X. Carrillo  
**Subject:** Rohan Subdivision

Mr. Biazar,

This email is being sent in lieu of an attached comment letter in order to expedite our response to previous comments. Response to comments should continue to be included in the resubmittal. A reply to these comments via email will not be considered a resubmittal.

Based upon the information provided in your resubmittal received 6/14/16, the above referenced Grading and Drainage Report and plan cannot be approved for Preliminary Plat, Grading Permit or Building Permit until the following comments are addressed:

- Provide a drainage easement through lot 3-PI for the acceptance of flows from Basin A, or make Basin A retain the flows with a sedimentation pond and then outfall into Wyoming Blvd. via a sidewalk culvert.

*Rudy E. Rael, CE, CFM*  
Engineer Associate, Hydrology  
Planning Department  
600 2nd St. NW Suite 201  
Albuquerque NM 87102  
(505) 924-3977



# *SBS CONSTRUCTION AND ENGINEERING, LLC*

June 13, 2016

Mr. Rudy E. Rael, CE, CFM  
Engineer Associate, Hydrology.  
Development Review Services  
P. O. Box 1293, 600 Second Street, NW  
Albuquerque, NM 87103

**RE: Lots 1-P1 Thru 4-P1, Rohan Subdivision , File # C19D042A  
Grading and Drainage Plan, Responses to Comments Dated May 16<sup>th</sup>, 2016**

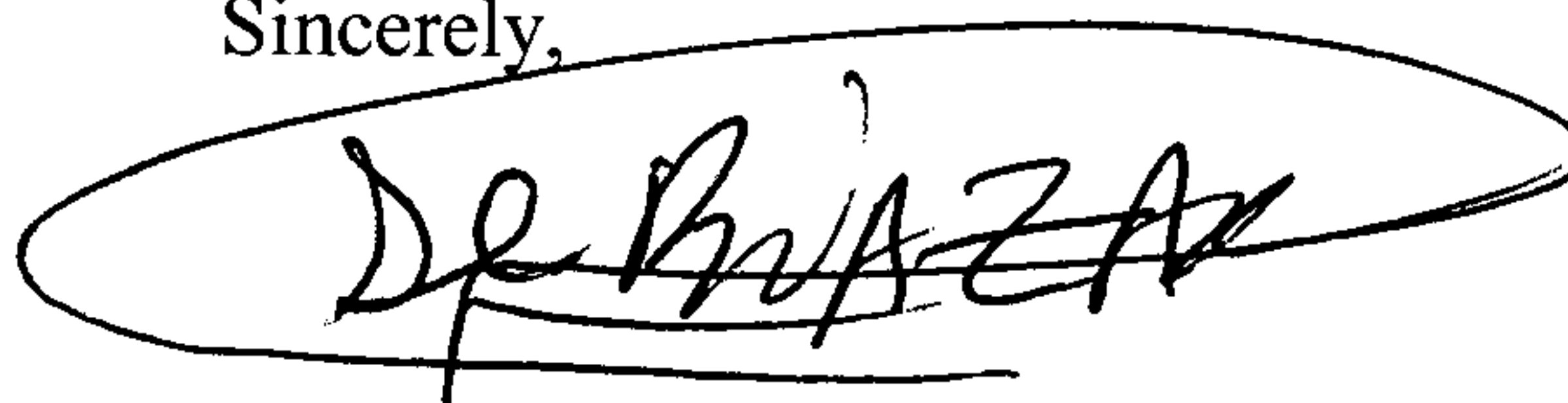
Dear Mr. Rael:

The following are the responses to your comments received dated May 16, 2016:

- 1) The legend has been corrected to show proposed retaining wall.
- 2) A retaining wall is been provided between lots 3-P1 and 4-P1.
- 3) Elevation spots is shown north of Lot 4-P1.
- 4) A typical swale is provided for the lots. Please see section C-C for detail. Please see cross section A-A for the detail on the berm for lot 3-P1 from pond to the access easement.
- 5) There are no berm nor retaining wall is placed along the access easement to the adjacent lot (lot 9-C, La Vista Subdivision).
- 6) The flows from Basin A are modified and routed into Lot 3-P1 via 2' wide opening in the wall and finally into Eagle Rock.
- 7)

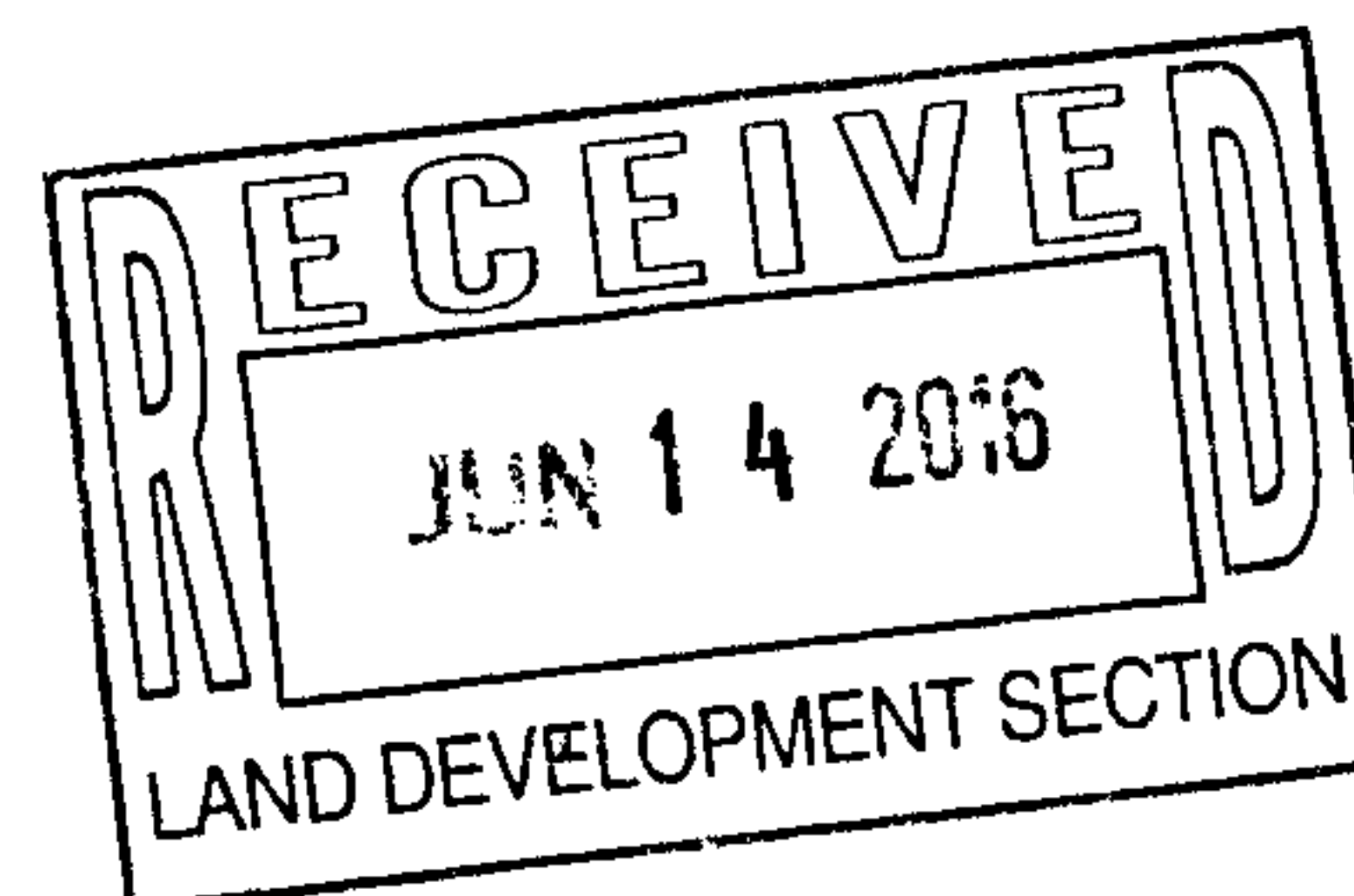
Please Contact me at (505) 804-5013 if you require additional information or have any questions.

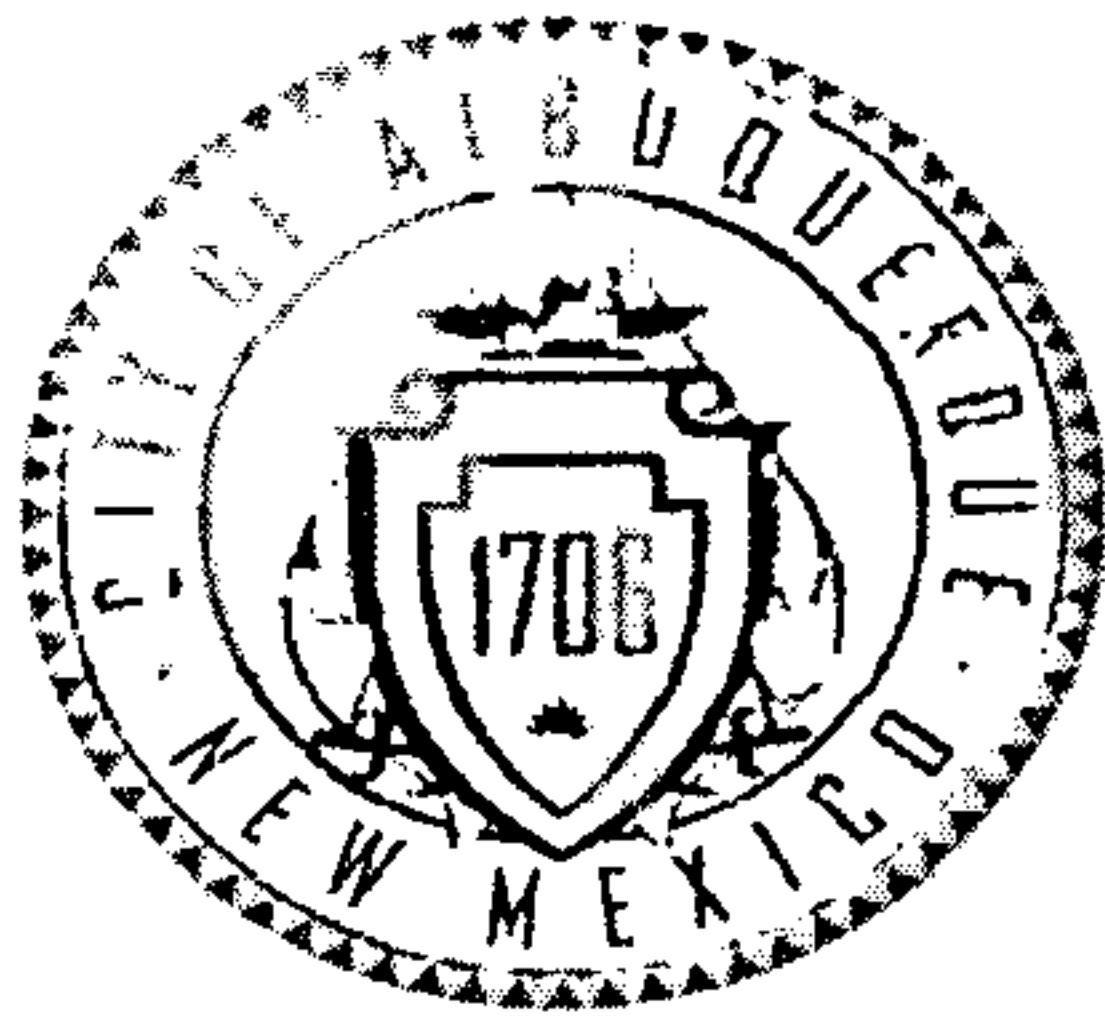
Sincerely,



Shahram (Shawn) Biazar, Managing Member

Enclosures  
JN: 201605





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Lots 1P1 thru 4-P1, Rohan Subd. Building Permit #: \_\_\_\_\_ Hydrology File #: C19D042A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 17, Block 1, NAA, Tract 2 Unit 3

City Address: \_\_\_\_\_

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

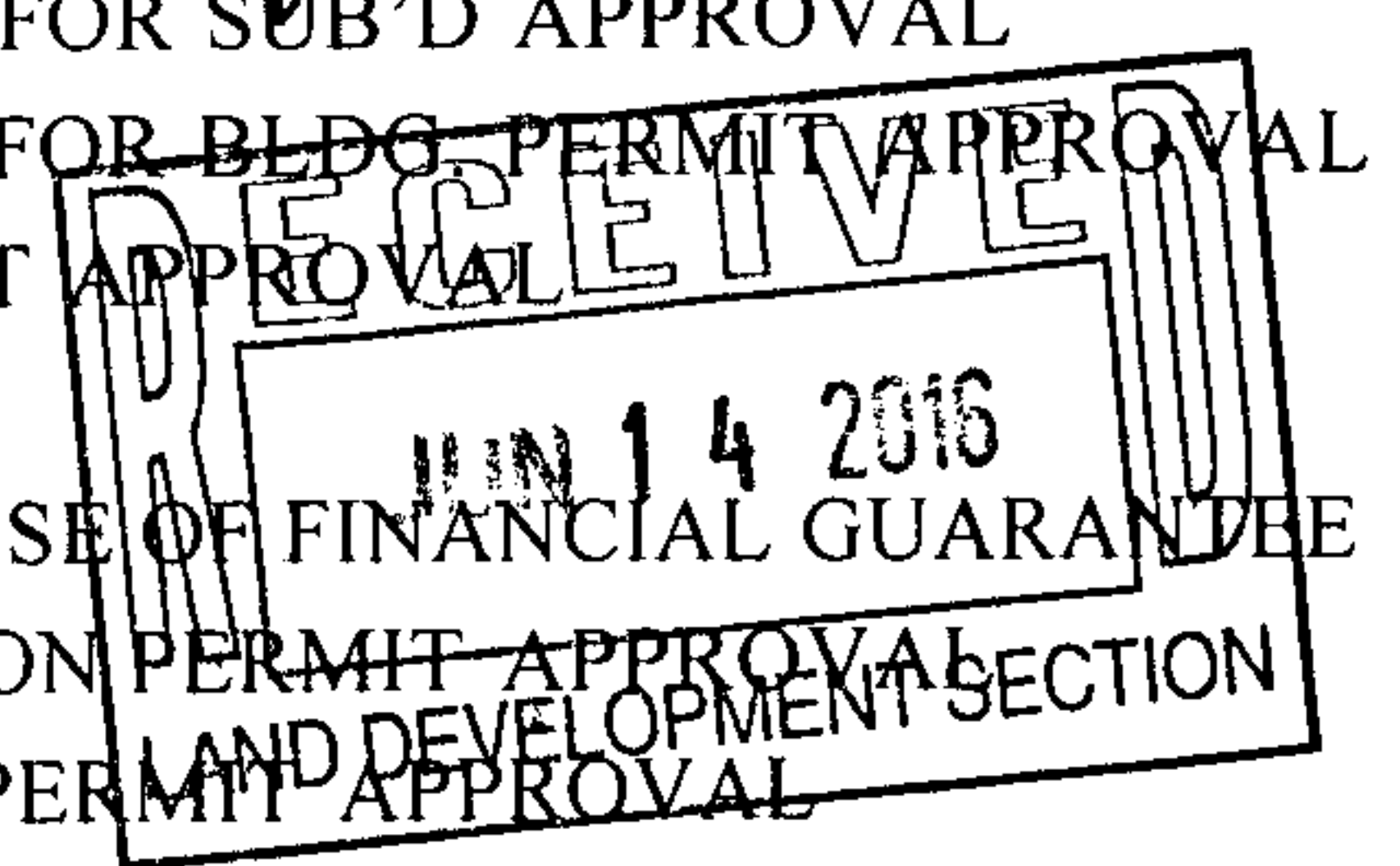
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

