

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 14, 2023

Scott Eddings, PE
Huitt-Zollers Inc.
333 Rio Rancho Dr NE, Suite 101
Rio Rancho, NM 87124

**RE: North Domingo Baca Aquatic Center
Grading & Drainage Plans
Engineer's Stamp Date: 09/18/23
Hydrology File: C19D043E**

Dear Mr. Eddings:

Based upon the information provided in your submittal received 11/14/2023, the Grading & Drainage Plans **are not** approved for Building Permit and Grading Permit. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Since this project is adjacent to, or drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be needed prior to Hydrology approval. Please contact Jared Romero P.E, CFM (jromero@amafca.org or 505-884-2215).
2. **Drainage Plan – C110.** Under the Existing Conditions, please add the existing discharge rate.

EXISTING DRAINAGE CONDITIONS

THIS SITE IS UNDER THE NORTH DOMINGO BACA MASTER PLAN AND DISCHARGES TO THE MCKINNEY DAM. STORM WATER FACILITIES ARE EXISTING AND SIZED FOR STORMWATER FLOWS ATTRIBUTABLE FROM THIS PROJECT. EXISTING CONDITIONS SITE DISCHARGE RATE IS ____ CFS.

3. **Drainage Plan – C110.** Under the Flood Zone, it states that the flood zone is AO with a 1' depth inundation. Then it states that the Base Flood Elevation is 5320. How was this determined? North Domingo Baca is about elevation 5388 at the eastern property line along Wyoming Blvd and about 5332 at the western property line.
4. **Drainage Plan – C110.** Under the Proposed Conditions, please state that a LOMR will be submitted to FEMA to remove the flood zone AO from the property prior to Permanent Certificate of Occupancy.

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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Floodplain Development Permit

Project Title North Domingo Baca Park Splash Pad

Project Location (Major Cross Streets/Arroyo or address)

North Domingo Baca Park, 8301 Wyoming Blvd NE

Property Owner: (Note: If applying for a Building Permit, the "Company" or "Owner" name on this form must match the "Owner" name on the Building Permit.)

Company Name or Owner Name: City of Albuquerque - Aquatics

Responsible Person: (Note: Name below may be the same as Owner Name above if there is no Company Name)

Name: Huitt - Zollars, Inc.

Phone Number: 505-235-7211

E-mail: seddings@huitt-zollars.com

Site Contact: (if different than Property Owner info above.)

Name: Scott Eddings

Phone: 505-235-7211

e-mail: seddings@huitt-zollars.com

For City personnel use only:

City Personnel Signature: _____ Date _____

Description of Work _____

Check all that apply:

☐ Final Elevation Certificate required prior to Certificate of Occupancy

☐ No Building Permits will be allowed until FEMA issues a LOMR removing the SFHA.

☐ A LOMR must be obtained from FEMA prior to release of Financial Guarantees.

Floodplain Development Permit Application

Planning Dept., City of Albuquerque

Section 1: General Provisions (Applicant to read and sign)

1. No work of any kind may start in a Special Flood Hazard Area, SFHA, until a permit is issued.
2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
4. Applicant must provide a Critical Habitat for Threatened & Endangered Species report prior to any work in a SFHA.
5. Applicant must provide the Base Flood Elevation, BFE, and must provide engineering calculations demonstrating that the development will not increase the BFE or result in increased flood risk on any neighboring property.
6. If this application is for a building the floodplain must be removed by first constructing any required storm drain and/or channel modifications and second acquiring a Letter of Map Revision, LOMR, from FEMA before a building permit will be issued. If storm drain and channel modifications are not involved then a draft Elevation Certificate must be submitted prior to Building Permit and a Final Elevation Certificate must be submitted prior to Certificate of Occupancy.
7. A Conditional Letter of Map Revision, CLOMR, is required prior to any work in the FLOODWAY, if applicable.
8. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature Scott Eddings Date 8/8/23

Applicant Printed Name Scott Eddings Phone #: 505-235-7211

Owner Signature _____ Date _____

Owner Printed Name _____ Phone #: _____

Applicant is (check one): Owner _____ Builder _____ Engineer/Architect X

Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Project address/Legal Disc/Location: _____

North Domingo Baca Park
8321 Wyoming Blvd. NE

Section 2 (Cont.) - Description of Work in Special Flood Hazard Area (SFHA):

A. Building Development and Building Type

<u>ACTIVITY</u>	<u>STRUCTURE TYPE</u>
☒ New Building	___ Residential (1-4 Family)
___ Addition	___ Residential (More than 4 Family)
___ Alteration	☒ Non Residential (Flood-proofing? ___ Yes)
___ Relocation	___ Combined Use (Residential & Commercial)
___ Demolition	___ Manufactured Home (In Mobile Home Park? ___ Yes)
___ Replacement	

If an addition or alteration:

Estimated Cost of Project \$ _____

Estimated Value of structure before addition/alteration. \$ _____

Percent of value (new construction /existing value) _____ %

B. Other Development Activities

☒ Clearing ☒ Grading ___ Utilities ___ Paving

___ Watercourse Alteration (Bridge or Channel Modification)

___ Drainage Improvements (Storm drain or culverts)

___ Road, Street or Bridge Construction

___ Subdivision

___ Walls or Fences

___ Storage of Materials/Equipment for more than a year. (Materials Volume (cu. Ft.) _____)

Other (Please Specify) _____

Is there a Grading & Drainage Plan associated with this work? Yes ☒ No ___

Drainage file Number: C19D043A

Section 3: Floodplain Determination (Completed by the Floodplain Administrator)

____ The proposed development is located on FIRM Panel: _____

____ The proposed development is located in Zone X and NO FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED.

____ A portion of the proposed development is located in a SFHA but not any buildings so an approved G&D Plan is required (Engineer's Stamp Date _____) prior to issuance of a Floodplain Development Permit and no Building Permit will be issued for this construction.

