

CITY OF ALBUQUERQUE



April 30, 2020

Raymond R. Vigil, RA
Vigil & Associates Architectural Group
4477 Irving NW, Suite A
Albuquerque, NM 87114

Re: North Domingo Baca Multigenerational Center Phase 3
7521 Carmel NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4/17/09 (DRB) (C19D043A)
Certification dated 3-31-20

Dear Mr. Vigil

Based upon the information provided in your submittal received 4-27-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please update ADA signs to reflect current language. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** If that language is present it is not visible in the detail.

Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, and epgomez@cabq.gov for release of Final CO for Phase 3.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



VIGIL & ASSOCIATES
ARCHITECTURAL GROUP, P.C.

MARCH 31, 2020

**ERNEST P. GOMEZ
PLANNING DEPARTMENT,
CITY OF ALBUQUERQUE
ALBUQUEURQUE, NM 87107**

**RE: NORTH DOMINGO BACA MULTIGENERATIONAL CENTER PHASE 3- 7521 CARMEL AVE
NE**

**I, RAYMOND VIGIL, NMRA #004027, OF THE FIRM VIGIL AND ASSOCIATES
ARCHITECTURAL GROUP, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL
COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED
ADMINISTRATIVE AMENDMENT TO THE DRB PLAN DATED NOVEMBER 8, 2016 (ORIGINAL
DRB APPROVAL WAS ON APRIL 17, 2009).**

**THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN
OBTAINED BY TIM SANCHEZ OF THE FIRM MICK RICH CONTRACTORS. I FURTHER
CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **FRIDAY MARCH 27,
2020** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE ADMINISTRATIVE
AMENDMENT PLAN IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS
SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.**

***PLANS WERE BUILT AND ARE CERTIFIED TO THE APPROVED PERMIT SET PER ATTACHED
SHEET AS-101 AND AS-103. THE OVERALL DESIGN INTENT IS PRESERVED.***

**THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS
OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO
OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY
OTHER PURPOSE.**

SIGNATURE OF ENGINEER OR ARCHITECT



ENGINEER'S OR ARCHITECT'S STAMP

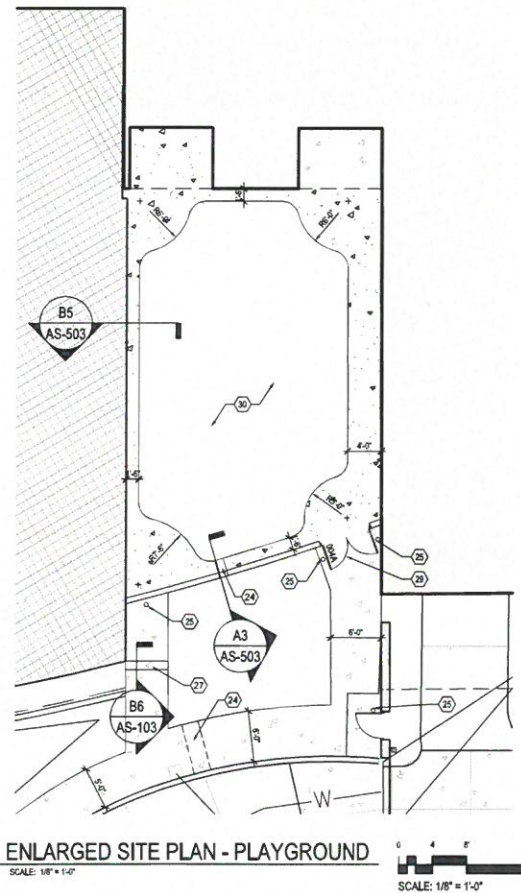
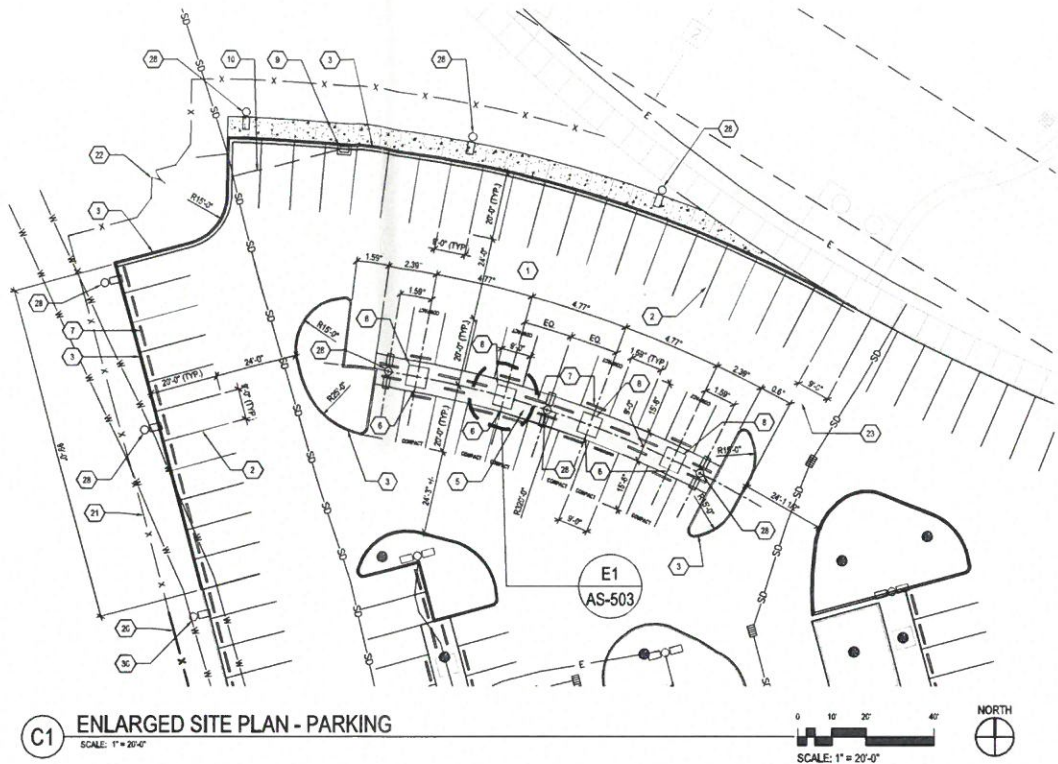
VA PROJECT NO. 15-015