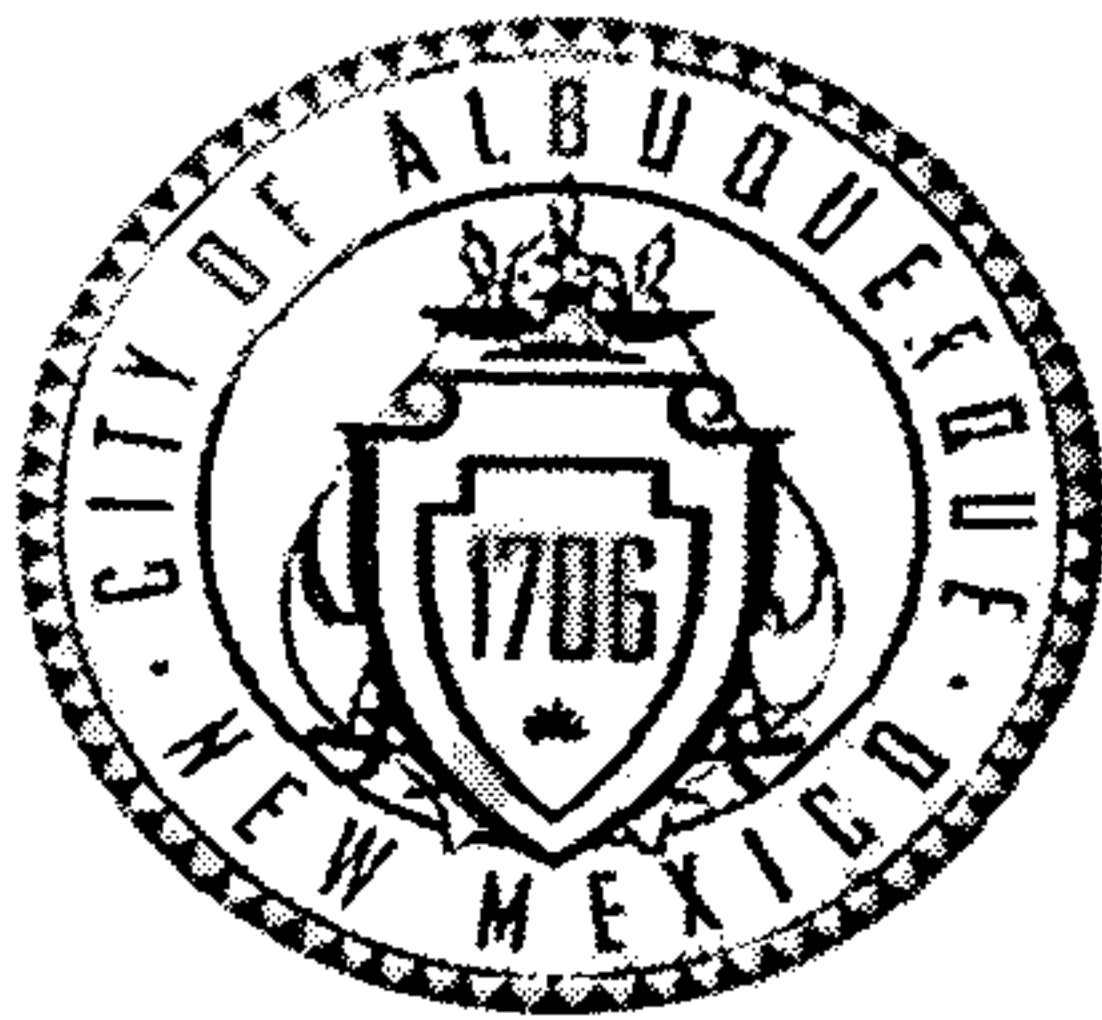
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING?
- OTHER (SPECIFY) \_\_\_\_\_



IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 6-13-2016 By: SHAWN BIAZAR

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Lots 1P1 thru 4-P1, Rohan Subd. Building Permit #: \_\_\_\_\_ Hydrology File #: C19D042A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 17, Block 1, NAA, Tract 2 Unit 3

City Address: NORTHWEST CORNER OF WYOMING AND EAGLE ROCK, NE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505)804-5013 Fax#: (505)897-4996 E-mail: AECLLC@AOL.COM

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL

- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL

- GRADING PERMIT APPROVAL
- SO-19 APPROVAL

- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION

- WORK ORDER APPROVAL
- CLOMR/LOMR

PRE-DESIGN MEETING?

OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 4-27-2016 By: SHAWN BIAZAR



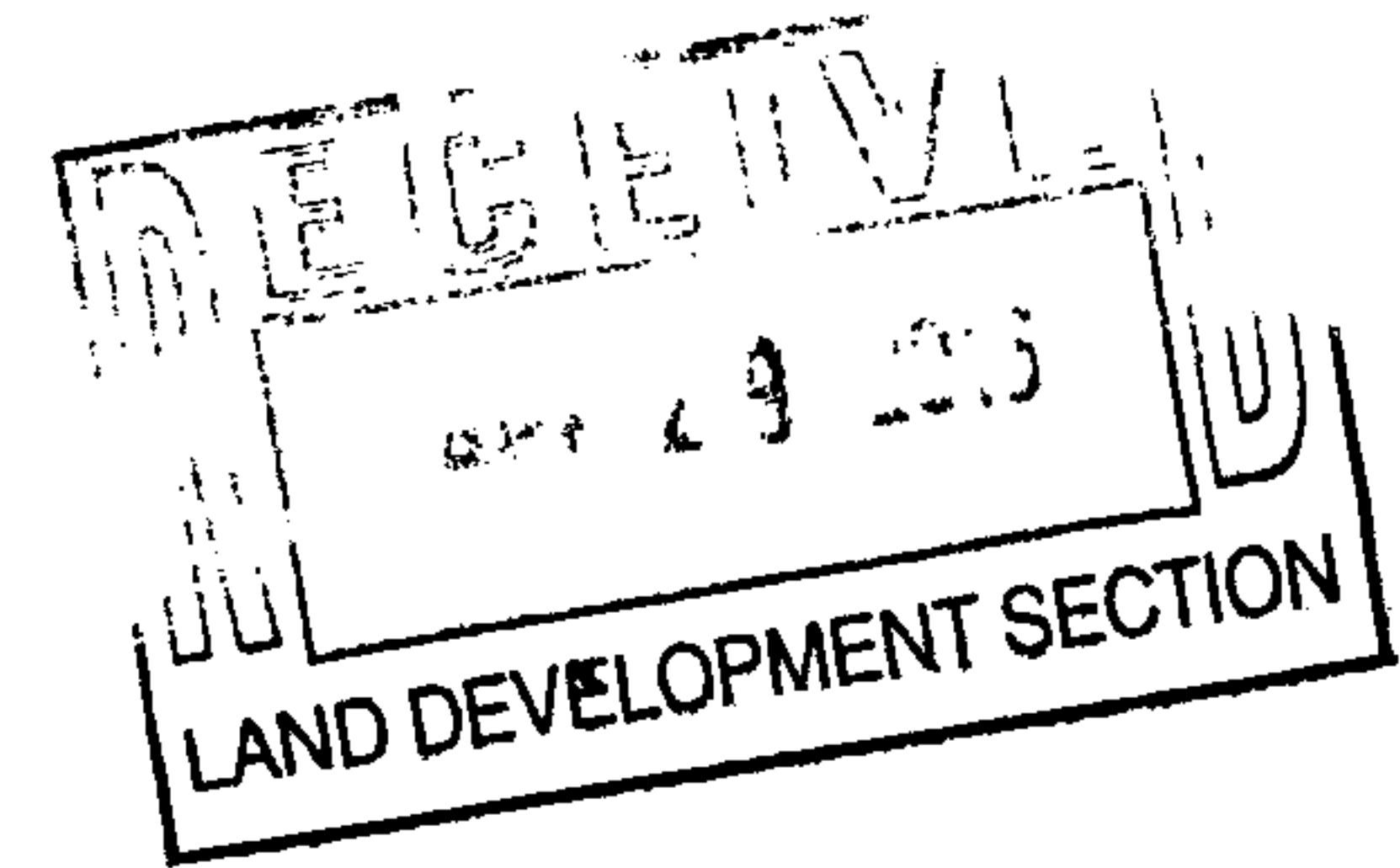
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# *SBS CONSTRUCTION AND ENGINEERING, LLC*

April 27, 2016

Mr. Abiel Carrillo, P. E.  
Principal Engineer, Planning Dept.  
Development Review Services  
P. O. Box 1293, 600 Second Street, NW  
Albuquerque, NM 87103



**RE: Lots 1-P1 Thru 4-P1, Rohan Subdivision , File # C19D042A  
Grading and Drainage Plan, Responses to Comments**

Dear Mr. Carillo:

The following are the responses to your comments received dated March 31, 2016:

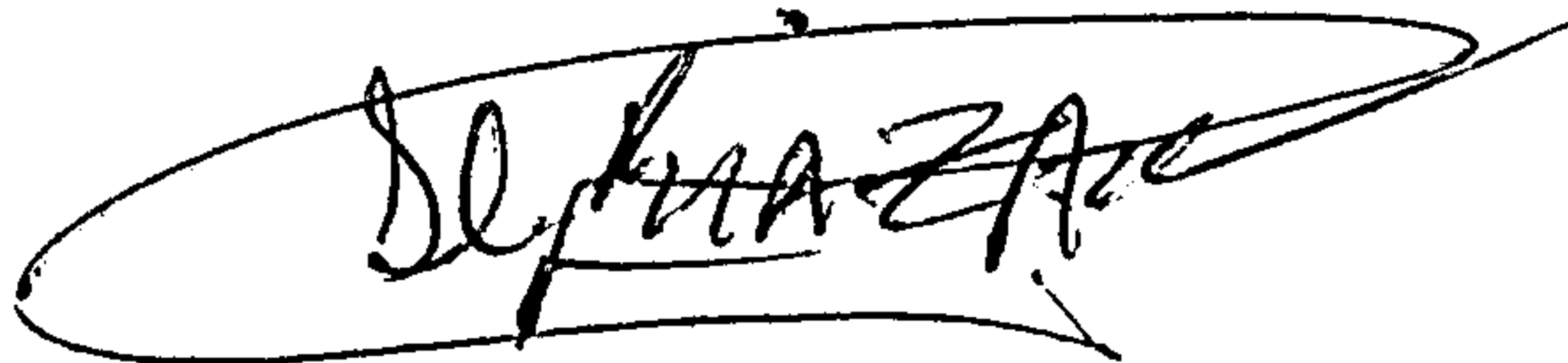
- 1) The AHYMO has been revised and not showing Basin "B".
- 2) We have defined the limits of Basin "A". We are proposing to build the west side of Wyoming Blvd. From the existing permanent curb and gutter to Eagle Rock, Therefore the Basin "A" will be reduced. The owner of this property also has the portion of the Wyoming just to the North under financial guaranty. With building Wyoming Blvd. To Eagle Rock will get that financial guaranty released. We also deleted the pond in Basin "A". The water in Basin "A" (only 0.3 cf) will convey to existing concrete channel between lots 5-P-1 and 6-P1, La Vista Subdivision. That channel was originally design to convey the water east of the lots.
- 3) The proposed contours has been added and spot elevations has been added to the grading plan to show the intent of the grading.
- 4) A note will be added to the Preliminary Plat to include A Blanket Cross Lot Drainage Easement and the maintenance responsibility.
- 5) A cross section of the access road has been added to the plan.
- 6) A note was added. Please see Note 6 under General Notes.
- 7) There are no swales between lot 3-P1 and 4P-1. The water on the East side of Lot 4-P1 drains down to the pond and drains into the proposed access road and the water on the West side of lot 3-P1 drains to the south and then into the proposed access road.
- 8) We have coordinated our grading plan with adjacent Lot 9C grading plan. We have shown the access easement to Lot 9C and spot elevation on adjacent lot. We are also installing mountable curb and gutter for the access point to adjacent lot.
- 9) The first flush calculations are done and shown on the grading plan.
- 10) Actually, our intention is to build Wyoming Blvd from existing curb and gutter to Eagle Rock and also build half of Eagle Rock to our west property line.



- A. We have changed the driveway into just a driveway entrance (COA DWG #2425). The spot elevations are based on the existing contours and spot elevations from the topo. A note to match existing grade also was added to the grading plan.
- B. There are not much of flow in the gutter line and there is existing drop inlet just west of the property.
- C. All the new sidewalks are hatched on the grading plan.

Please Contact me at (505) 804-5013 if you require additional information or have any questions.

Sincerely,



Shahram (Shawn) Biazar, Managing Member

Enclosures  
JN: 201605



## Abiel X. Carrillo

---

**From:** Abiel X. Carrillo  
**Sent:** Thursday, March 31, 2016 5:25 PM  
**To:** 'aecllc@aol.com'  
**Subject:** C19D042A - Lots 1-4, Rohan Subdivision - Stamp Date 3-24-2016

Mr. Biazar,

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based on the information provided in your submittal received 3-24-2016, the above-referenced Drainage Report & Grading Plan cannot be approved for Preliminary Plat, Building Permit, or Grading Permit approval until the following items are addressed:

1. The AHYMO printout analyzes a Basin "B" that is not delineated on the plan.
2. Clarify the limits and outfall of Offsite Basin "A". A previous report by Thompson Engineering Consultants, shows a larger basin dimension (and larger volume). Without any improvement to the east frontage between the back of sidewalk and the wall, the remaining discharge may scour the outside of the wall if that basin is underestimated. A preferable solution is to convey those flows around the project to the Eagle Rock right of way outfall, or else maintenance of the small pond would need to be defined.
  - a. We recommend that you coordinate the proposed plan with the engineer for the adjacent lot.
3. Show the proposed contours for the project (even if they are approximated) to show the intent of the grading between spot elevations. Tie-ins to existing grades around the perimeter of the site needs to be shown.
4. Ensure that the Preliminary Plat includes cross lot drainage easements and maintenance responsibility and beneficiaries listed.
5. Provide a cross-section for the access road to clarify the type of curb and intended cross-slope.
6. Show the intended driveway locations. If they cannot be known at this time, place a note on the plans that if a driveway location conflicts with the proposed location of a first flush pond, the Contractor must relocate the pond with the same volume elsewhere on the lot, except in the rear-lot area.
7. Provide a typical cross-section for the swales between Lot 3-PI and 4-PI.
8. The layout of the access road appears to conflict with the access easement that exists to the adjacent lot.
9. Complete the first flush calculations for all lots, not just for a sample lot.
10. It is understood that this project will not be required to improve Wyoming Blvd, but it appears that those future improvements are shown for information on this plan. Clarify the limits of this project along Eagle Rock.
  - a. The entrance driveway appears to show a valley gutter, but spot elevations do not match the elevations of the existing pavement edge.

- b. The flows concentrated in the flowline of the curb and gutter will need to be conveyed to the right of way with erosion control / energy dissipation.
- c. Clarify the limits of the sidewalk construction.

If you have any question please do not hesitate to contact me.

**Abiel Carrillo, P.E.**

Principal Engineer - Hydrology

Planning Department

Development Review Services Division

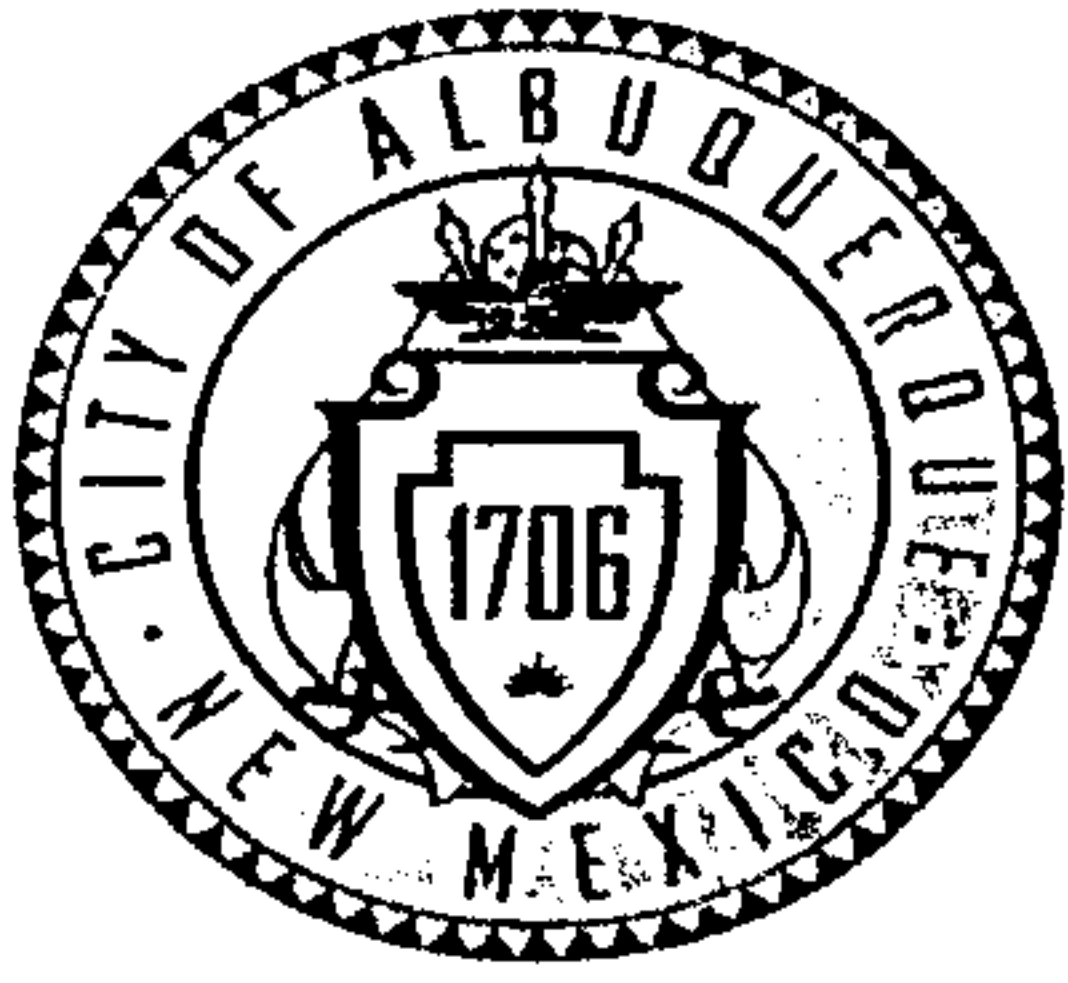
City of Albuquerque

505-924-3986

[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)

600 2<sup>nd</sup> Street NW

Albuquerque, NM 87102



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Lots 1- thru 4, Rohan Sub. Building Permit #: \_\_\_\_\_ City Drainage #: C190042A  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Lot 17, Block 1, NAA, Tract 2, Unit 3  
 City Address: \_\_\_\_\_