____ A portion of the proposed Building is located in a SFHA but the project does not include any storm drain improvements and/or channel modifications so:

1. Approved G&D Plan is required (Engineer's Stamp Date _____) prior to issuance of a Floodplain Development Permit,
2. Draft Elevation Certificate (Date _____) is required prior to issuance of a Building Permit, and
3. Final Elevation Certificate and Engineer's Certification is required prior to Certificate of Occupancy.

____ A portion of the proposed Building is located in a SFHA and the project includes storm drain improvements and/or channel modifications that will change the floodplain location so

1. An Approved Grading and Drainage Plan is required (Engineer's Stamp Date _____) prior to issuing a Flood Plain Development Permit and a Grading Permit and/or a Work Order.
2. The improvements must be constructed and an Approved Engineer's Certification (Engineer's Stamp Date _____) and an Approved LOMR Request (Engineer's Stamp Date _____) must be approved by Hydrology prior to approval of the LOMR application to FEMA.
3. The Floodplain must be removed by a LOMR from FEMA (Date _____) prior to issuance of a Building Permit.

____ A portion of the proposed development is located in a FLOODWAY so:

1. Approved G&D Plan (Engineer's Stamp Date _____) and an Approved CLOMR Request (Date _____) is required prior to approval of the application to FEMA, and
2. CLOMR from FEMA (Date _____) is required prior to issuance of a Floodplain Development Permit, a Grading Permit, and/or a Work Order.
3. The improvements must be constructed and an Approved Engineer's Certification (Engineer's Stamp Date _____) and an Approved LOMR Request (Engineer's Stamp Date _____) must be approved by Hydrology prior to approval of the LOMR application to FEMA (Date _____).
4. The Floodplain must be removed by a LOMR from FEMA (Date _____) prior to issuance of a Building Permit.

Drainage File Number: _____

Floodplain Permit Number: _____

Signed: _____

Date: _____

Printed Name: _____

From: [Jared Romero](#)
To: [Brisette, Renee C.](#)
Cc: [Nicole Friedt](#); [Shahab Biazar](#); tchen@cabq.gov
Subject: RE: North Domingo Baca Aquatic Center GP for BP (C19D043E) - AMAFCA Comments
Date: Monday, December 4, 2023 2:39:00 PM
Attachments: [Pages from 2nd Amend Lower NDB Park Agreement - 08-11-1997.pdf](#)

Good Afternoon Renee,

Below are AMAFCA's comments on the Grading Plan for the North Domingo Baca Aquatic Center dated 9/18/2023:

General:

- A Letter of Map Revision (LOMR) must be prepared and accepted by FEMA to revise the limits of the existing floodplain prior to this site being developed. This LOMR was a requirement of an Agreement (and subsequent amendments, attached) between AMAFCA and the City where the City was responsible for preparation and fulfillment of the LOMR. The City has not fulfilled its responsibility and the terms of the existing agreement.

Plan

- The Flood Zone section states that the BFE is 5320' for the AO1 flood zone. Where was this BFE derived? The site is largely at an elevation of ~5360. Verify or revise the BFE.
- Provide the hydrology calculations for the existing and proposed basins.
 - The proposed basins should be divided based on the proposed drainage infrastructure to ensure that the infrastructure is sized appropriately.
- Provide the hydraulic calculations for the proposed storm drain infrastructure on-site (inlet sizing, storm drain, etc.).
- Verify that there is capacity in the existing CBC for an additional pipe penetration.
 - The storm drain calculations should assume the max HGL in the CBC as the tailwater condition for the system.

Best,
Jared

Jared Romero, P.E., CFM

Development Review Engineer

Albuquerque Metropolitan Arroyo Flood Control Authority

Phone: (505) 884-2215

From: Brisette, Renee C. <rbrisette@cabq.gov>
Sent: Monday, November 27, 2023 8:42 AM
To: Jared Romero <jromero@amafca.org>
Subject: FW: North Domingo Baca Aquatic Center Grading Plan for Building Permit (C19D043E)

Jared,

Have you seen this one yet?



