

CITY OF ALBUQUERQUE



September 28, 2016

Richard J. Berry, Mayor

David B. Thompson, P.E.
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM, 87193

**RE: La Vista Subdivision - Lot 9C
Grading and Drainage Plan
Engineer's Stamp Date 8-1-2016 (File: C19D042B)**

Dear Mr. Thompson:

Based upon the information received on 9-19-2016, the above-referenced Grading and Drainage Plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3986.

Sincerely,

New Mexico 87103

www.cabq.gov

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: LA VISTA SUBDIVISION

ZONE MAP/DRG. FILE #: C-19/D042 **B**

DRB #: 1008589

EPC #:

WORK ORDER#:

LEGAL DESCRIPTION: LOTS 9C, LA VISTA AT DESERT RIDGE SUBDIVISION

CITY ADDRESS:

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.

ADDRESS: P.O. Box 65760

CITY, STATE: Albuquerque, NM

CONTACT: David Thompson

PHONE: 271-2199

ZIP CODE: 87193

OWNER: Esmail Haidari

ADDRESS: 12008 Gazelle Place NE

CITY, STATE: Albuquerque, NM

CONTACT: Esmail Haidari

PHONE: 480-2533

ZIP CODE: 87111

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR: Cartesian Surveys, Inc.

ADDRESS: P.O. Box 44414

CITY, STATE: Rio Rancho, NM

CONTACT: Will Plotner

PHONE: 896-3050

ZIP CODE: 87174

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☒ NO

☐ COPY PROVIDED



DATE SUBMITTED: September 19, 2016

BY: Red B. H.

\$100.00

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

DRAINAGE PLAN:

LEGAL DESCRIPTION: LOT 9C, LA VISTA AT DESERT RIDGE SUBDIVISION

SITE AREA: 0.24 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED AUGUST 16, 2012 (PANEL NO. 35001C0133G & 35001C0141G) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN. THE NORTH LA CUEVA CHANNEL AT THE SOUTHWEST CORNER HAS A FLOOD HAZARD ZONE A WITH A 1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL.

LOCATION AND DESCRIPTION: THE LOT IS LOCATED ON EAGLE ROCK AVENUE WEST OF WYOMING BOULEVARD. AT THE SOUTHWEST CORNER OF THE PROPERTY IS THE NORTH LA CUEVA CHANNEL.

EXISTING DRAINAGE CONDITIONS:

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL SECTION 22.2, HYDROLOGY. THE PROPERTY IS LOCATED IN ZONE 3. THE 100-YEAR, 6-HOUR STORM IS 2.60 INCHES.

THE SITE CURRENTLY DRAINS FROM EAST TO WEST TO THE NORTH LA CUEVA CHANNEL. CURRENTLY THERE ARE OFFSITE FLOWS FROM THE EAST AND NORTH.

DEVELOPED DRAINAGE CONDITIONS:

THERE IS ONE OFF-SITE BASINS DRAINING ONTO LOT 9C. THE OFF-SITE BASIN IS DIRECTLY EAST OF LOT 9C. RUNOFF FROM THE OFF-SITE BASIN WILL BE COLLECTED IN A SWALE ALONG THE LOT 9C EAST PROPERTY LINE AND WILL BE DIVERTED TO EAGLE ROCK AVENUE THROUGH THE DRIVEWAY FOR LOT 9C. THE PEAK FLOW OF 2.54 CFS WILL BE DISCHARGED TO EAGLE ROCK AVENUE THROUGH THE DRIVEWAY AND WILL EVENTUALLY DRAIN TO THE NORTH LA CUEVA CHANNEL.