Engineering Firm: SBS Construction and Eng, LLC Contact: Shawn Biazar  
 Address: 10209 Snowflake Ct, NW Alb. NM 87114  
 Phone#: 804-5013 Fax#: \_\_\_\_\_ E-mail: AEC LLC@aol.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

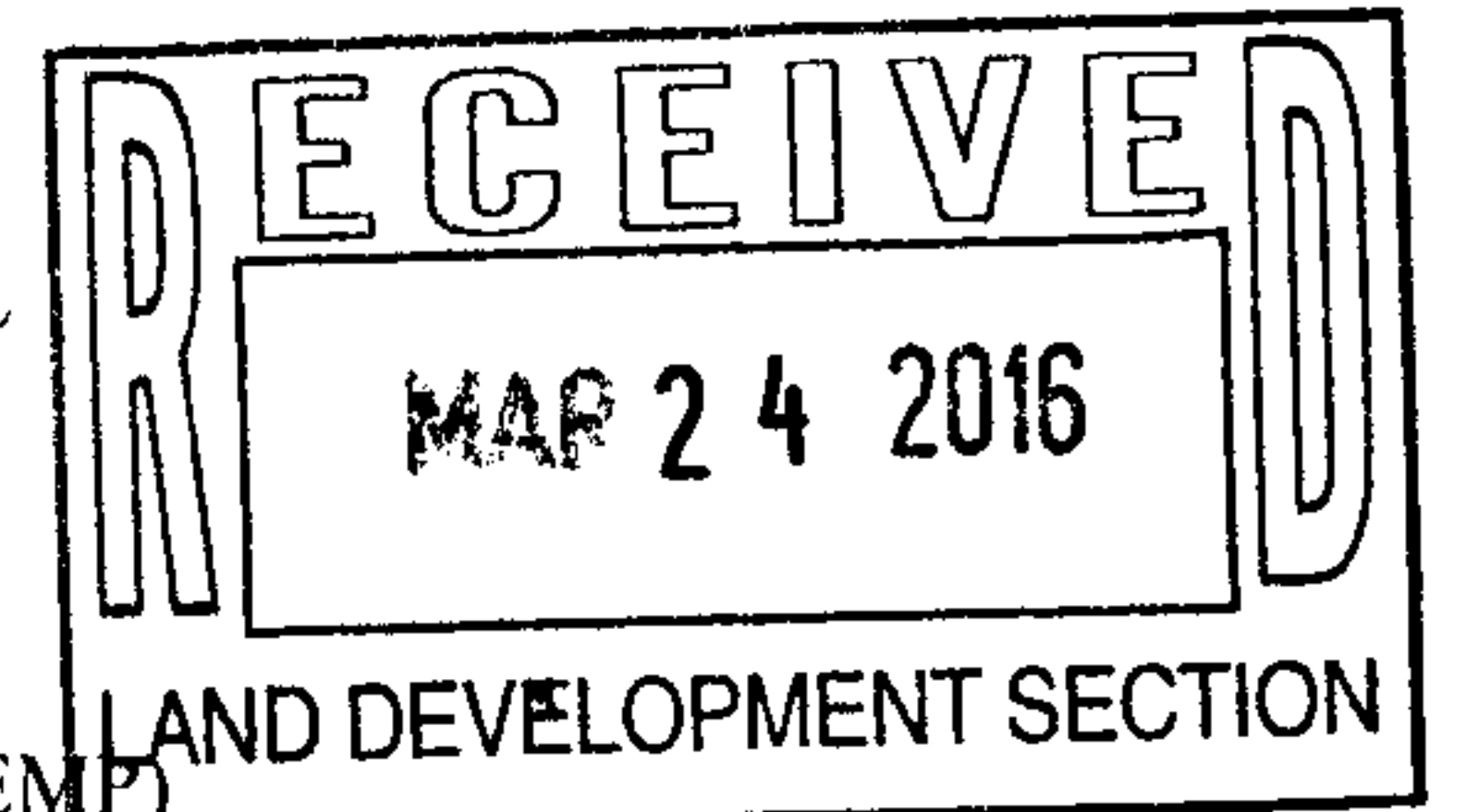
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

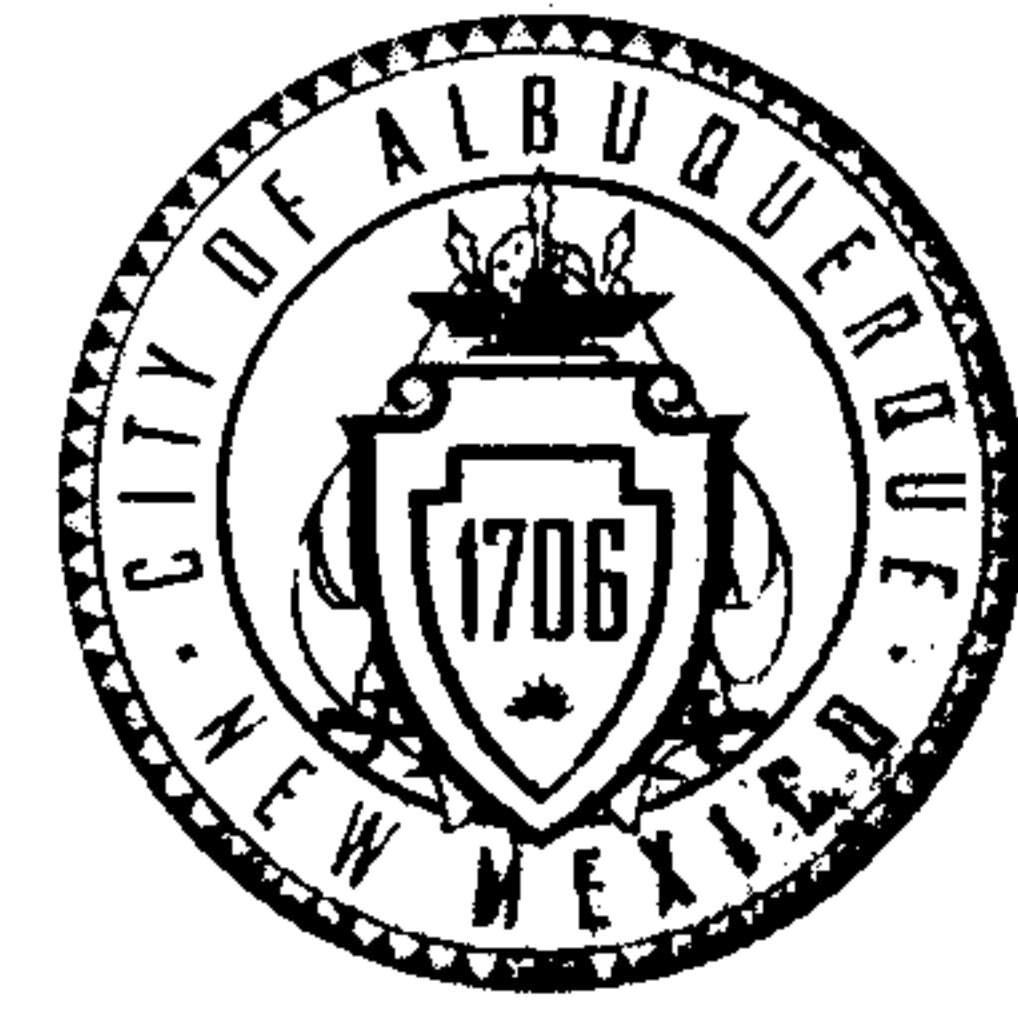
DATE SUBMITTED: 3/24/16 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



# CITY OF ALBUQUERQUE



30 *KL*  
November ~~25~~, 2015

Richard J. Berry, Mayor

David B. Thompson, P.E.  
Thompson Engineering Consultants, Inc.  
P.O. Box 65760  
Albuquerque, NM, 87193

**RE: La Vista Subdivision - Lot 17, Block 1, NAA Tracts 2, Unit 3  
Grading and Drainage Plan  
Engineer's Stamp Date 10-2-15 (File: C19D042A)**

Dear Mr. Thompson:

Based upon the information received on 10-5-2015, the above referenced submittal cannot be approved for Building Permit and Grading Permit until the following items are addressed:

1. Show how the proposed grades around the perimeter of the lot will tie to existing ground.
  - a. East Perimeter: Basin A should be graded to drain to the swale; it appears that the east edge of the swale will be higher than existing ground.
  - b. South Perimeter: Show elevations of the sidewalk that are consistent with the future vertical alignment of the Eagle Rock sidewalk (Sheet 2 shows that the future sidewalk ties to the proposed interim sidewalk).
  - c. Driveway: The spot elevations of the driveway don't match the roadway elevations.
  - d. West Perimeter: Provide a section along the retaining wall to clarify the intent to provide positive drainage away from the wall, or if any fill is needed.
2. Ensure that the NE wall opening is aligned with the low spot, which appears to be at the corner of the Lot 6 & Lot 17 lot line intersection; or show grading that conveys flows to that point. Coordinate the possible need for an easement since the site will be accepting flows from the Wyoming Blvd Right of Way.
3. Provide a roadway edge (curbing or wall) along the west edge of the access easement between the retaining wall and the driveway.

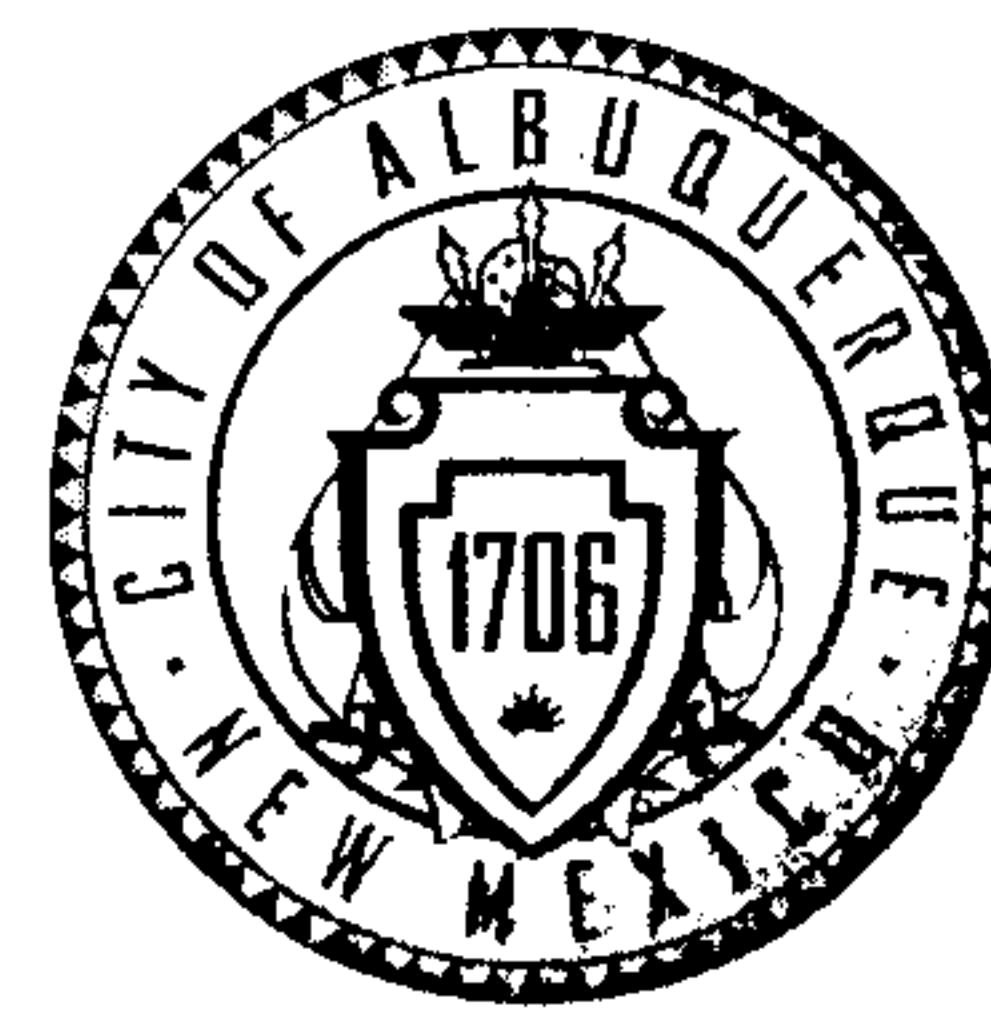
PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

4. The drivepad should have flared corners to prevent potholing at the 90-degree corner with the edge of pavement. It is understood that the improvements on Eagle Rock will develop this driveway; compacted base course can be used to protect the corners in the interim condition.
5. Provide a continuous sidewalk connection across the rock-lined swale (a sidewalk culvert or driveway culvert might be needed).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Orig: Drainage file

**DRAINAGE INFORMATION SHEET**

(REV. 1/28/2003rd)

**LA VISTA SUBDIVISION**

PROJECT TITLE: LOT 17, BLOCK 1, NAA, TRACT 2, UNIT 3 ZONE MAP/DRG. FILE #: C-19-D042A  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17, BLOCK 1, NAA TRACT 2, UNIT 3  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.  
ADDRESS: P.O. Box 65760  
CITY, STATE: Albuquerque, NM

CONTACT: David Thompson  
PHONE: 271-2199  
ZIP CODE: 87193

OWNER: Esmail Haidari  
ADDRESS: 12008 Gazelle Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Esmail Haidari  
PHONE: 480-2533  
ZIP CODE: 87111

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Cartesian Surveys, Inc.  
ADDRESS: P.O. Box 44414  
CITY, STATE: Rio Rancho, NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87174

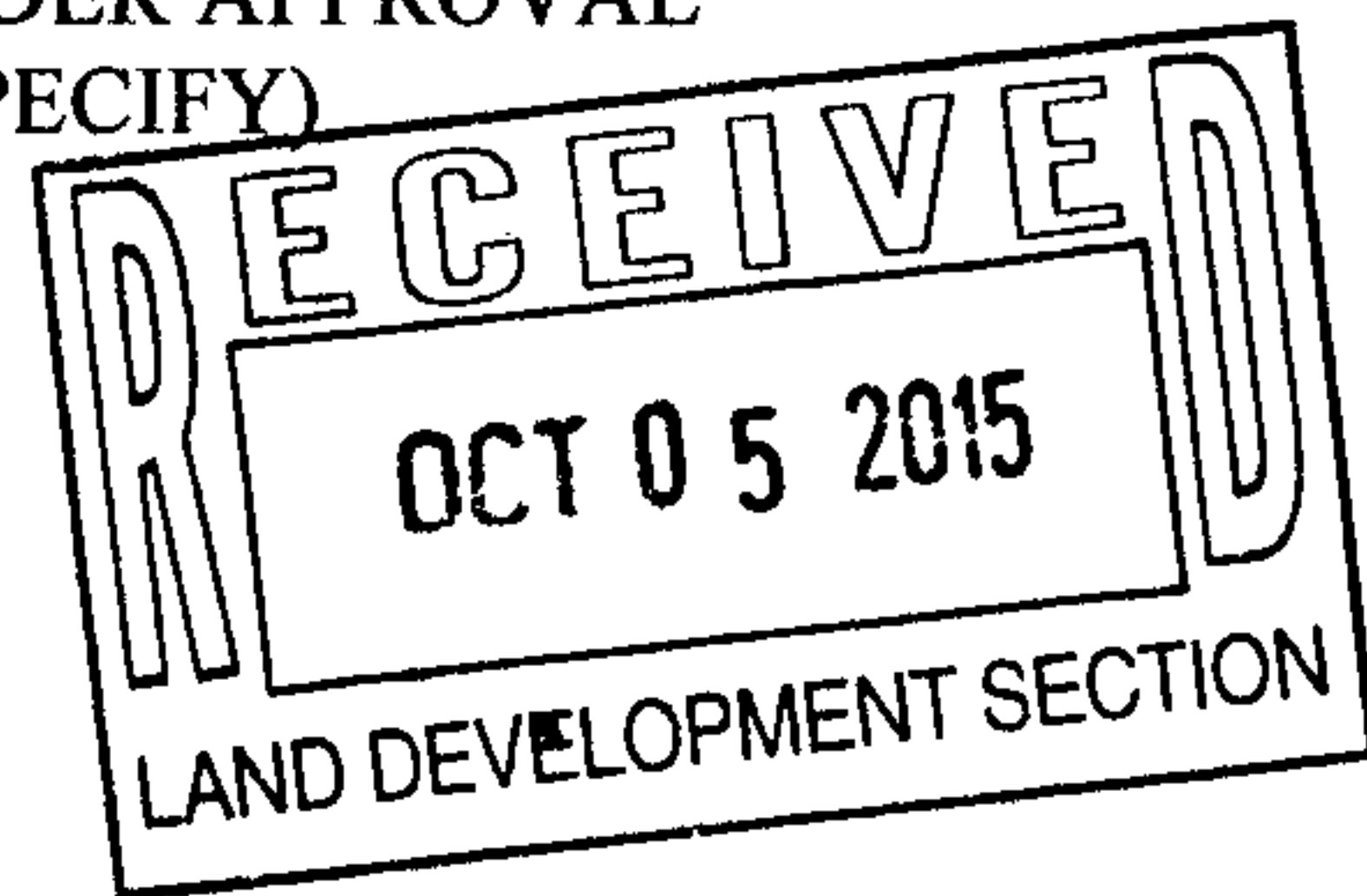
CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