RENÉE CHRISTINA BRISSETTE, PE CFM

senior engineer, hydrology

o 505.924.3995

e rbrissette@cabq.gov

cabq.gov/planning

From: Melton, Brian <bmelton@cabq.gov>

Sent: Tuesday, November 14, 2023 10:49 AM

To: Brissette, Renee C. <rbrissette@cabq.gov>; Chen, Tiequan <tchen@cabq.gov>; Rael, Rudy E. <RRael@cabq.gov>

Cc: Fox, Debi <dlfox@cabq.gov>; Herrera, Steve G. <sgherrera@cabq.gov>; Montoya, Yolanda <yolandamontoya@cabq.gov>

Subject: FW: North Domingo Baca Aquatic Center Grading Plan for Building Permit (C19D043E)

Hello,

Please see the attached Hydrology submittal. Thank you. (C19D043E)

Brian Melton

Hydrology/Transportation Plan Checker

o 505-924-3955

From: Fox, Debi <dlfox@cabq.gov> **On Behalf Of** Planning Development Review Services

Sent: Tuesday, November 14, 2023 10:17 AM

To: Herrera, Steve G. <sgherrera@cabq.gov>; Melton, Brian <bmelton@cabq.gov>

Cc: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Subject: FW: North Domingo Baca Aquatic Center Grading Plan for Building Permit

101906417015531101



DEBI FOX

Planning assistant II

o 505-924-3895

cabq.gov/planning

From: Eddings, Scott <seddings@Huitt-Zollars.com>
Sent: Tuesday, November 14, 2023 9:38 AM
To: Planning Development Review Services <PLNDRS@cabq.gov>
Subject: RE: North Domingo Baca Aquatic Center Grading Plan for Building Permit

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Sorry about that Debi,

Here is the complete submittal.

Scott

From: Fox, Debi <dlfox@cabq.gov> **On Behalf Of** Planning Development Review Services
Sent: Tuesday, November 14, 2023 9:13 AM
To: Eddings, Scott <seddings@Huitt-Zollars.com>
Subject: FW: North Domingo Baca Aquatic Center Grading Plan for Building Permit

Good Morning Scott,
Please include a completed DTIS form, mark grading & drainage for grading permit and other floodplain and resubmit.
Thank you



DEBI FOX
Planning assistant II
☎ 505-924-3895
cabq.gov/planning

From: Eddings, Scott <seddings@Huitt-Zollars.com>
Sent: Tuesday, November 14, 2023 8:56 AM
To: Planning Development Review Services <PLNDRS@cabq.gov>
Subject: North Domingo Baca Aquatic Center Grading Plan for Building Permit

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good Morning,

Attached is the grading plan submittal for building permit.