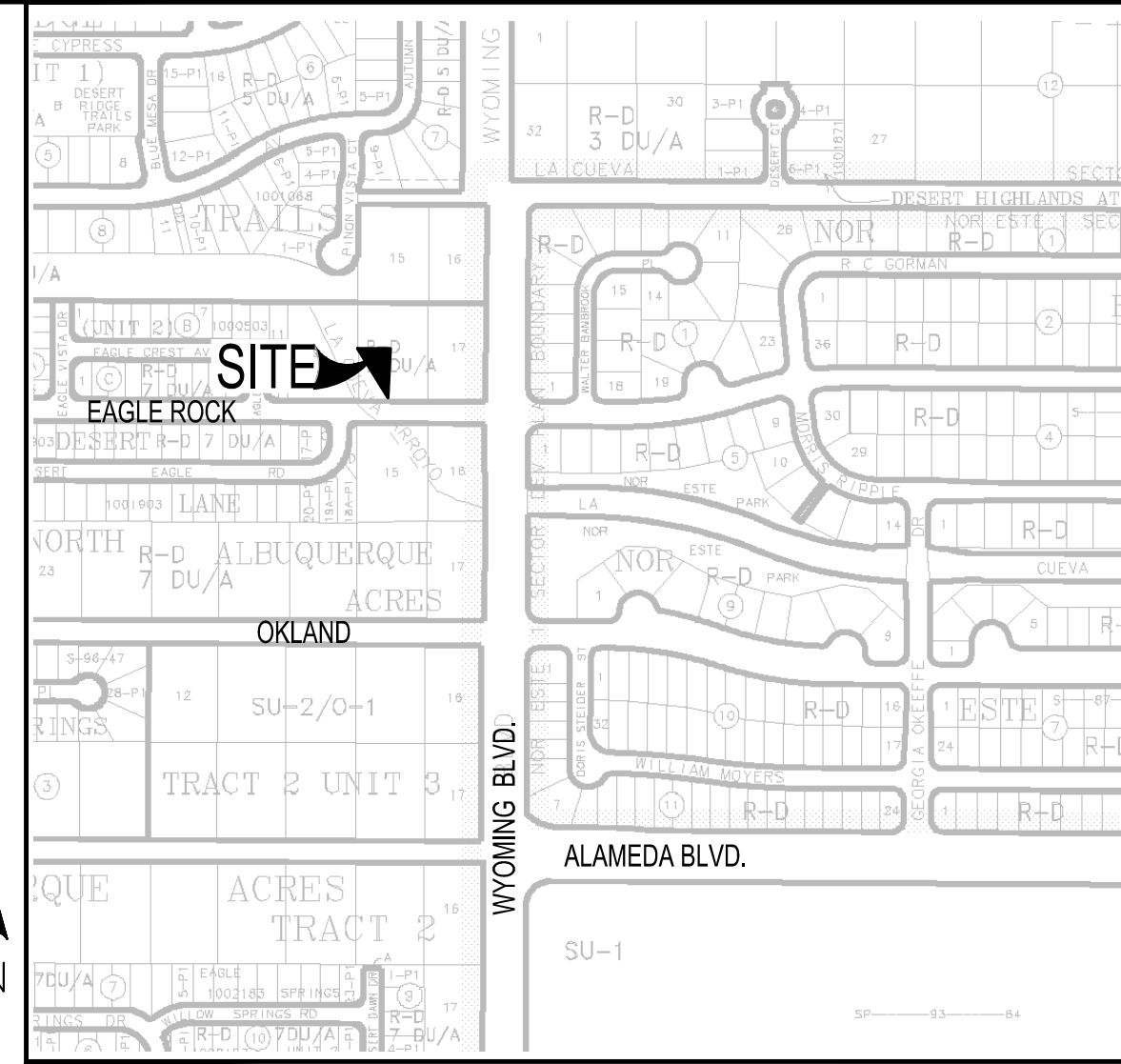
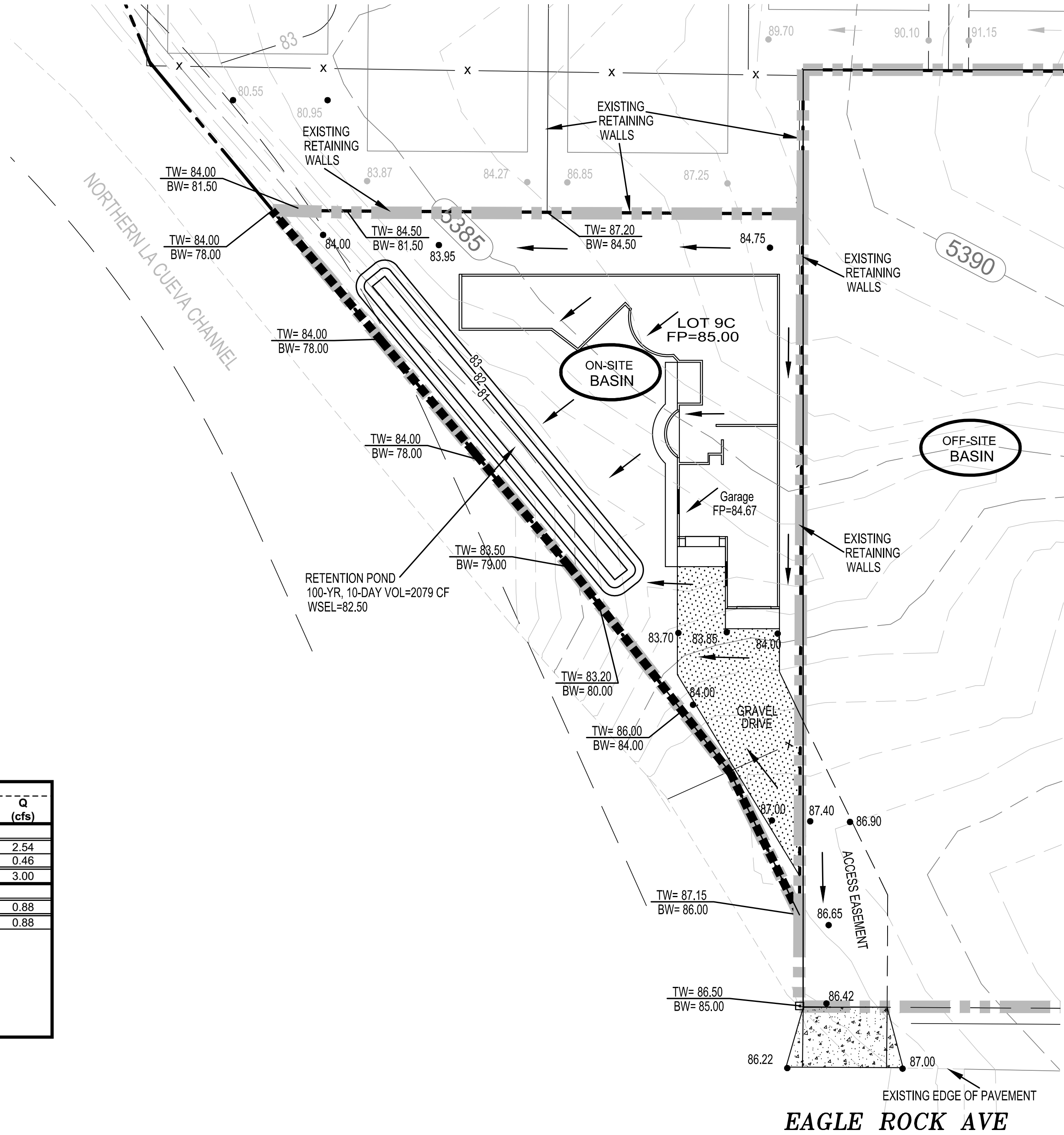
RUNOFF FROM THE ON-SITE BASIN, WHICH INCLUDES ALL OF LOT 9C, WILL DRAIN TO A RETENTION POND ALONG THE WESTERN RETAINING WALL ADJACENT TO THE AMAFCA CHANNEL. RUNOFF FROM THE PROPOSED HOUSE WILL BE COLLECTED IN SWALES TO THE NORTH AND EAST, WHICH WILL DRAIN TO THE RETENTION POND. THE RETENTION POND WILL HOLD THE 100-YEAR, 10-DAY VOLUME OF 2,079 CUBIC FEET. THE RETENTION POND WILL HAVE A MAXIMUM DEPTH OF 1.5 FEET.