- CHECK TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
  - DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL or equal
  - DRAINAGE PLAN RESUBMITTAL
  - CONCEPTUAL GRADING & DRAINAGE PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERTIFICATION (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT (TCL)
  - ENGINEER'S CERTIFICATION(TCL)
  - ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
  - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D. APPROVAL
  - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM.)
  - CERTIFICATE OF OCCUPANCY (TEMP.)
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**  
 YES  
 NO  
 COPY PROVIDED



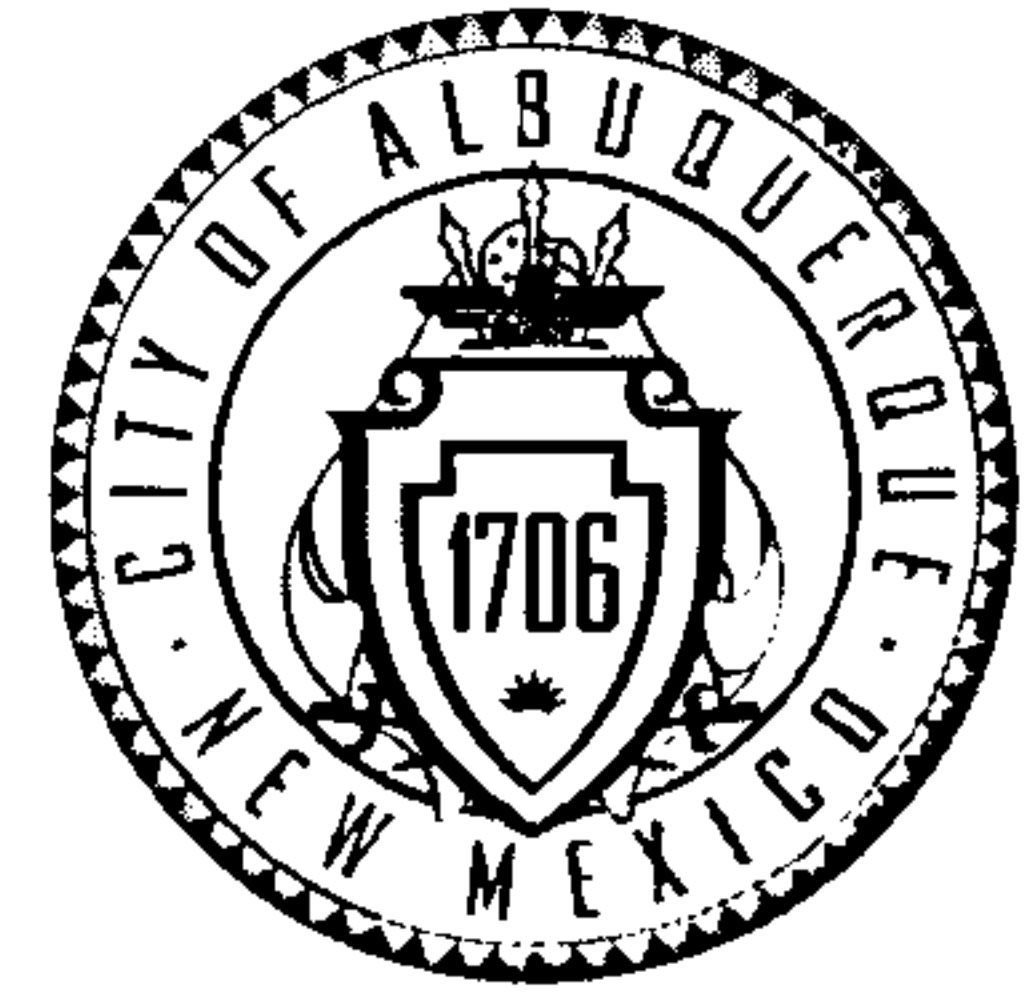
DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

W

# CITY OF ALBUQUERQUE



August 28, 2014

Mr. David Thompson  
Thompson Engineering Consultants  
PO Box 65760  
Albuquerque, NM 87193

**Re: La Vista Subdivision  
Grading and Drainage Plan  
Engineer's Stamp Date 8-28-14 (C19D042A)**

Dear Mr. Thompson,

Based upon the information provided in your submittal received 8-28-14, the above referenced plan is approved for Grading Permit for Lot 17 of La Vista Subdivision. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Building Permit approval, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3994.

New Mexico 87103

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

www.cabq.gov

C: e-mail

9/2/14  
BP WAS APPROVED  
BUT HAS HARD HOLD  
ON IT. NO BP INSPECTIONS  
ALLOWED UNTIL  
THEY PROVIDE US  
CALCULATED GRADES  
THAT WE CAN APPROVE.



# DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: LA VISTA SUBDIVISION ZONE MAP/DRG. FILE #: C-19-D042A  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17, BLOCK 1, NAA TRACT 2, UNIT 3  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.  
ADDRESS: P.O. Box 65760  
CITY, STATE: Albuquerque, NM

CONTACT: David Thompson  
PHONE: 271-2199  
ZIP CODE: 87193

OWNER: Esmail Haidari  
ADDRESS: 12008 Gazelle Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Esmail Haidari  
PHONE: ~~480-2533~~ cell 251-6088  
ZIP CODE: 87111

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
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SURVEYOR: Cartesian Surveys, Inc.  
ADDRESS: P.O. Box 44414  
CITY, STATE: Rio Rancho, NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87174

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

### CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL or equal
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERTIFICATION(TCL)
- ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

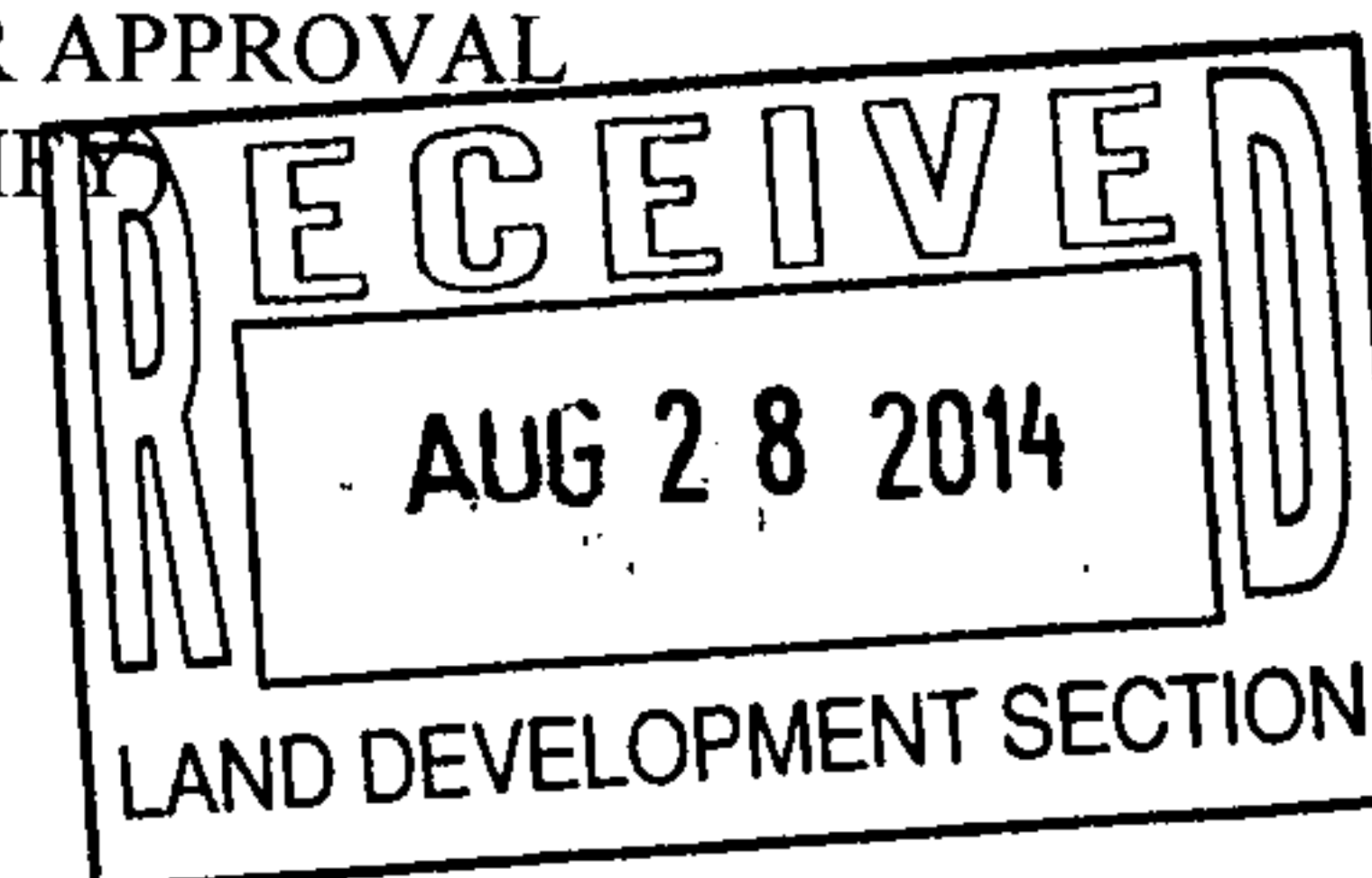
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- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

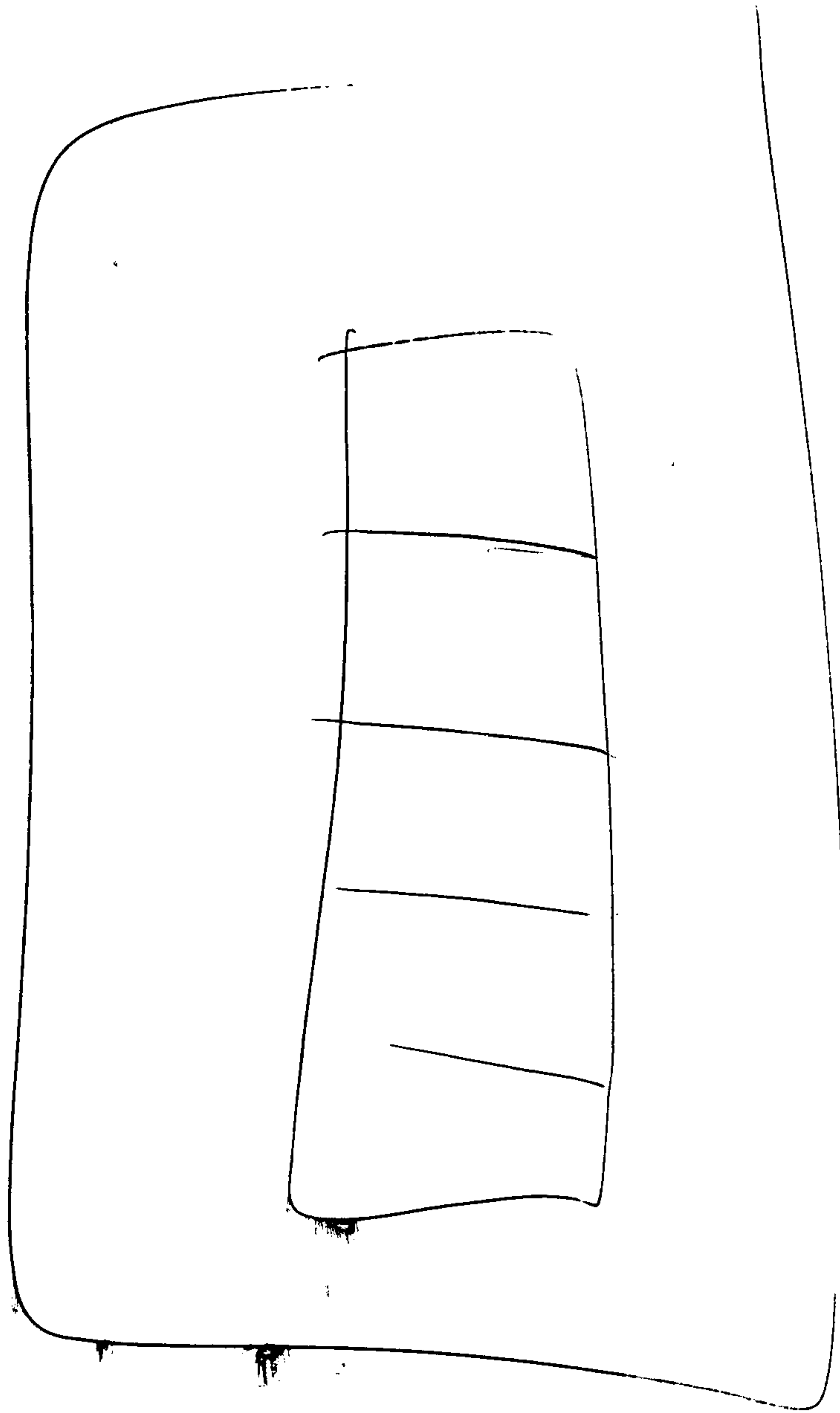
- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: August 28, 2014 BY: 



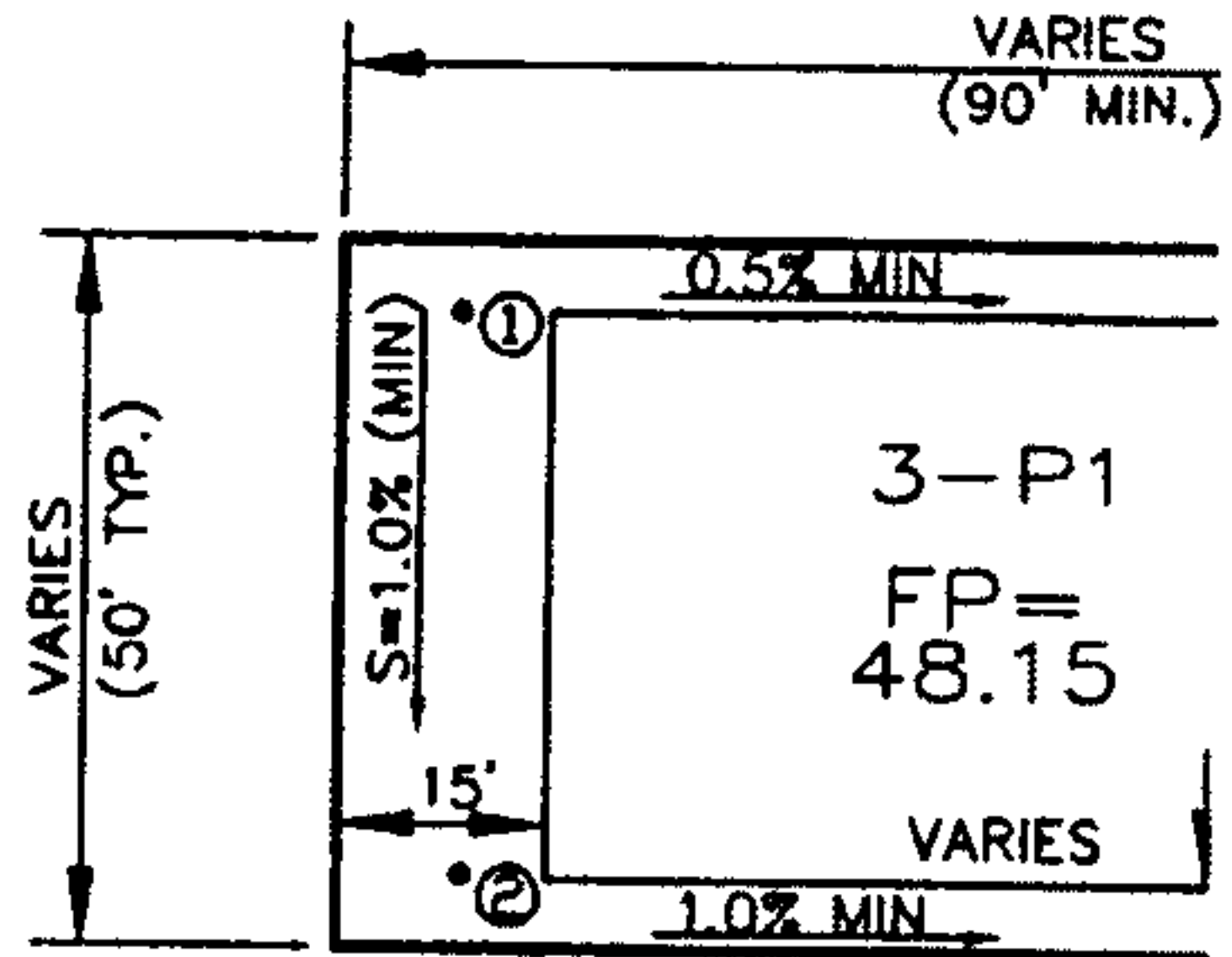
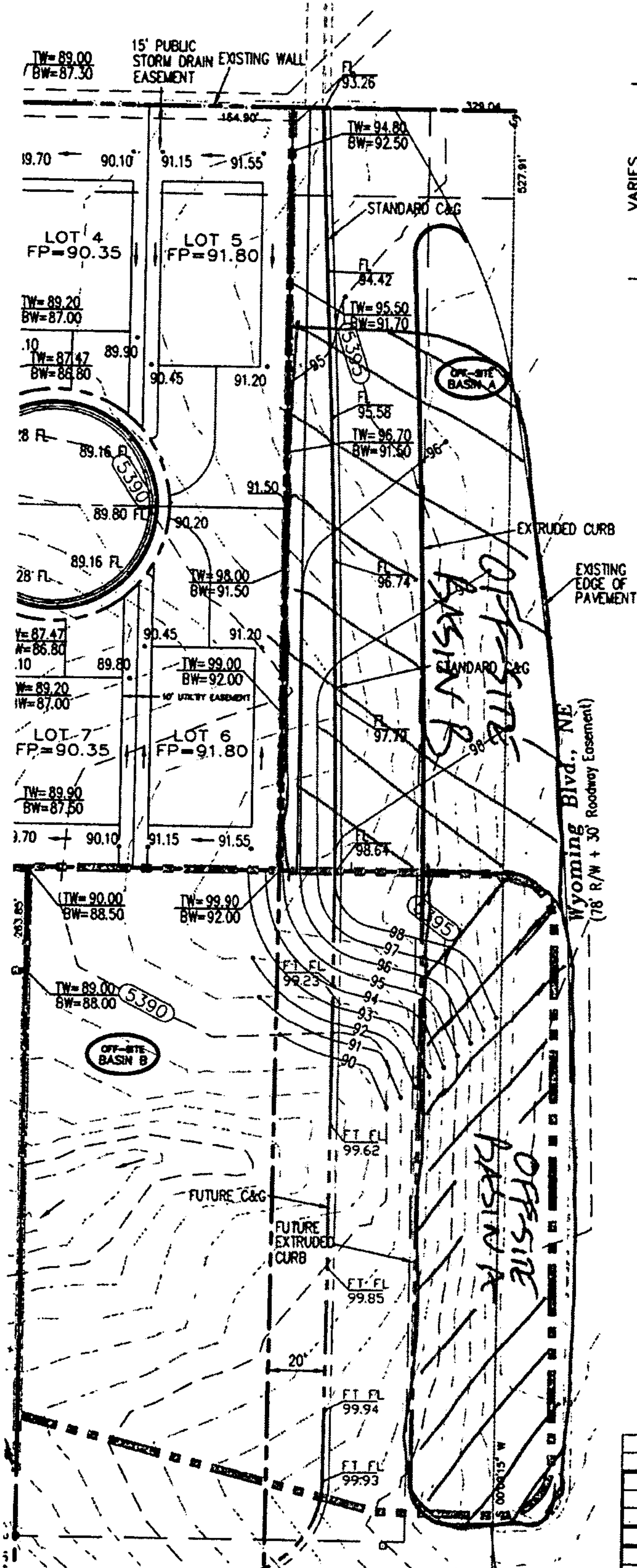
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