Scott Eddings, PE

Vice President



333 Rio Rancho Drive NE
Suite 101
Rio Rancho, NM 87124



 seddings@Huitt-Zollars.com

 www.huitt-zollars.com

 505.892.5141

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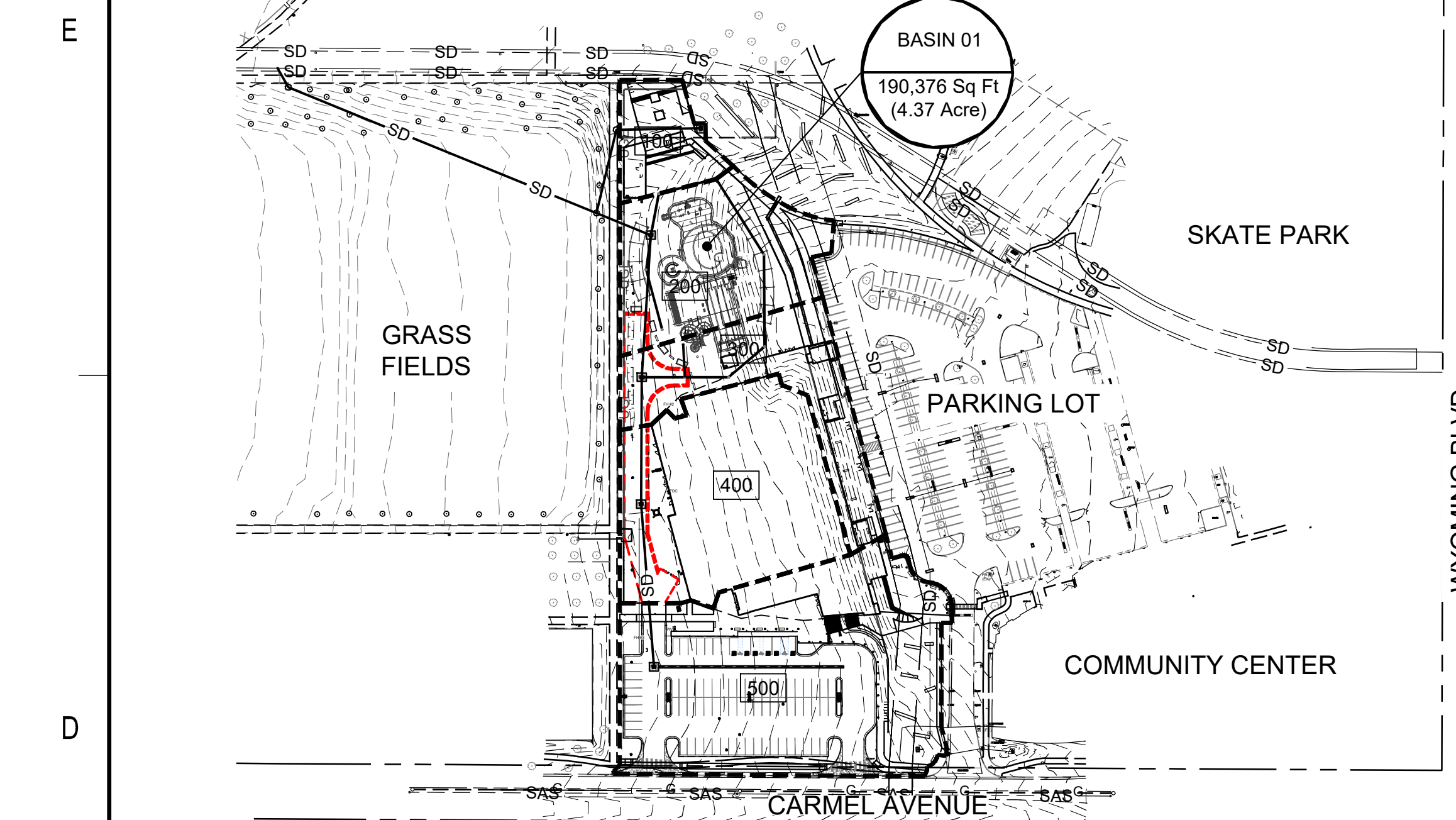
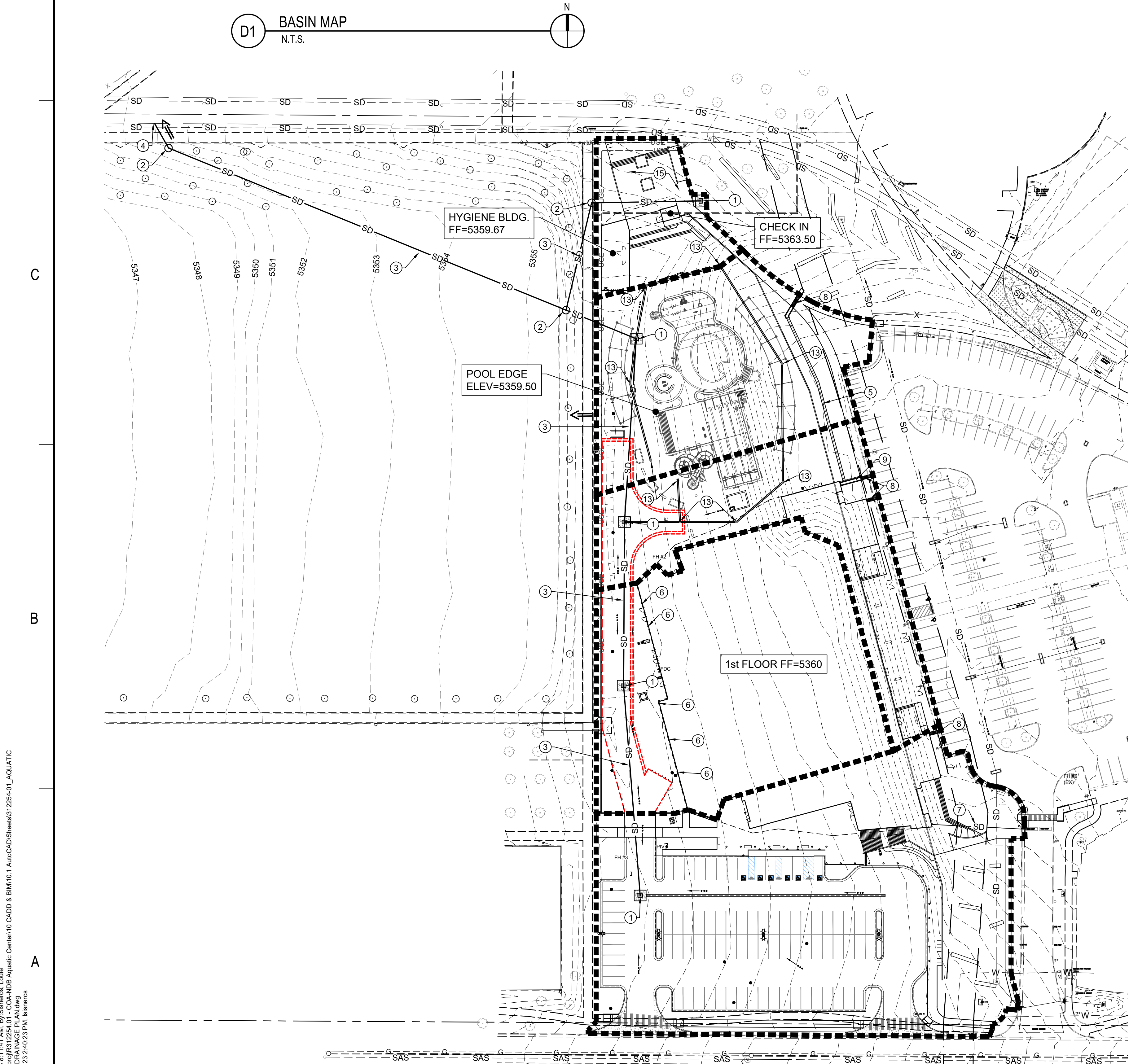
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A1 DRAINAGE PLAN
1"=50'-0"



D1 BASIN MAP
N.T.S.

D2 FIRM 35001C0141G DATED 9/26/2008
NTS

D3 PRECIPITATION FREQUENCY DATA
NTS

D4 KEYED NOTES

1. TYPE "D" INLET PER DETAIL A5, SHEET C-502.

2. 4" DIA. STORM MANHOLE PER CITY OF ALBUQUERQUE STD DWG 2101. SEE DETAIL A2, SHEET C-502.