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GENERAL NOTES

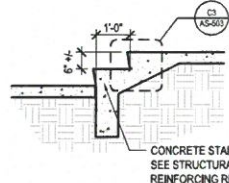
- SEE ENLARGED SITE PLAN FOR DETAILS.
- SEE SHEET AS-103 FOR DETAILS.
- AT AREAS OF WORK, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT FROM DAMAGING EXISTING UTILITY LINES. WALKS, LANDSCAPING, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION.
- GENERAL CONSTRUCTION UTILITIES WITHIN THE PROJECT AREA SHALL BE AS SHOWN.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT WITH SITE UTILITIES OR FEATURES AND OBTAIN RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGING EXISTING UTILITY LINES. WALKS, LANDSCAPING, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION.
- SLOPE PAYMENT MINIMUM 1% MAXIMUM 2% FOR ACCESSIBILITY. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE.
- SEE COLOR & MATERIAL SCHEDULE ON SHEET AS-103 FOR PAINT COLORS OF EXPOSED STRUCTURAL STEEL.

SHEET KEYNOTES

- NEW ASPHALT PAVING. SEE SECTION DETAIL B2-C-602.
- NEW STRIPING. SEE SPECIFICATION 12.172.13.
- NEW CONC. CURB AND GUTTER. SEE DETAIL A3-C-602.
- NEW CONC. HEADER CURB. SEE DETAIL A3-C-602.
- CAST IN-SITU PAVING SYSTEM. SEE DETAIL D1-A3-503. PATTERN SHALL BE SEGMENTED AND ROTATE AT CENTER OF PLANTER.
- EXPANSION JOINT AT CAST IN-SITU PAVING SYSTEM. SEE DETAIL D2-A3-503. JOINTS LOCATED WHERE PATTERN IS SEGMENTED.
- CONCRETE PARKING BUMPERS. SEE DETAIL AND SPECIFICATION 12.173.
- 6'-0" x 5'-4" TREE PLANTER BLOCK OUT IN CAST IN-SITU PAVING SYSTEM. SEE DETAIL D1-A3-503 AND LANDSCAPE DRAWINGS.
- NEW STORM DRAIN INLET. SEE CIVIL SHEET C-103.
- NEW STORM DRAIN PIPE. SEE CIVIL SHEET C-103.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- REMOVE AND RELOCATE EXISTING LIGHT BOLLARD. PROVIDE NEW FOUNDATION AND ELECTRICAL CONNECTIONS AS REQUIRED FOR COMPLETE INSTALLATION.
- EXISTING FENCE TO REMAIN.
- RELOCATED FENCE. SEE SHEET ASD-101.
- RELOCATED GATE. SEE SHEET ASD-101.
- APPROXIMATE SAW CUT LINE OF EXISTING ASPHALTIC PAVING AFTER DEMOLITION OF CURB AND GUTTER. SEE DEMOLITION PLAN ASD-101.
- NEW DRAINAGE SIDEWALK CURB WITH STEEL PLATE PER COA STANDARD DETAIL 2236. SEE SHEET C-102 FOR SEE.
- NEW METAL BOLLARD. SEE DETAIL A3-A3-503.
- NOT USED.
- CONCRETE STEPS. SEE DETAIL B6-A3-103.
- NEW LIGHT AND POLE. SEE SHEET E5-101 AND DETAIL A3-S-301.
- NEW GATE. SEE ELEVATION C2-A3-502.
- AGGREGATE BASE COURSE. INSTALL TO FLUSH W/ CONCRETE. SEE LANDSCAPE PLAN L-102.

LEGEND

- | | | | |
|---------|-------|-------|---------------------------------------|
| — NPW — | NPW — | NPW — | NON-POTABLE WATER LINE |
| — W — | W — | W — | WATER LINE / GROUND SOURCE WATER LINE |
| — SAS — | SAS — | SAS — | SANITARY SEWER LINE |
| — FP — | FP — | FP — | FIRE PROTECTION WATER LINE |
| — SD — | SD — | SD — | STORM DRAIN LINE |
| — — — | — — — | — — — | PROPERTY LINE |
| — — — | — — — | — — — | FIRE HYDRANT |



B6 STEP DETAIL

SCALE: 1/2" = 1'-0"



CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM

NORTH DOMINGO BACA MULTIGENERATIONAL CENTER - PHASE III

7521 CARMEL AVE. NE, ALBUQUERQUE, NM 87113

Drawing Title

ENLARGED SITE PLANS

Design Review Committee City Engineer Approval

City Project No. 7136.95

Zone Map No. C-19-Z

City Map No. 7136.95

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AS-BUILT INFORMATION

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