elbe seb

LOT 17 BASIN EXHIBIT



**TYPICAL LOT GR**

- TO SET SPOT ① - SUBTRACT 0.25'
- TO SET SPOT ② - SUBTRACT LENGTH
- TO SET SPOT ③ - SUBTRACT LENGTH
- TO SET SPOT ④ - SUBTRACT LENGTH
- TO SET SPOT ⑤ - MULTIPLY D1 BY

**DRAINAGE PLAN:**

LEGAL DESCRIPTION: L.C. NORTH ALBU

SITE AREA: 1.92 ACRES

FLOOD HAZARD STATEMENT  
35001C0133G & 35001C014  
FLOODPLAIN. THE NORTH I  
CHANCE FLOOD DISCHARGE

LOCATION AND DESCRIPTION  
EAGLE ROCK AVENUE. AT T

EXISTING DRAINAGE CONDITI

THE DRAINAGE ANALYSIS FO  
22.2, HYDROLOGY. THE PR

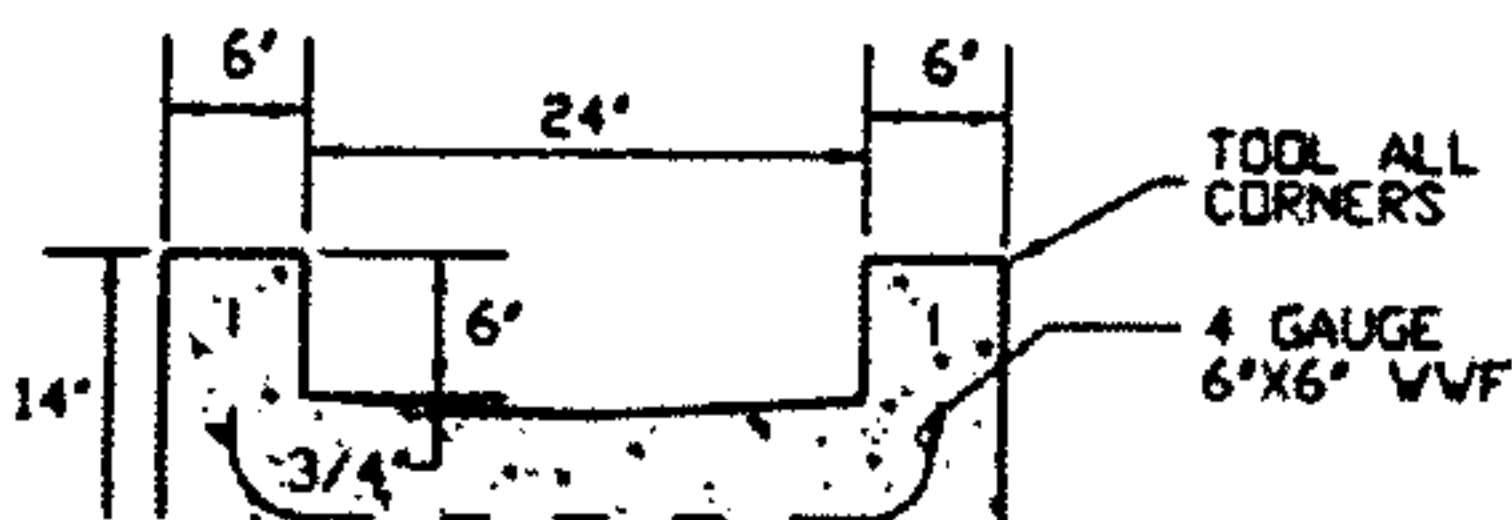
THE SITE CURRENTLY DRAIN  
THERE ARE OFFSITE FLOWS  
EXISTING 108 INCH RCP ST

DEVELOPED DRAINAGE CONC

THE PROPERTY HAS BEEN I  
PORTION OF WYOMING BOUL  
IN A TEMPORARY RETENTIO  
1,126 CUBIC FEET. THE PON  
CONSTRUCTED TO ACCOMOC  
FLOWS WILL BE DIRECTED N  
REACHING THE SUBDIVISION.  
CUEVA CHANNEL.

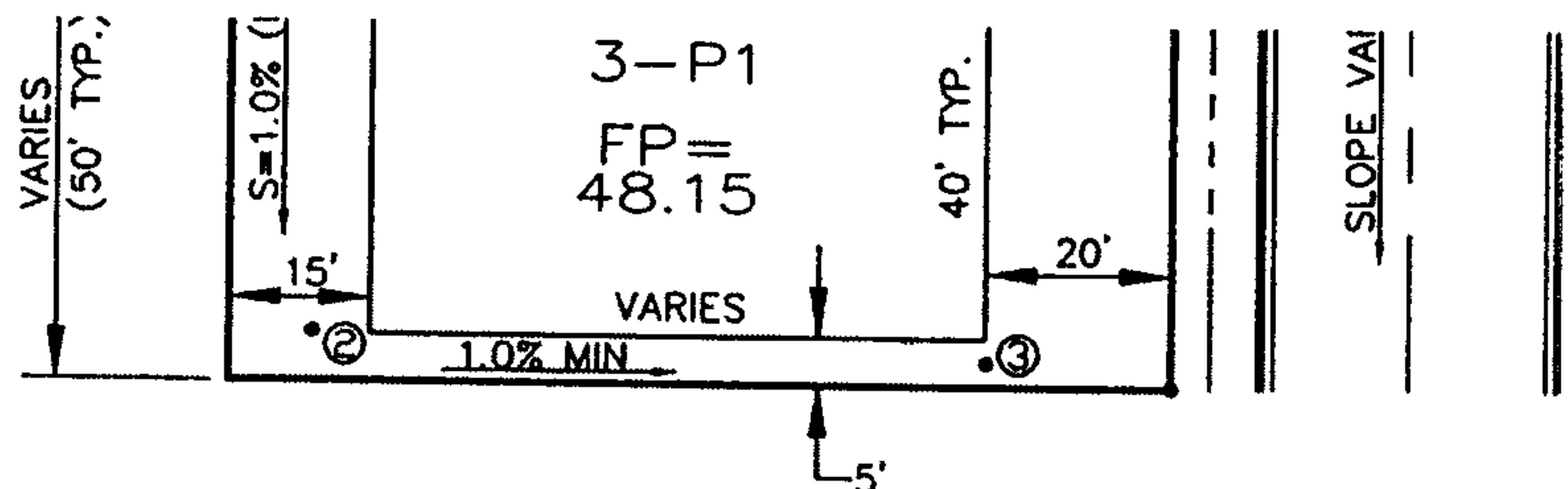
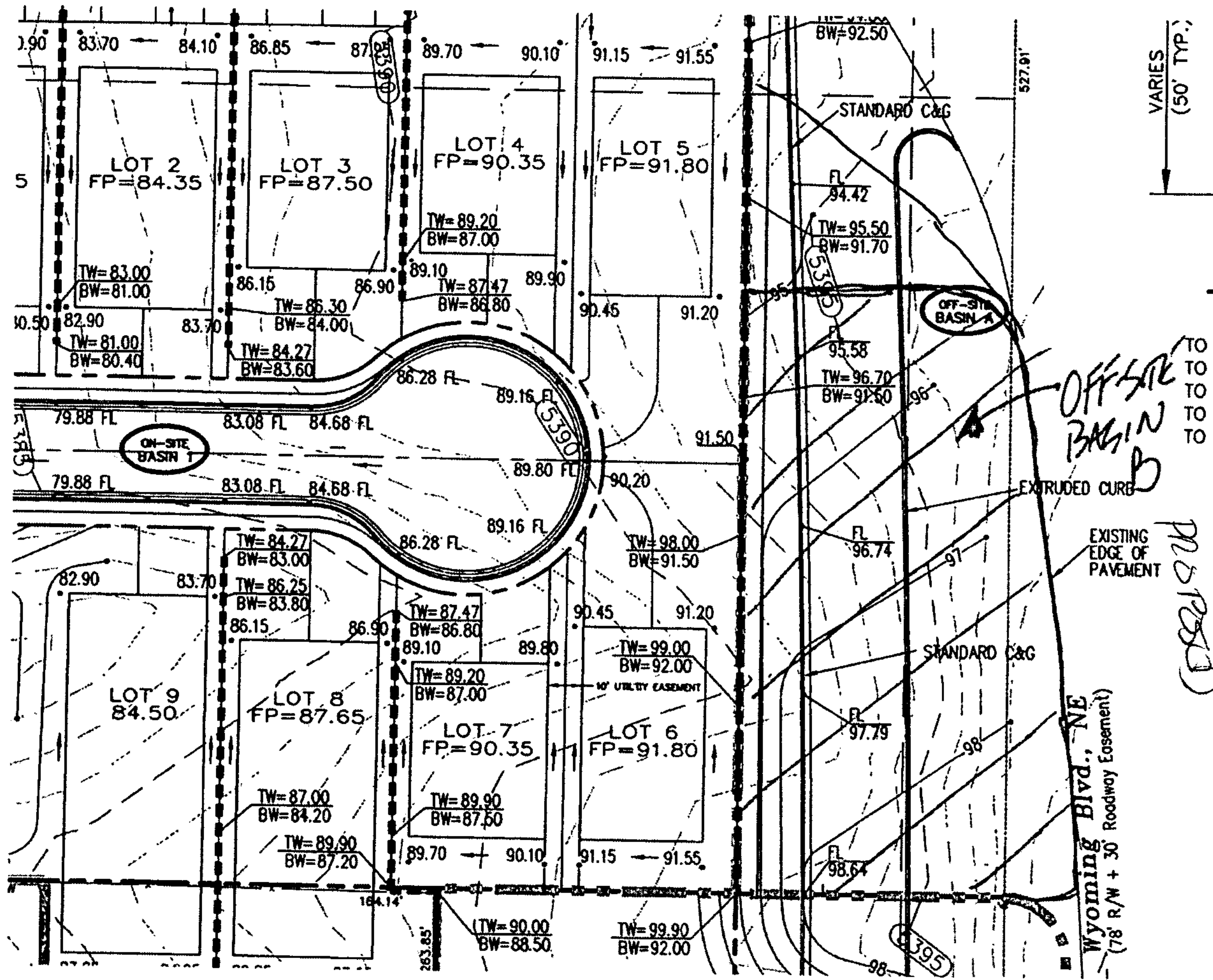
RUN-OFF FROM ON-SITE B.  
TOWARD THE CUL-DE-SAC.  
DISCHARGED TO THE LA CU  
COURT. RUNOFF FROM ON-  
CHANNEL. TOTAL RUNOFF F

NC



| 100-YR       |             |           |       |
|--------------|-------------|-----------|-------|
| BASIN #      | AREA (acre) | LAND TREA |       |
|              |             | A (%)     | B (%) |
| OFF-SITE A   | 0.4700      | 0.00      | 0.00  |
| OFF-SITE B   | 1.0000      | 0.00      | 0.00  |
| ON-SITE 1    | 1.5500      | 0.00      | 0.00  |
| ON-SITE 2    | 0.3700      | 0.00      | 0.00  |
| TOTAL RUNOFF | 3.39        |           |       |
| ON-SITE 1    | 1.5500      | 0.00      | 0.00  |
| ON-SITE 2    | 0.3700      | 0.00      | 0.00  |
| TOTAL RUNOFF | 1.92        |           |       |





**TYPICAL LOT GRADING PLAN**

NO SCALE

- TO SET SPOT ① - SUBTRACT 0.25' FROM THE PAD ELEV.
- TO SET SPOT ② - SUBTRACT LENGTH MULTIPLIED BY 1.0%
- TO SET SPOT ③ - SUBTRACT LENGTH MULTIPLIED BY 1.0% FROM SPOT ②
- TO SET SPOT ④ - SUBTRACT LENGTH MULTIPLIED BY 0.5% FROM SPOT ①
- TO SET SPOT ⑤ - MULTIPLY D1 BY 2.0%, ADD CURB HEIGHT, AND ADD 1

**DRAINAGE PLAN:**

LEGAL DESCRIPTION: LOTS 15, 16, & 18A, BLOCK 1, NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 & 8

SITE AREA: 1.92 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND 35001C0133G & 35001C0141G) INDICATES A FLOOD HAZARD ZONE FLOODPLAIN. THE NORTH LA CUEVA CHANNEL AT THE SOUTHWEST CORNER FLOOD DISCHARGE CONTAINED IN CHANNEL.

LOCATION AND DESCRIPTION: THE PROPERTY IS LOCATED BETWEEN EAGLE ROCK AVENUE. AT THE SOUTHWEST CORNER OF THE PROPERTY.

**EXISTING DRAINAGE CONDITIONS:**

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH 22.2, HYDROLOGY. THE PROPERTY IS LOCATED IN ZONE 3. THERE ARE OFFSITE FLOWS FROM THE EAST. ONCE WYOMING BLVD. EXISTING 108 INCH RCP STORM DRAIN.

THE SITE CURRENTLY DRAINS FROM EAST TO WEST TO PINON VI THERE ARE OFFSITE FLOWS FROM THE EAST. ONCE WYOMING BLVD. EXISTING 108 INCH RCP STORM DRAIN.



# CITY OF ALBUQUERQUE



August 28, 2014

Mr. David Thompson  
Thompson Engineering Consultants  
PO Box 65760  
Albuquerque, NM 87193

**Re: La Vista Subdivision**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date ~~6-17-14~~ (C19D042A)**  
*8/25/14*

Dear Mr. Thompson,

The above referenced plan cannot be approved for Building Permit for Lot 17 and for Grading Permit for Lot 9C until the following comments are addressed:

1. Determine the size of the Basin B in the final condition with a redesign of Wyoming east of the constructed La Vista Subdivision. Since the redesign of Wyoming east of Lot 17 is no longer necessary, the proposed design for Wyoming submitted with the interim area of Basin B is no longer practical. Provide a redesign of Wyoming east of the constructed La Vista Subdivision that shows the size of the final Basin B. Design Lot 17 for the larger flow and volume whether or not those are due to the interim condition or final condition.
2. Based upon emails forwarded by you from AMAFCA, AMAFCA is suggesting a French drain instead of draining into the channel. The French drain concept is acceptable to City Hydrology. Design the French drain for the 100 year 6 hour storm. An on-site percolation test will be necessary for that design. Revise your plan to show a French drain. Include the design calculations for the French drain.
3. At the southeast corner of the proposed pool on Lot 9C, surface water drains into the pool. Revise so water does not drain into the pool.
4. On Lot 17, the proposed driveway is not in alignment with the gravel driveway. Revise the alignment. The spots elevations of the southern end of the drive are not match the existing concrete drive. Revise the spot elevations. Add a curb or wall along the western edge of the driveway from the wall (elevation 87.5) to the southern property line of Lot 17. Extend the proposed concrete drive five feet north of the swale so the swale does not erode the driveway.