3. 24" RCP STORM PIPE - FOR PROFILE SEE SHEET C-105

4. CONNECT NEW 24" RCP STORM PIPE TO EXISTING BOX CULVERT PER DETAIL C4, SHEET C-502.

5. NOT USED.

6. 6" ROOF DRAIN OUTLET

7. 3" ROOF DRAIN UNDER CONC. SIDEWALK, OUTLET THROUGH CURB

8. 12" SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STD DWG 2236. SEE DETAIL A1, SHEET C-501.

9. 12" CONCRETE RUNDOWN AT ROOF DRAIN OUTLET. SEE DETAIL A1, SHEET C-502.

10. NOT USED.

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13. 24"x24" NDS CATCH BASIN PER DETAILS, SHEET C-502

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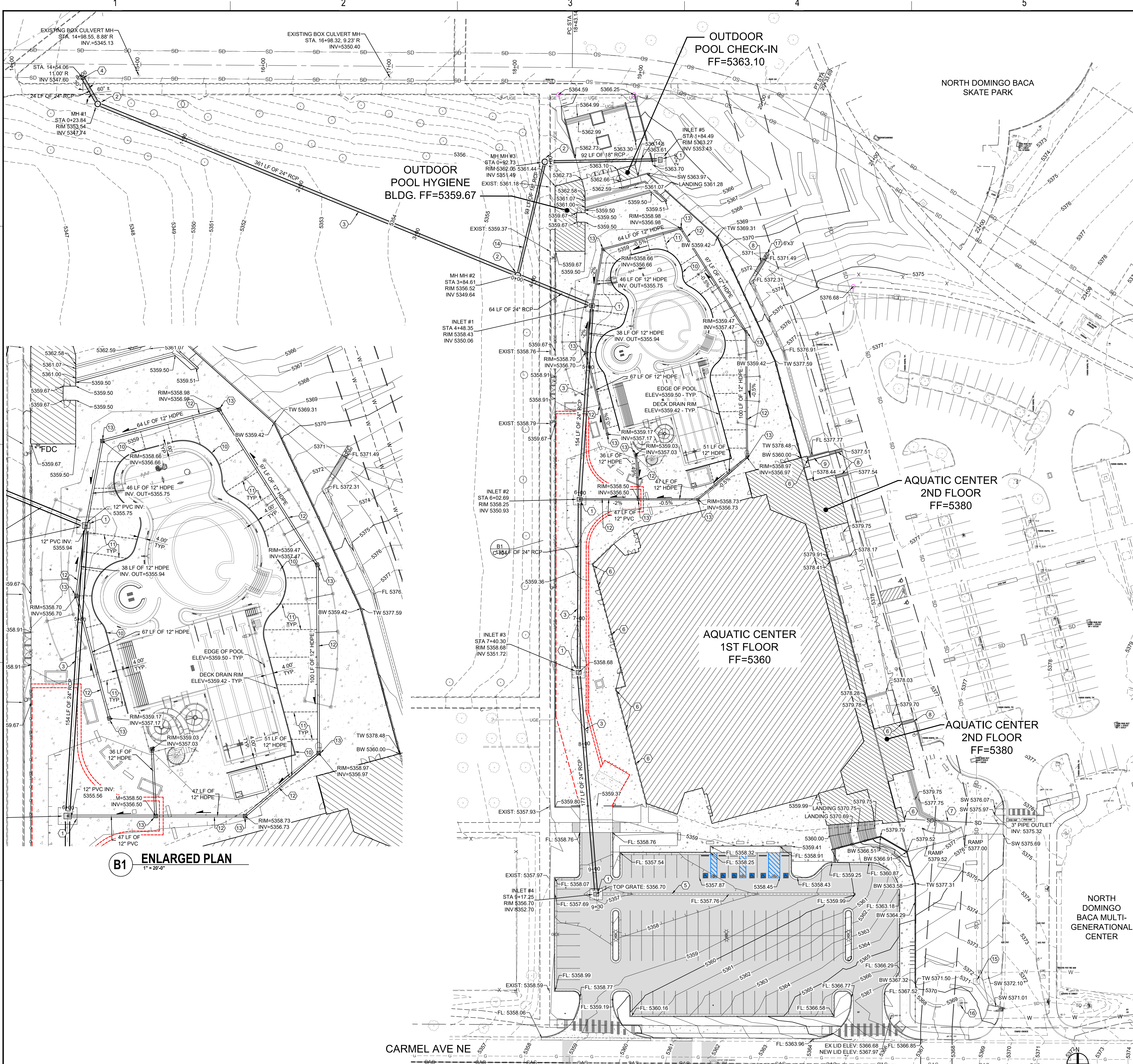
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Plotted: 10/30/2023 8:14:46 AM By: Silerena, Unile
Information: R312254.01 - CDA-MDB Aquatic Center10 CADD & BIM10: 1 AutoCAD sheets12254-01_AQUATIC
Last Saved: 10/30/2023 8:06:09 AM, Itinerary

A1 GRADING PLAN
1" = 30'-0"

B1 ENLARGED PLAN
1" = 20'-0"