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	100-YEAR PRECIPITATION				
		A (%)	B (%)	C (%)	D (%)		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10-day) (acre-ft)	V(10-day) (cu-ft)	Q (cfs)
EXISTING CONDITIONS											
OFF-SITE	1.3602	100.00	0.00	0.00	0.00	0.66	0.07	3,259	0.07	3,259	2.54
ON-SITE	0.2436	100.00	0.00	0.00	0.00	0.66	0.01	584	0.01	584	0.46
TOTAL RUNOFF	1.60						0.09	3,842	0.09	3,842	3.00
PROPOSED CONDITIONS											
ON-SITE	0.2436	0.00	48.30	14.90	36.80	1.51	0.03	1,331	0.05	2,079	0.88
TOTAL RUNOFF	0.24						0.03	1,331	0.05	2,079	0.88
EXCESS PRECIP.		0.66	0.92	1.29	2.36	E _i (in)					
PEAK DISCHARGE		1.87	2.6	3.45	5.02	Q _m (cfs)					

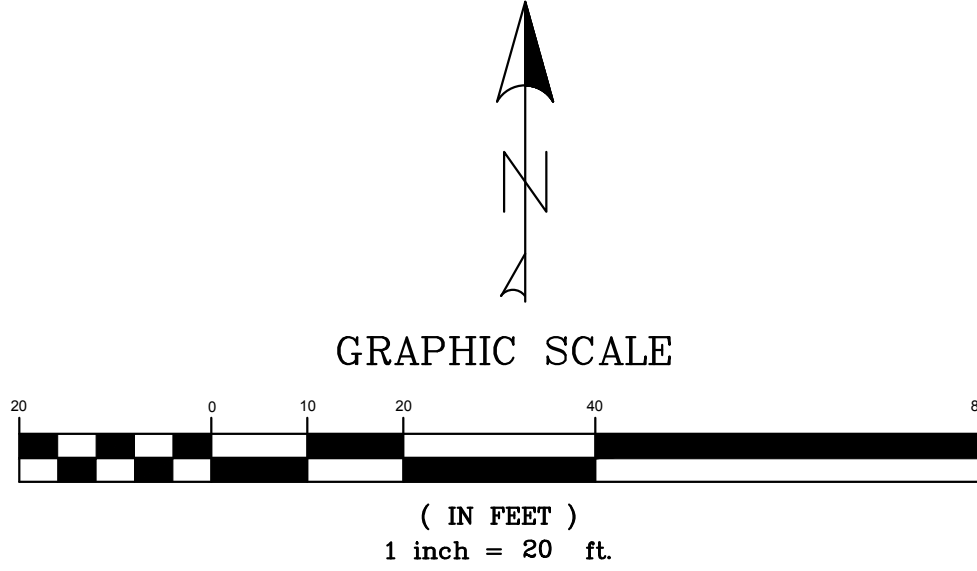
WEIGHTED E (in) = (E_a)(%A) + (E_b)(%B) + (E_c)(%C) + (E_d)(%D)
V_{6-hr} (acre-ft) = (WEIGHTED E_i)(AREA)/12
V_{10-day} (acre-ft) = V_{6-hr} + (A_d)(P_{10-day} - P_{6-hr})/12
Q (cfs) = (Q_m)(A_a) + (Q_m)(A_b) + (Q_m)(A_c) + (Q_m)(A_d)

ZONE = 3
P_{6-hr} (in.) = 2.60
P_{24-hr} (in.) = 3.10
P_{10-day} (in.) = 4.90



LEGEND

- FP=09.07 FINISHED PAD SITE ELEVATION
- 60.23 PROPOSED SPOT ELEVATION
- TW=12.51 TOP OF WALL
- BW=11.84 BOTTOM OF WALL
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED RETAINING WALL
- EXISTING CURB AND GUTTER
- ON-SITE BASIN PROPOSED BASIN NUMBER
- PROPOSED BASIN BOUNDARY



thecnm@yahoo.com

P.O. BOX 65760 ALBUQUERQUE, NM 87193

PHONE: (505) 271-2199 FAX: (505) 830-9428

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
TRANSPORTATION DEVELOPMENT

LA VISTA AT DESERT RIDGE
LOT 9C
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

City Project No. XXXXXX

Zone Map No. C-19-Z

Sheet 1 Of 1