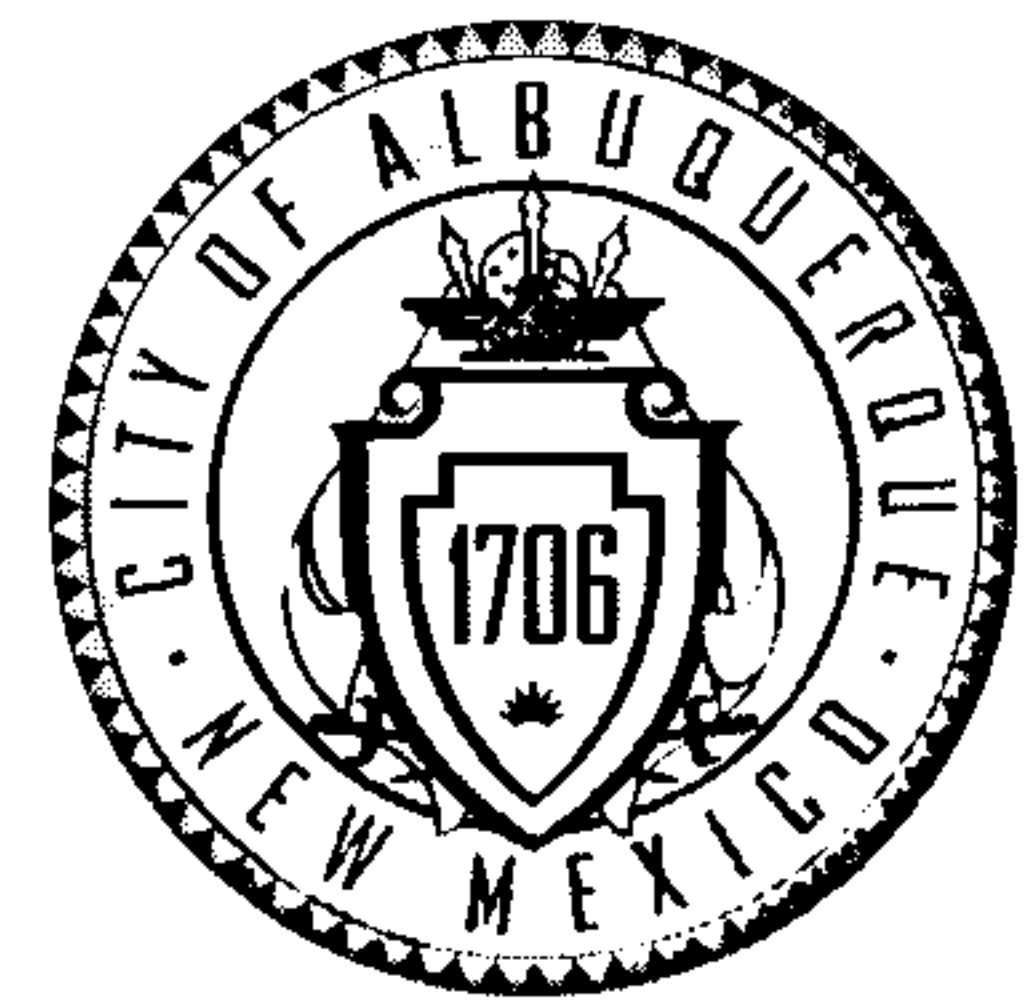
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New Mexico 87103

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# CITY OF ALBUQUERQUE



5. On the western edge of Lot 17, you are proposing 8-12% slopes the access easement to Lot 9C. While a water block is necessary, a smoother transition along the access driveway is also necessary.
6. Include the height of the wall opening on the north side of Lot 17.
7. A swale is drawn along the eastern edge of Lot 17. There is a 2 foot drop over 2 feet from the western edge of the swale to the spot elevation for the back of the yard. You have stated in conversation that a wall will be there. Show the wall on the drawings.
8. Walls will be separating the back yards. Show the walls and provide an opening for the back yards to drain through.
9. Provide spot elevations on the sidewalk.
10. Lynn Mazur from AMAFCA has approved Lot 17 but not Lot 9C. Lot 9C cannot be approved by City Hydrology until Lot 9C is approved by AMAFCA.
11. Note that Lot 9C will not be approved for Building Permit until the lien is removed from Lot 9C.
12. You have requested that Lot 17 be approved before Lot 9C since Lot 9C will take more time to approve due to the percolation test. Make separate submittals for each lot from now on. Lot 17 will be kept under C19-D042A. Lot 9C will be placed under a different file. Drainage review fees will be necessary for Lot 9C.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail

**DRAINAGE INFORMATION SHEET**

(REV. 1/28/2003rd)

11  
11  
11  
11

PROJECT TITLE: LA VISTA SUBDIVISION ZONE MAP/DRG. FILE #: C-19-D042A  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 9C, LA VISTA AT DESERT RIDGE SUBDIVISION: LOT 17, BLOCK 1, NAA TRACT 2, UNIT 3

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.  
ADDRESS: P.O. Box 65760  
CITY, STATE: Albuquerque, NM

CONTACT: David Thompson  
PHONE: 271-2199  
ZIP CODE: 87193

OWNER: Esmail Haidari  
ADDRESS: 12008 Gazelle Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Esmail Haidari  
PHONE: 480-2533  
ZIP CODE: 87111

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Cartesian Surveys, Inc.  
ADDRESS: P.O. Box 44414  
CITY, STATE: Rio Rancho, NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87174

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL or equal
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERTIFICATION(TCL)
- ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

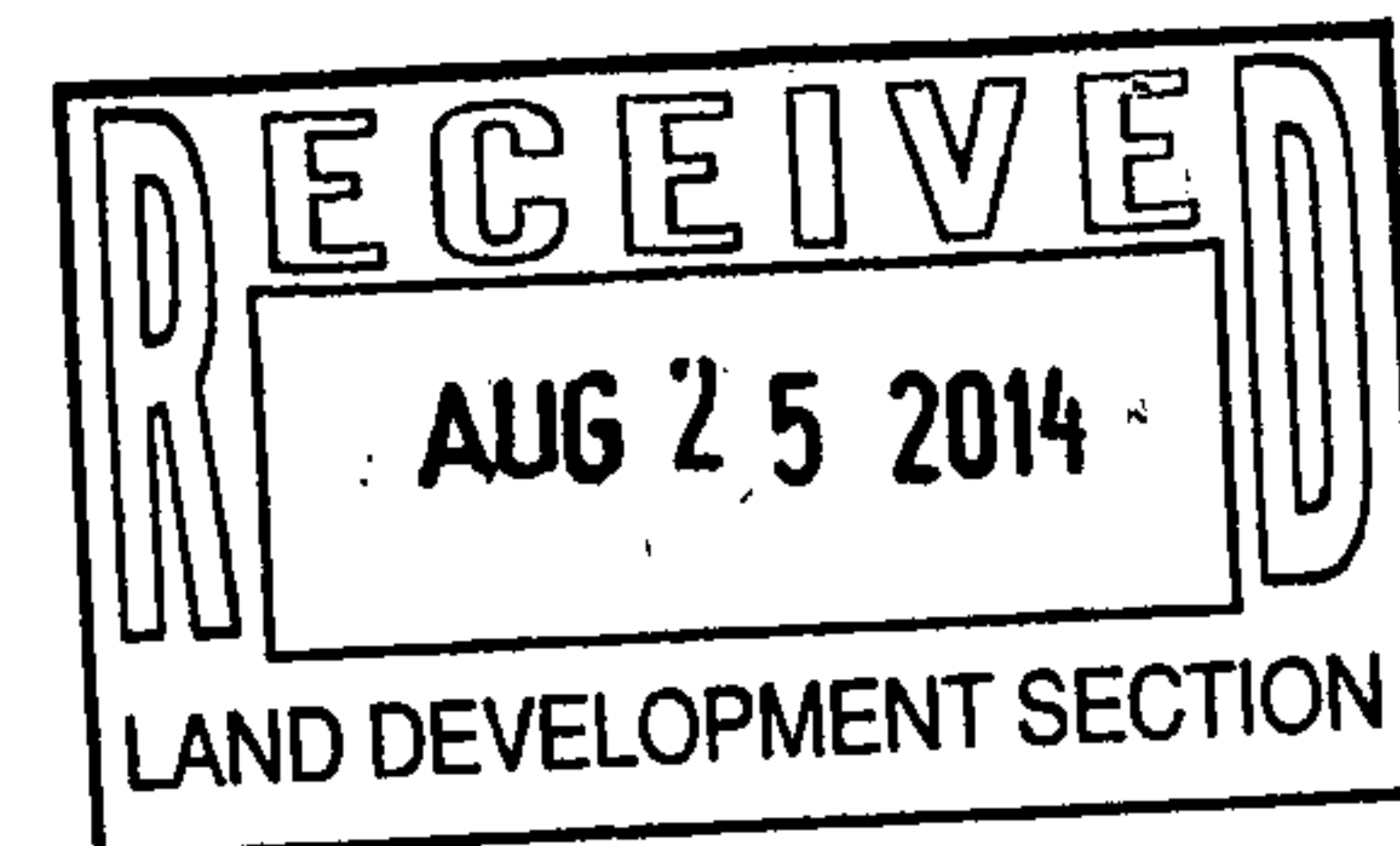
- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: August 25, 2014

BY: 



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



August 25, 2014

Ms. Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: RESPONSE TO COMMENTS CONCERNING THE LA VISTA SUBDIVISION  
GRADING AND DRAINAGE PLAN DATED JUNE 17, 2014 (C19-D042A)**

Dear Ms. Niese:

This letter summarizes our responses to your comments on the La Vista Subdivision Grading and Drainage Plan in letters dated July 17, 2014 and August 7, 2014.

Comment 1: The property and adjoining ones have been regarded. Provide a current survey on the grading plan.

Response: An updated topographic survey of the property and off-site area is included with this grading and drainage plan.

Comment 2: Provide a plan and profile design of Wyoming Boulevard.

Response: This comment was dropped.

Comment 3: Design and build a sidewalk adjacent to the property along Eagle Rock Avenue.

Response: A 4-foot sidewalk is shown on the grading plan along Eagle Rock Avenue.

Comment 4: The retention ponds in the back of lots are not an acceptable design.

Response: The retention ponds in the back of lots have been eliminated and now drain to the south in a swale.

Comment 5: A municipal lien is on Lot 9C. Grading of the lot will be allowed with an approved grading and drainage plan. However, no Building Permit will be issued for Lot 9C until the lien is released from the property.

Response: Agreed.

Comment 6: The off-site basin should include a portion of the strip to the north adjacent to Wyoming and some of Wyoming itself.

Response: We have included an additional off-site basin north of Lot 17.

Comment 7: Provide calculations for the storm drain.

Response: Results of storm drain calculations using Manning's Equation has been included.

Ms. Amy L. D. Niese, P.E.

August 25, 2014

Page 2

Comment 8: The first flush from the 100-year, 6-hour storm is required to be retained. Provide a design that retains the 0.44-inch less the initial impervious abstraction.

Response: Retention ponds for the first flush have been added for both lots.

— Comment 9: Rip-rap should connect all the way to the proposed inlet.

Response: The rip-rap diversion swale for the off-site basins is now connect to the gravel driveway and directed to Eagle Rock Avenue through the Lot 17 concrete driveway.

Comment 10: The discharge to La Cueva Channel should be concrete instead of rip-rap.

Approval from AMAFCA is required before the City can approve the Grading and Drainage Plan.

Response: In a previous review letter dated October 24, 2102 from Lynn Mazur of AMAFCA (attached), she stated that AMAFCA would like a beehive inlet and PVC drain pipe discharging to a rip-rap pad to the channel.

Comment 11: Show the intended labels on your tables.

Response: The labels in the table are now clear.

If you should have any questions about these responses to comments, please call me at 271-2199.

Sincerely,

A handwritten signature in black ink, appearing to read "David B. Thompson". The signature is fluid and cursive, with a long horizontal stroke at the end.

David B. Thompson, P.E.



8/25/14

INTERIM

BASIN A .47 CFS

BASIN B (North) .71 CFS

1.18 CFS ← WORST CASE

Not show extents of current Basin A

FINAL

BASIN A = ~~.47~~ CFS .09

BASIN B(N) = ~~.71~~ CFS .29

.39

Show Basin A to Wyo

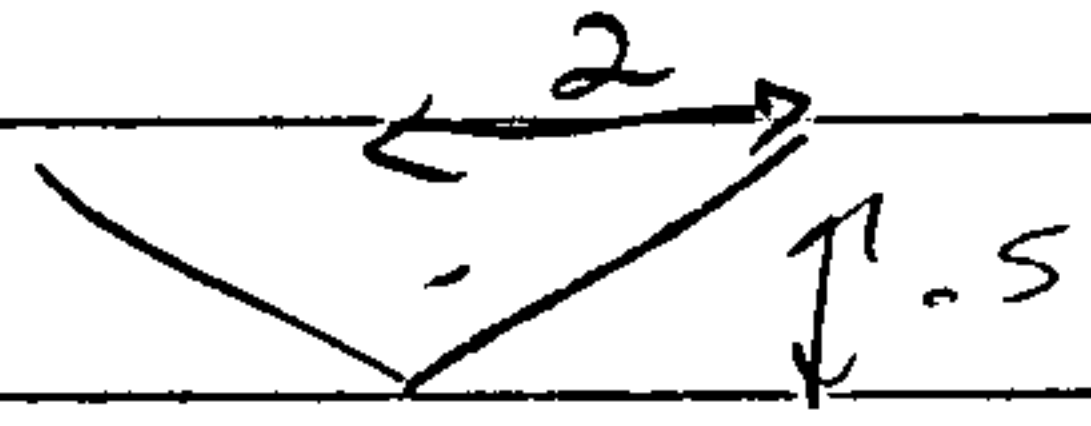
Core is 4' N not 5'

LA VISTA LOT 17+9C

8/26/14

$$Q = \frac{1.49 A R^{2/3} \sqrt{S}}{n}$$

$$R = \frac{A}{WP} = \frac{2(1/2)2(.5)}{2.06} = .49$$



$$n = .035$$

$$A = 1$$

$$S = .0083$$

$$Q = \frac{1.49 (1) (.49)^{2/3} \sqrt{.0083}}{.035} = 2.41 > .47 \text{ cfs} \checkmark$$

and .71 cfs ✓

$$V_{1.75} = A_{1.75} \times .34 = .313 \left( .7277 \text{ AC FT} \right) \frac{43560 \text{ SF} \left( .34 \text{ IN} \right) \text{ FT}}{\text{AC} \quad 12 \text{ in}} = 281 \text{ CF}$$

providing 282 ✓

$$V_2 = .397 \left( .2436 \right) 43560 \left( .34 \right) = 119$$

12 providing 120 ✓

Leann Meyer 8/27/14  
Private storm drain permit  
or landkeeping license  
\$150

Prefer going to City road  
& storm drain first

4<sup>th</sup> ~~301~~ Thru Sept 25

Not prepared all  
She will talk to Jerry  
Don't want pesticides

Curtis  
percolation test for rate

## Niese, Amy

---

**From:** Thompson Engineering consultan <tecnm@yahoo.com>  
**Sent:** Tuesday, August 26, 2014 10:07 PM  
**To:** Niese, Amy; Cherne, Curtis  
**Subject:** Fw: La Vista at Desert Ridge  
**Attachments:** Lot 9C.pdf

Amy and Curtis,

See Lynn's comments below. Lynn suggests installing a french drain on Lot 9C instead of draining to the channel. Would this be allowable by the City? Please let me know what you think.

Thanks,

David B. Thompson, P.E.  
Thompson Engineering Consultants, Inc.  
P.O. Box 65760  
Albuquerque, NM 87193  
Office: (505) 271-2199  
Fax: (505) 830-9248

LOT 17 OK BY LYNN

On Tuesday, August 26, 2014 4:29 PM, "Mazur, Lynn" <[lmazur@amafca.org](mailto:lmazur@amafca.org)> wrote:

Re: Lot 9C, La Vista at Desert Ridge Grading & Drainage Plan, Engineer's Seal Dated 8-25-14

I cannot approve the plan that was delivered today. Following are my comments:

1. AMAFCA will not maintain the pipe and riprap in AMAFCA's right-of-way.
2. I don't see a dimension on the pipe length, but anything beyond a few inches may be destroyed by AMAFCA's maintenance vehicles and activities.
3. Any work in AMAFCA's right-of-way will require a permit with the owner and contractor. Since this is a private pipe in public right-of-way, it will have to be approved by the AMAFCA Board of Directors as a private storm drain license. I can't approve the plan before the Board's approval of the license.
4. To avoid going to the Board, I suggest you install a French drain on the property to drain the inlet. See attached.