GENERAL SHEET NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND OR CONCEALED UTILITIES IN ADVANCE OF ANY CONSTRUCTION.
- IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HERSELF / HIMSELF WITH ALL THE EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS PRIOR TO SUBMITTING BID.
- SEE SHEET C-105 FOR STORM DRAIN PIPE PROFILES
- SEE SHEET C-106 FOR ENLARGED GRADING DETAILS

SHEET KEYNOTES

- TYPE "D" INLET PER DETAIL A5, SHEET C-502.
- 4" DIA. STORM MANHOLE TYPE "C" PER CITY OF ALBUQUERQUE STD DWG 2208. SEE DETAIL A2, SHEET C-502.
- 24" RCP STORM PIPE - FOR PROFILE SEE SHEET C-105
- CONNECT NEW 24" RCP STORM PIPE TO EXISTING BOX CULVERT PER DETAIL C4, SHEET C-502.
- "ALLEY" GUTTER PER CITY OF ALBUQUERQUE STD DWG 2415B. SEE DETAIL C5, SHEET C-501.
- 6" ROOF DRAIN OUTLET LOCATION - SEE PLUMBING
- 3" ROOF DRAIN UNDER CONC. SIDEWALK, OUTLET THROUGH CURB
- 24" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STD DWG 2236. SEE DETAIL A1, SHEET C-501.
- CONCRETE RUNDOWN AT ROOF DRAIN OUTLET. SEE DETAIL B5, SHEET C-503.
- "LAWSON AQUATICS DRAIN THE DECK SYSTEM" OR APPROVED EQUAL. RIM ELEVATION = 5359.42 TYP.
- 3" PVC WITH LONG SWEEP FITTINGS PER CITY OF ALBUQUERQUE PUBLIC WORKS SPECIFICATIONS
- 12" HDPE WITH LONG SWEEP FITTINGS PER CITY OF ALBUQUERQUE PUBLIC WORKS SPECIFICATIONS
- 24"x24" NDS CATCH BASIN PER DETAIL C5, SHEET C-502
- 18" RCP STORM PIPE - FOR PROFILE SEE SHEET C-105
- ADJUST EXISTING STORM MANHOLE RIM TO NEW ELEV. 5371.41
- EXISTING ENTRANCE SIGN TO REMAIN UNDISTURBED
- COBBLE PAD PER DETAIL D1, SHEET C-501. SIZE SHOWN ON PLAN

LEGEND

- CURB & GUTTER
- CONC. SIDEWALK
- ASPHALT PAVEMENT
- BUILDING

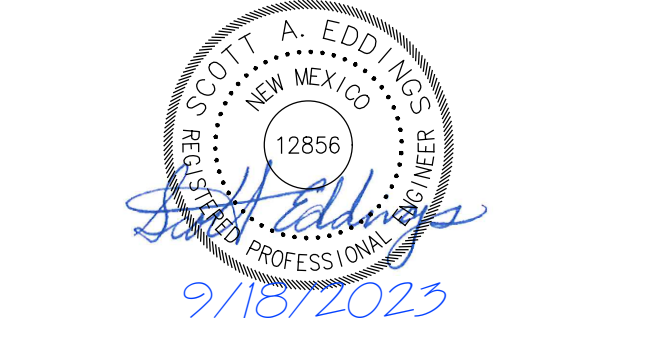
EXISTING SITE LEGEND

- EXISTING CURB & GUTTER
- EXISTING FENCE
- EXISTING STORM DRAIN
- EXISTING OVERHEAD ELEC.
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING TELE. PED
- EXISTING ELEC. BOX
- EXISTING COMM. BOX
- EXISTING BOLLARD
- EXISTING CLEANOUT
- EXISTING GAS METER
- EXISTING WATER METER
- EXISTING MANHOLE
- EXISTING STOP SIGN

NOTE: FOR SPECIFICATION INFORMATION, REFER TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS



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NORTH DOMINGO BACA AQUATIC CENTER
PHASE 1

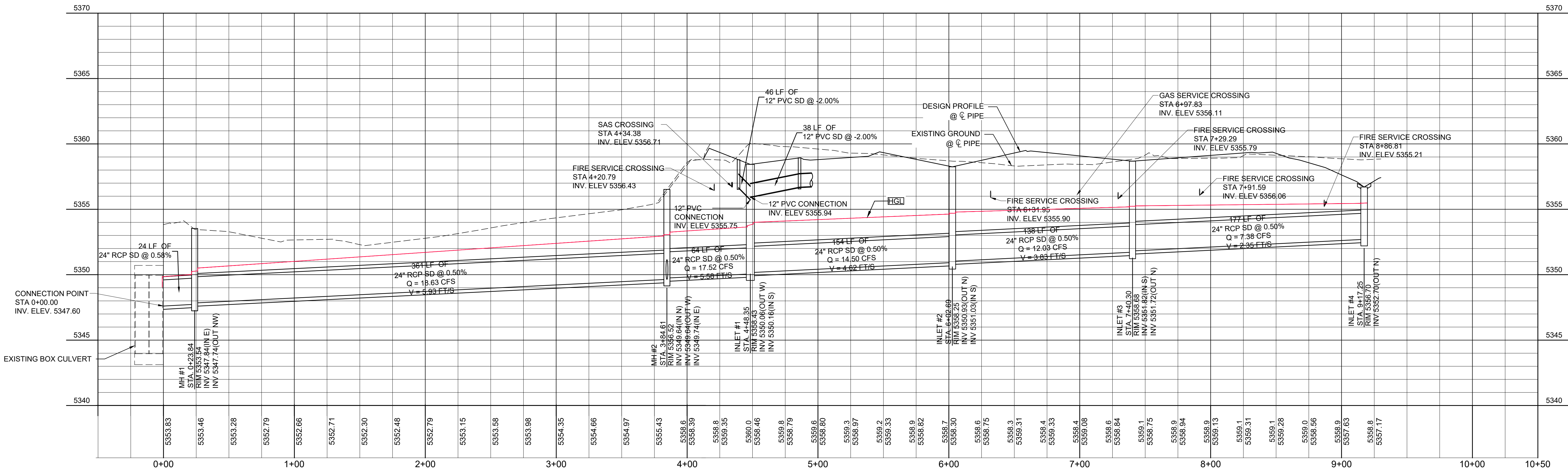
7521 Carmel Ave. NE
Albuquerque, NM 87113