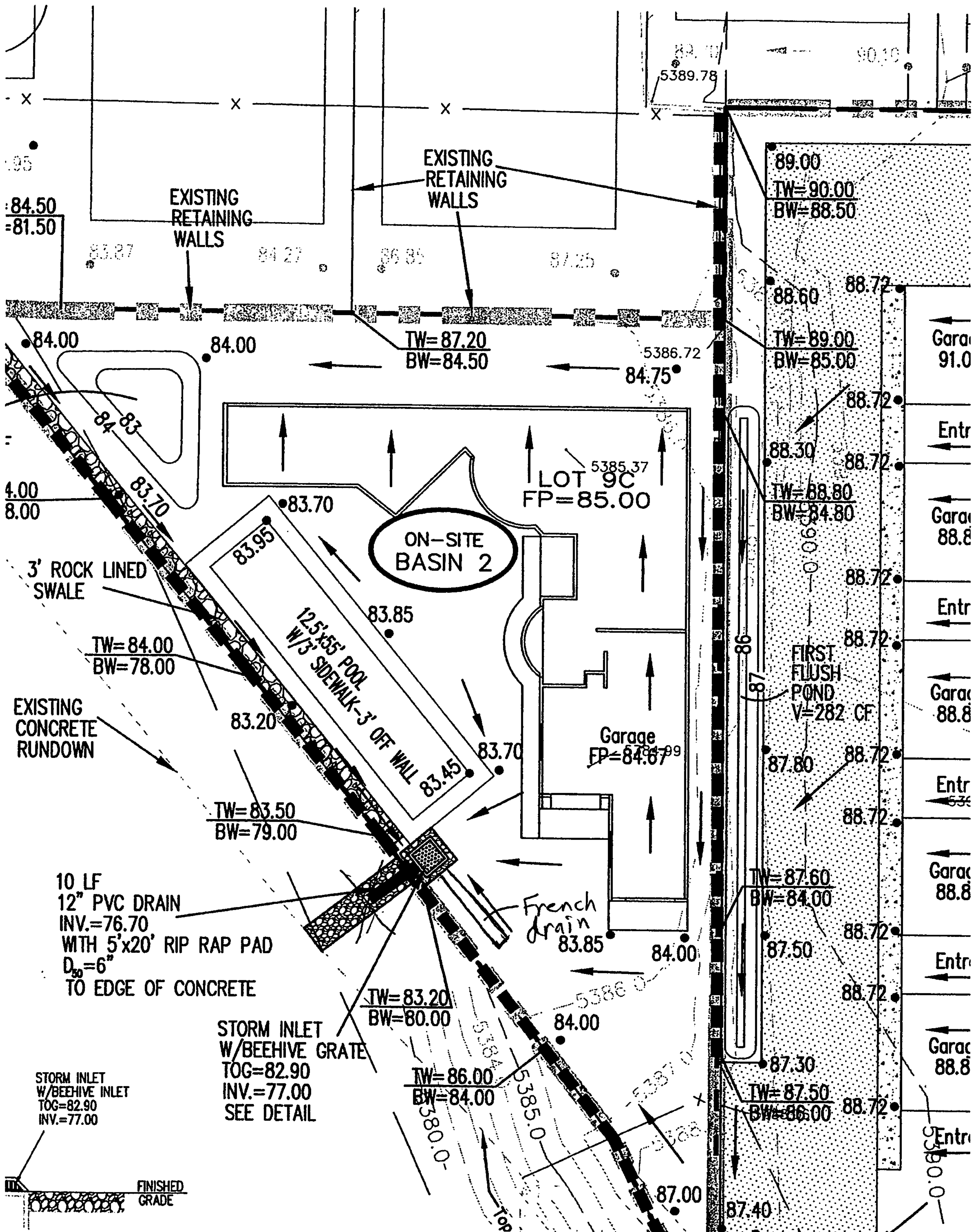
### **Albuquerque Metropolitan Arroyo Flood Control Authority**

Lynn M. Mazur, P.E., C.F.M.  
Development Review Engineer  
Office: (505) 884-2215  
Mobile: (505) 362-1273  
Web: [www.amafca.org](http://www.amafca.org)

---

The unauthorized disclosure or interception of e-mail is a federal crime. See 18 U.S.C. § 2517(4). This e-mail is intended only for the use of those to whom it is addressed and may contain information which is privileged, confidential and exempt from disclosures under the law. If you have received this e-mail in error, do not distribute or copy it. Return it immediately with attachments, if any, and notify me by telephone at (505) 884-2215.







**PARTIAL RELEASE OF LIEN**

**TITLE OF PROJECT: La Vista at Desert Ridge Trails**  
**SUBDIVIDER: Senemar, LLC**  
**CITY PROJECT NO.: 784882**

The City of Albuquerque ("City"), lienholder under a certain Claim and notice of Lien filed of record in the office of the Bernalillo County Clerk, State of New Mexico on September 19, 2012, as Document No. 2012096819, ("City Lien"), releases and discharges the following real property described in said Lien, from the Lien and operation thereof.

**REAL PROPERTY RELEASED:** Lot 9-A-P1 and Lot 9-B-P1, La Vista at Desert Ridge Trails, recorded on December 17, 2012, as Document #2012132913, in the office of the County Clerk of Bernalillo, State of New Mexico.

**FORMER LEGAL DESCRIPTION OF REAL PROPERTY RELEASED:** Lot 9-P1, La Vista at Desert Ridge Trails, being a replat of Lots 15, 16, and a portion of Lot 18, Block 1, North Albuquerque Acres, Tract 2, Unit 3, and a portion of AMAFCA right-of-way recorded on September 19, 2012, as Document No. 2012096818, in the office of the County Clerk of Bernalillo, State of New Mexico.

The City continues to claim a City lien on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of (name of subdivision) La Vista at Desert Ridge Trails, said Improvements being more particularly described in that certain Subdivision Improvements Agreement ("Agreement") between the City and (name of owner and/or subdivider) Senemar, LLC, and recorded in on February 27, 2012, as Document No. 2012019397, as amended in the Office of the Clerk of Bernalillo County, State of New Mexico. This City Lien is established pursuant to § 14-14-5-4 R. O. Albuquerque 1994, as amended and §§ 3-36-1 et seq. NMSA 1978 which provides that this lien is a first and prior lien subject only to the lien of general and state taxes and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

**OWNER:** Senemar, LLC  
12008 Gazelle Place  
Albuquerque, NM 87111

**REAL PROPERTY CONTINUED CITY LIEN:** Lot 9-C-P1, La Vista at Desert Ridge Trails, recorded on December 17, 2012, as Document #2012132913, in the office of the County Clerk of Bernalillo, State of New Mexico.

**FORMER LEGAL DESCRIPTION REAL PROPERTY CONTINUED CITY LIEN:** Lot 9-P1, La Vista at Desert Ridge Trails, being a replat of Lots 15, 16, and a portion of Lot 18, Block 1, North Albuquerque Acres, Tract 2, Unit 3, and a portion of AMAFCA right-of-way recorded on September 19, 2012, as Document No. 2012096818, in the office of the County Clerk of Bernalillo, State of New Mexico.

County Clerk's Recording Label

**CONTINUED CITY LIEN AMOUNT:** \$87,034.51 plus any costs incurred for a title search and update, which amount shall bear interest at the rate of twelve percent (12%) per year from the date of filing of this Claim and Notice of Lien.

**CONTINUED CITY LIEN PERIOD OF TIME COVERED:** Expiration of construction completion deadline is September 18, 2013.

WITNESS my hand and seal this 21 day of August, 2013.

Amy B. Bailey  
Amy B. Bailey, City Clerk  
City of Albuquerque  
Bernalillo County, New Mexico

**APPROVED:**

Bryan Wolfe  
Bryan Wolfe, P.E., City Engineer

BW  
8-19-13

Date: 9/20/2013

STATE OF NEW MEXICO )  
  )ss  
COUNTY OF BERNALILLO )

On this the 21 day of August 2013, before me appeared Amy B. Bailey to me personally known, who being by me duly sworn or affirmed did say that she is the City Clerk of the City of Albuquerque, County of Bernalillo, State of New Mexico, and that said instrument was signed and sealed in behalf of said City of Albuquerque by authority of its City Council and the laws of the State of New Mexico and of said City of Albuquerque, and the County Clerk acknowledges said instrument to be the free act and Claim and Notice of Lien of the City of Albuquerque.

(SEAL)

OFFICIAL SEAL  
Jessica Enriquez  
NOTARY PUBLIC  
STATE OF NEW MEXICO  
My Commission Expires: 5/7/2014

Jessica Enriquez  
Notary Public  
My Commission Expires: 5/7/2014

County Clerk's Recording Label



**PARTIAL RELEASE OF LIEN**

**TITLE OF PROJECT: La Vista at Desert Ridge Trails**  
**SUBDIVIDER: Senemar, LLC**  
**CITY PROJECT NO.: 784882**

|                                |            |
|--------------------------------|------------|
| <b>Recorded Electronically</b> |            |
| ID _____                       | _____      |
| County _____                   | _____      |
| Date _____                     | Time _____ |
| Simplifile.com 800.460.6667    |            |

The City of Albuquerque ("City"), lienholder under a certain Claim and notice of Lien filed of record in the office of the Bernalillo County Clerk, State of New Mexico on September 19, 2012, as Document No. 2012096819, ("City Lien"), releases and discharges the following real property described in said Lien, from the Lien and operation thereof.

**REAL PROPERTY RELEASED:** Lot 9-A-P1 and Lot 9-B-P1, La Vista at Desert Ridge Trails, recorded on December 17, 2012, as Document #2012132913, in the office of the County Clerk of Bernalillo, State of New Mexico.

**FORMER LEGAL DESCRIPTION OF REAL PROPERTY RELEASED:** Lot 9-P1, La Vista at Desert Ridge Trails, being a replat of Lots 15, 16, and a portion of Lot 18, Block 1, North Albuquerque Acres, Tract 2, Unit 3, and a portion of AMAFCA right-of-way recorded on September 19, 2012, as Document No. 2012096818, in the office of the County Clerk of Bernalillo, State of New Mexico.

The City continues to claim a City lien on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of (name of subdivision) **La Vista at Desert Ridge Trails**, said Improvements being more particularly described in that certain **Subdivision Improvements Agreement** ("Agreement") between the City and (name of owner and/or subdivider) **Senemar, LLC**, and recorded in on **February 27, 2012**, as **Document No.2012019397**, as amended in the Office of the Clerk of Bernalillo County, State of New Mexico. This City Lien is established pursuant to § 14-14-5-4 R. O. Albuquerque 1994, as amended and §§ 3-36-1 et seq. NMSA 1978 which provides that this lien is a first and prior lien subject only to the lien of general and state taxes and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

**OWNER:** Senemar, LLC  
12008 Gazelle Place  
Albuquerque, NM 87111

**REAL PROPERTY CONTINUED CITY LIEN:** Lot 9-C-P1, La Vista at Desert Ridge Trails, recorded on December 17, 2012, as Document #2012132913, in the office of the County Clerk of Bernalillo, State of New Mexico.

**FORMER LEGAL DESCRIPTION REAL PROPERTY CONTINUED CITY LIEN:** Lot 9-P1, La Vista at Desert Ridge Trails, being a replat of Lots 15, 16, and a portion of Lot 18, Block 1, North Albuquerque Acres, Tract 2, Unit 3, and a portion of AMAFCA right-of-way recorded on September 19, 2012, as Document No. 2012096818, in the office of the County Clerk of Bernalillo, State of New Mexico.

County Clerk's Recording Label

**AMENDED CLAIM AND NOTICE OF LIEN**

**Title of Project:** La Vista at Desert Ridge Trails  
**Subdivider:** Senemar, LLC  
**City Project No.:** 784882

This Amended Claim and Notice of Lien is filed to extend the construction completion deadline for the Claim and Notice of Lien ("City Lien") dated **September 4, 2012**, between the City of Albuquerque ("City") and **Senemar, LLC**, as owner filed of record in Bernalillo County, New Mexico, on **September 19, 2012**, as Document No. **2012096819**. The City continues to claim a City Lien on the real property described below for 125% of the cost of construction of all infrastructure improvements ("Improvements") required in connection with the development of **La Vista at Desert Ridge Trails**, said Improvements being more particularly described in that certain **Subdivision Improvements Agreement** ("Agreement") between the City and **Senemar, LLC**, and recorded in the Office of the Clerk of Bernalillo County, State of New Mexico, on **February 27, 2012** as Document No. **2012019397**, Page **1 of 10**, as amended. This City Lien is established pursuant to § 14-14-5-4 R. O. Albuquerque 1994, as amended and §§ 3-36-1 et seq. NMSA 1978 which provides that this lien is a first and prior lien subject only to the lien of general and state taxes and is claimed as assurance for the satisfactory completion of construction of the Improvements by the construction completion deadline as required by the Agreement.

OWNER: Senemar, LLC  
 12008 Gazelle Place  
 Albuquerque, NM 87111

LEGAL DESCRIPTION: Lot 9-C-P1, La Vista at Desert Ridge Trails being a replat of lot 9, La Vista at Deset Ridge Trails recorded on December 17, 2012, as Document No. 2012132913, in the Office of the County Clerk of Bernalillo County, State of New Mexico.

FORMER LEGAL DESCRIPTION: **Lot 9-P1, La Vista at Desert Ridge Trails being a replat of lots 15, 16, and a portion of lot 18, block 1, North Albuquerque Acres Tract 2, Unit 3 and a portion of AMAFCA right-of-way** recorded on September 19, 2012 as Document No. 2012096818, in the Office of the County Clerk of Bernalillo County, State of New Mexico.

AMOUNT: **\$87,034.51**, plus any costs incurred for a title search and update, which amount shall bear interest at the rate of twelve percent (12%) per year from the date of filing of this Claim and Notice of Lien.

PERIOD OF TIME COVERED: Expiration of construction completion deadline **September 18, 2013**. Notwithstanding the expiration date of the construction completion deadline, the City may record this Claim and Notice of Lien at anytime the

Doc# 2012135059

12/20/2012 04:03 PM Page: 1 of 2  
 LIEN R:\$25.00 M. Toulouse Oliver, Bernalillo County







Jane 8/6/14

We placed lien on property

City forecloses in District Court

lien good for 6 yrs (not construction completion deadline)

City legal does foreclosure process  
4 mo before

# CITY OF ALBUQUERQUE



July 17, 2014

Mr. David Thompson  
Thompson Engineering Consultants  
PO Box 65760  
Albuquerque, NM 87193

**Re: La Vista Subdivision  
Grading and Drainage Plan  
Engineer's Stamp Date 6-17-14 (C19D042A)**

Dear Mr. Thompson,

Based upon the information provided in your submittal received June 17, 2014, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

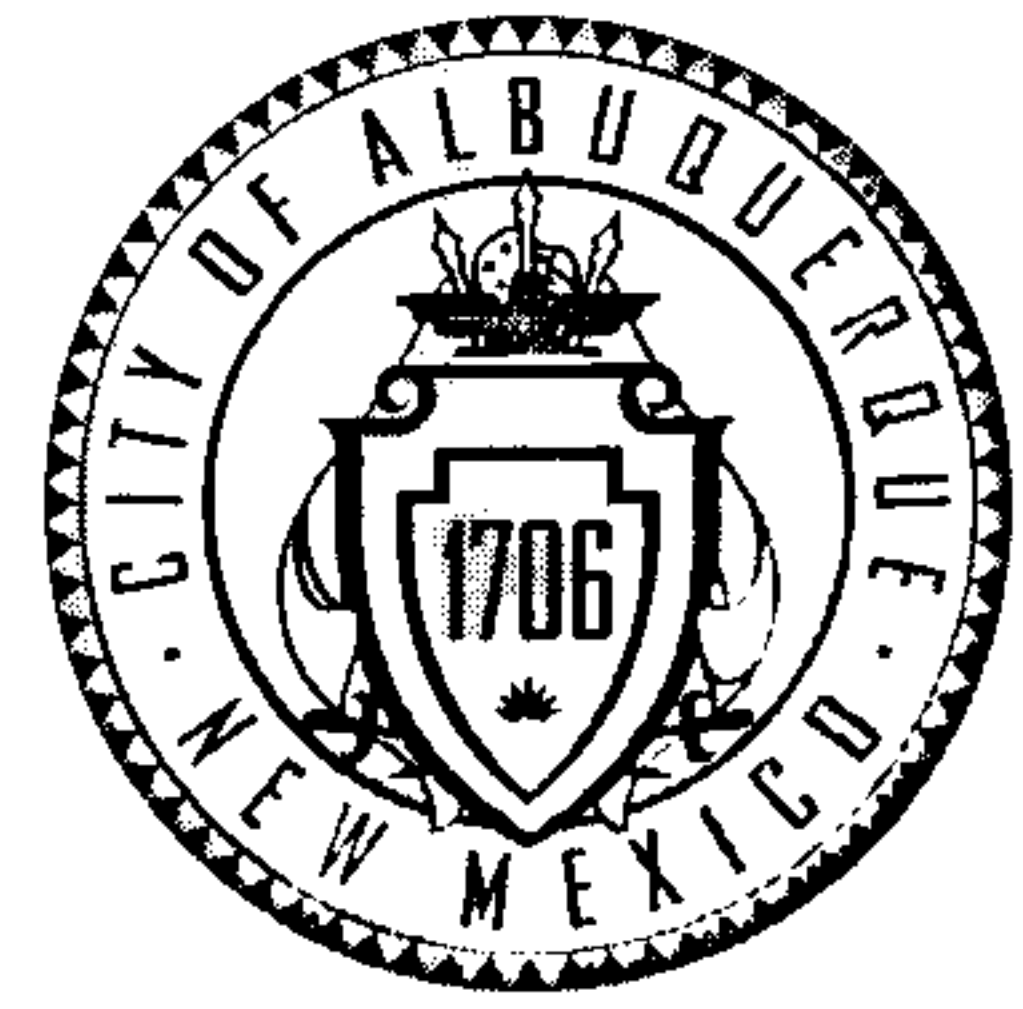
Albuquerque

New Mexico 87103

www.cabq.gov

1. The property and adjoining ones have been regraded. The survey provided does not reflect those changes which are as much as five feet difference in some locations. Provide a current survey on the grading plan. Also, show the contours for La Cueva Channel adjacent to the property.
- X2. Provide a plan and profile design of Wyoming Boulevard from Modesto Avenue to Eagle Rock Avenue and for Eagle Rock Avenue from Wyoming Boulevard to the La Cueva Channel. Grant a Roadway Easement for the future expansion of Wyoming Boulevard. The grading and drainage plan should address phasing with existing conditions and proposed conditions for the adjoining right-of-ways. If a retaining wall is necessary for the Wyoming Boulevard design, the wall should be constructed with the grading for this grading and drainage plan.
- X3. Design and build sidewalk adjacent to the properties along Wyoming Boulevard and Eagle Rock Avenue.
- X4. The curb and gutter for the Wyoming Boulevard design will likely cut through the proposed retention ponds. As a result, the proposed layout for the Lot 17 does not seem feasible. In addition, the retention ponds in the back of lots are not an acceptable design. Please address both.
- X5. A municipal lien is on lot 9C for constructing Wyoming Boulevard just north of this site. As part of that lien, the owner was given one year to provide an alternative form of financial guarantee such as a bond or letter of credit for the lien. Construction on that property is not allowed until the alternative financial guarantee has been done.