City of Albuquerque
1801 4th St. NW, Albuquerque, NM, 87102
CITY PROJECT NO.: **705286**
PROJECT NO.: R312254.01
DRAWN BY: STAFF
REVIEWED BY: STAFF
APPROVED BY: STAFF
ISSUE DRAWING LOG:

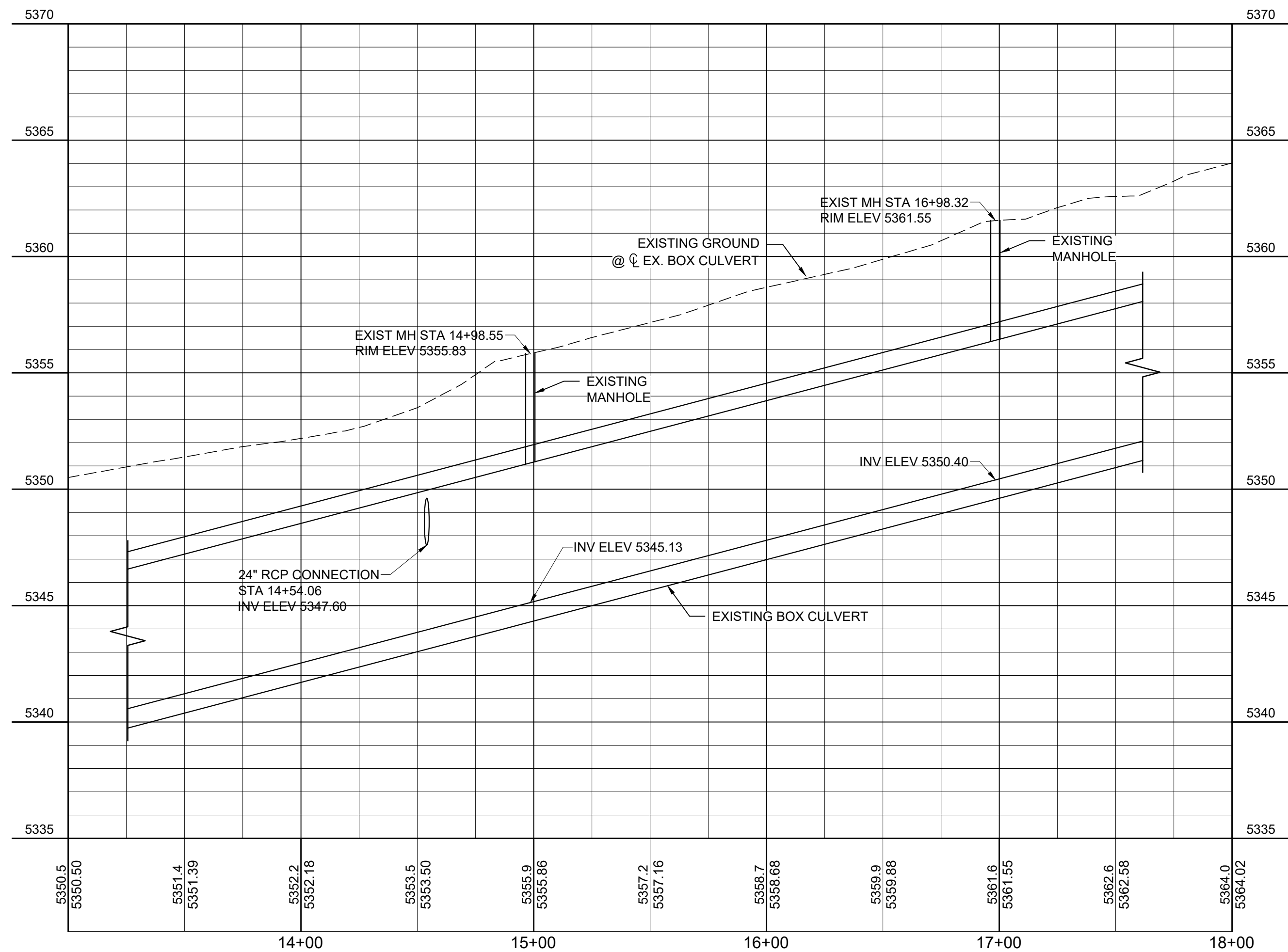
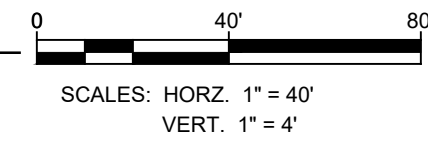
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4	08/21/2023	PHASE 1 95% CD'S
3	07/07/2023	PHASE 0 BID DOCUMENTS
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