# CITY OF ALBUQUERQUE



6. The off-site basin should include a portion of the strip to the north adjacent to Wyoming and some of Wyoming itself.
7. Provide calculations for the storm drain.
8. The first flush from the 100 year, 6 hour storm is required to be retained. Provide a design that retains the 0.44 inch less the initial impervious abstraction.
9. Rip-rap should connect all the way to the proposed inlet.
10. The discharge to La Cueva Channel should be concrete instead of rip-rap. Approval from AMAFCA is required before the City can approve the Grading and Drainage plan.
11. Show the intended labels on your tables.

If you have any questions, you can contact me at 924-3994.

Sincerely,

A handwritten signature in black ink, appearing to read 'Amy L. D. Niese', written over a horizontal line.

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

C: e-mail

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# CITY OF ALBUQUERQUE



August 7, 2014

Mr. David Thompson  
Thompson Engineering Consultants  
PO Box 65760  
Albuquerque, NM 87193

**Re: La Vista Subdivision  
Grading and Drainage Plan  
Engineer's Stamp Date 6-17-14 (C19D042A)**

Dear Mr. Thompson,

Mr. Esmail Haidari has had discussions with the City Engineer, Shahab Biazr and others in DMD. Based upon these discussions, the July 17, 2014 comment letter regarding this project has been revised as follows. The above referenced plan cannot be approved for Building Permit until the comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Comments 1 and 6-11 still need to be addressed as written. The other comments are revised in their entirety below.
2. Comment 3 - Design and build sidewalk adjacent to the properties along Eagle Rock Avenue.
3. Comment 4 - The retention ponds in the back of lots are not an acceptable design. Please address.
4. Comment 5 - A municipal lien is on lot 9C. Grading of the lot will be allowed with an approved Grading and Drainage Plan. However, no Building Permit will be issued for Lot 9C until the lien is released from the property.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail

**DRAINAGE INFORMATION SHEET**

(REV. 1/28/2003rd)

PROJECT TITLE: LA VISTA SUBDIVISION ZONE MAP/DRG. FILE #: C-19 2042A  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 9C, LA VISTA AT DESERT RIDGE SUBDIVISION: LOT 17, BLOCK 1, NAA TRACT 2, UNIT 3

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.  
ADDRESS: P.O. Box 65760  
CITY, STATE: Albuquerque, NM

CONTACT: David Thompson *tecnm@yahoo.com*  
PHONE: 271-2199  
ZIP CODE: 87193

OWNER: Esmail Haidari  
ADDRESS: 12008 Gazelle Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Esmail Haidari  
PHONE: 480-2533  
ZIP CODE: 87111

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Cartesian Surveys, Inc.  
ADDRESS: P.O. Box 44414  
CITY, STATE: Rio Rancho, NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87174

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, REQUIRES TCL or equal
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERTIFICATION(TCL)
- ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: June 17, 2014 BY: *[Signature]* \$5000

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

## Niese, Amy

---

**From:** Niese, Amy  
**Sent:** Monday, July 21, 2014 12:07 PM  
**To:** 'Thompson Engineering consultan'  
**Subject:** RE: La Vista Subdivision, C19-D042A

Hi David,

Fyi, I am at the City 9:00-2:30 Monday through Thursday on a part-time basis.

In response to your questions:

No 6. – Aerial maps show that for existing conditions, the area to the north and some of the paved portion of Wyoming flows to this site. If the site is constructed as currently designed, water will be trapped along the north wall of the proposed development which is not acceptable. Account for these areas with your basins and design.

No 7. – Provide all calculations demonstrating that the storm drain and swale are sufficiently sized.

No 8. – The less than 1 acre aspect pertains to the SWPPP not the first flush. Retain the first flush. Per the City Drainage ordinance, the 90<sup>th</sup> Percentile Storm Event, which is 44 inches, is to be managed. Reduce 0.44 inch by the 0.1 inch for the initial impervious abstraction in Table A-6 of Section 22 of the DPM. Multiply the remaining 0.34 inch by your impervious area. This is the portion to retain.

No 9. – The plan that was submitted dated 6/17/14 does not show riprap to the inlet. The riprap ends at the ROW which will likely cause erosion. Provide riprap to the inlet.

No 10. – Provide AMAFCA's approval once you have obtained it.

No 11. – Many of your labels did not completely print such as type of volume and precipitation.

If you have any further questions, please contact me.

Amy L. D. Niese, PE  
Senior Engineer, Hydrology  
Planning Department  
Development & Building Services Division  
(505) 294-3994

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**From:** Thompson Engineering consultan [<mailto:tecnm@yahoo.com>]  
**Sent:** Sunday, July 20, 2014 9:12 PM  
**To:** Niese, Amy  
**Subject:** Re: La Vista Subdivision, C19-D042A

Amy,



Thanks for the comments. I tried to call and stop by to see you, but you were unavailable. I have some questions about some of your comments. Comments 1 through 5 are for the owner to address. I will forward these comments to him.

No. 6. - I am not sure what you are requesting as Offsite Basin A is all within the Wyoming right-of-way so it does include Wyoming. Could you please clarify for me.

No. 7. - What calculations for the storm drain do you want? Do you want the Q, Velocity, and HGL?

No. 8. - Since both of the properties being developed are less than 1 acre in size, my understanding is that retaining the first flush is not required. Can you please clarify?

No. 9. - The plan shows the riprap connecting all the way to the proposed inlet. So I am not sure what you are looking for.

No. 10. - In a previous submittal for this property, I believe AMAFCA requested that the discharge to the channel have a riprap pad and not concrete. I will check my files.

No. 11. - The table includes labels so I am not sure what you are requesting.

If you could please respond to these responses I would appreciate it.

Thanks,

David B. Thompson, P.E.  
Thompson Engineering Consultants, Inc.  
P.O. Box 65760  
Albuquerque, NM 87193  
Office: (505) 271-2199  
Fax: (505) 830-9248

On Thursday, July 17, 2014 10:31 AM, "Niese, Amy" <[AmyNiese@cabq.gov](mailto:AmyNiese@cabq.gov)> wrote:

Please see the enclosed comments.

Amy L. D. Niese, PE  
Senior Engineer, Hydrology  
Planning Department  
Development & Building Services Division  
(505) 294-3994

phone  
Esmail + Bryan Wolfe + Nicholas 8/6/14  
coord

improvements  
No (need) on Wyoming rd (row length too short) bec. mtg w/ DMD

~~Do~~ SW on Eagle Rock rd.  
Do w/ driveway + excavation permit

Grading Permit but no BP on lot 9C until resolve lien

Work out of legal

Esmail ~~traps~~ will sell prop + pay lien at that time  
Managed lien for 4 yrs (1 yr now)

Wilfred said Wyoming can be designed  
where it is. No Roadway easement  
rd. Lot layout OK!

✓ SW on Eagle Rock

Lien 1 yr - expiration of construction 9/18/13

Wyoming design cut thru lots - no

Grant Roadway Easement on Wyom? - no







LA Vista at Desert Ridge C-19

OFFSITE BASIN A should include portion of strip to north + some of Wyon where curb not keeping water on Wyon also trap flows in corner

Calc for swale, depth of rock treatment

Provide more spot elev for top set ponds  
H<sub>100</sub> for them - how determined? Detail also

Provide ~~drainage~~ drainage easement

Being platted into 1 lot + also <sup>public</sup> <sup>access</sup> <sup>drain eas</sup>  
shallow design adjacent + north <sup>to</sup> <sup>be</sup> <sup>used</sup> <sup>for</sup> <sup>WYON</sup> <sup>T</sup> <sup>EXPOSE</sup> <sup>ROCK</sup>

One TW called out - where does it end? <sup>93.40</sup> <sup>90.00</sup>

SPOTS THAT SEEM LIKE IN/LOW ARE AT SAME

HT OF WALL 93.40, JUST OUTSIDE SWALE

1:1 SLOPE BET SWALE AND LAST SPOT EL.  
GRADE AT 95.00

Continue swale to <sup>storm drain</sup> channel (avoid PUE zone) <sup>w/</sup> <sup>AMTR</sup> <sup>app</sup>

0.8% slope on swale very hard to build  
HOW SWALES CATCHING OFF-SITE WATER - SWALE IS 11% (10)

34% slope - not really room to do set pond

Need wall on north side

Provide calc for storm drain pipe



NW corner will should be  $\frac{84.00}{81.50}$  NOT 81.50

Need one run down into channel

Show channel better

AMPT before w/ sign off Lynn <sup>MARUK</sup> Meyer

Show out + propose Wyom

Wyoming over the backyard  
Do new survey out the  
Rd on north side?

S DE/AE ZONING

DRB: Wyom + EAGLE ROCK DET, ACCESS BASE,  
feasible layout 07/2/05

Scoping design showing connection to existing  
cond + proposed for row

Runoff from 0.44" storm

lots minus setbacks - impervious

100 cf/hour water harvesting / first flush

✓ No backyard ponds for CoA - get filled in  
✓ 8" min stem

Excel mylogon  
password

as-built's Internet explorer

show your labels on calc tables

City Design 44 inch storm  
PIP required  
DESERT RIDGE TRAILS

DESERT RIDGE  
UNIT I

VISTA DE  
AGUILA

SW [DESERT LAWS  
C19 DBA, B19 D019  
NORTH C19 D042  
WEST VISTA DE AGUILA  
EAST NOL ESTE  
MONEY

DESERT LAWS

NOL ESTE ESTABES

Storm water ~~qual~~ control  
manage first flush

Runoff of impervious areas

22-12  
 $.44 - .10 = .34 \text{ in}$        $-.04 = .30 \text{ in}$       DO THIS

$.3 \text{ in} \times A_D = H_{EFF}$

Depression in front yard for sub  
Ret pond - infiltrate into ground

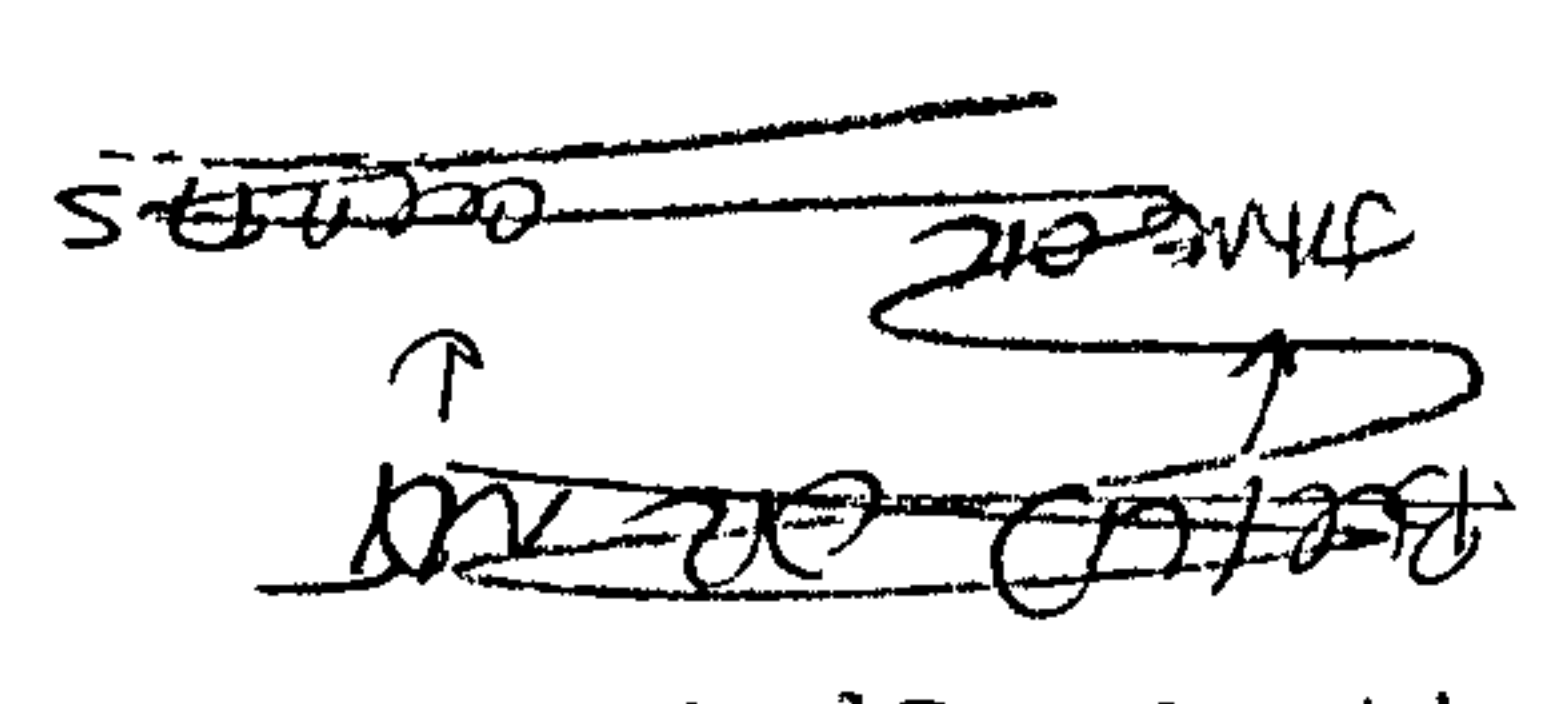
Denver water qual

Municipal In - Jane  
Future ctg + wall to fit

7.8' FROM G TO ROW

4/15/17

MUNICIPAL GEN → bond or letter of credit 1st



- DND DID SAY THEY WOULD TO OUTLINE RECD
- SW THROUGH SW Permit
- Roadway easement by paper easement.

- Nor Est Sub #3186 HAS PAPER WYOMING
- DESERT LANE SUB THIS ARTICLE BOOK

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail



Tim Eichenberg, Chairman  
Danny Hernandez, Vice Chairman  
Bruce M. Thomson, Secretary-Treasurer  
Ronald D. Brown, Assistant Secretary-Treasurer  
Daniel F. Lyon, Director

Jerry M. Lovato, P.E.  
Executive Engineer



Albuquerque  
Metropolitan  
Arroyo  
Flood  
Control  
Authority

2600 Prospect N.E., Albuquerque, NM 87107  
Phone: (505) 884-2215 Fax: (505) 884-0214  
Website: [www.amafca.org](http://www.amafca.org)

October 24, 2012

Mr. David Thompson, P.E.  
Thompson Engineering Consultants, Inc.  
P.O. Box 65760  
Albuquerque, NM 87193

Re: Grading & Drainage Plan for La Vista at Desert Ridge, ZAP C-19  
Engineering Stamp Dated 10-18-12

Dear Mr. Thompson:

I have reviewed the plan and have the following comments.

1. Show access for Lot 9C.
2. AMAFCA has had erosion problems from wall openings allowing discharge directly to its rights-of-way. Therefore, we no longer allow wall openings next to our property. Lots must be graded to a street. If this is not possible, provide a PVC drain pipe in the lot with a beehive grate to drain under wall. The pipe can daylight in AMAFCA's right-of-way with a riprap pad connection to the concrete rundown.

If you have any questions, please call me at 884-2215.

Sincerely,  
AMAFCA

Lynn M. Mazur, P.E., C.F.M.  
Development Review Engineer

C: Curtis Cherne, City Planning Dept.  
Esmail Haidari, owner