GRADING PLAN

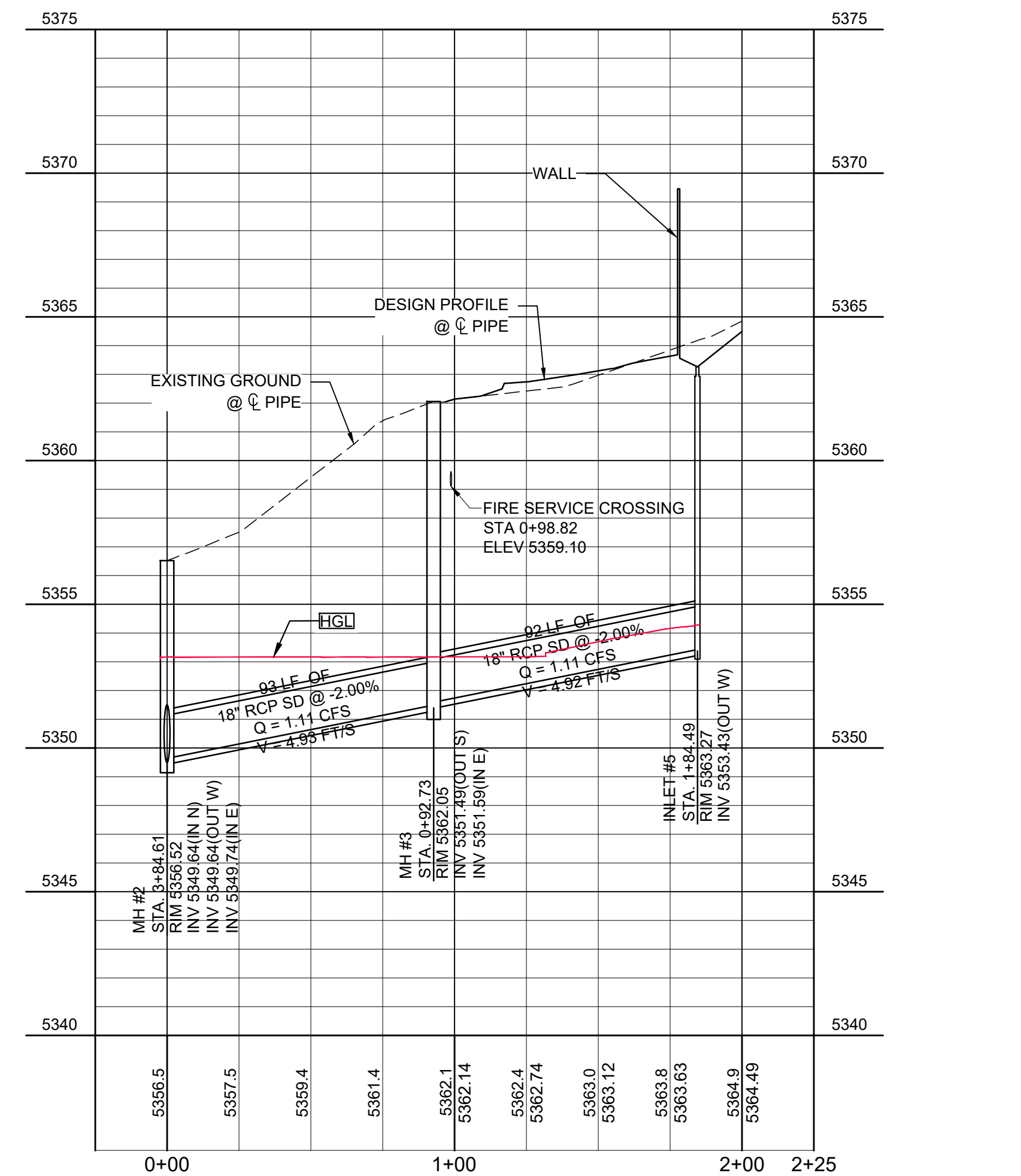
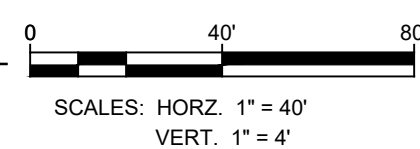
C-104
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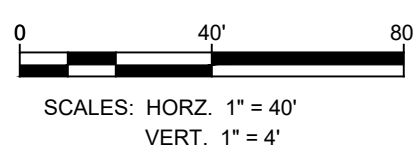
D1 STORM DRAIN PROFILE
1" = 40'-0" HORIZ.
1" = 4'-0" VERT.



A1 EXISTING BOX CULVERT PROFILE AT CONNECTION
1" = 40'-0" HORIZ.
1" = 4'-0" VERT.



A5 STORM DRAIN PROFILE - NORTH
1" = 40'-0" HORIZ.
1" = 4'-0" VERT.



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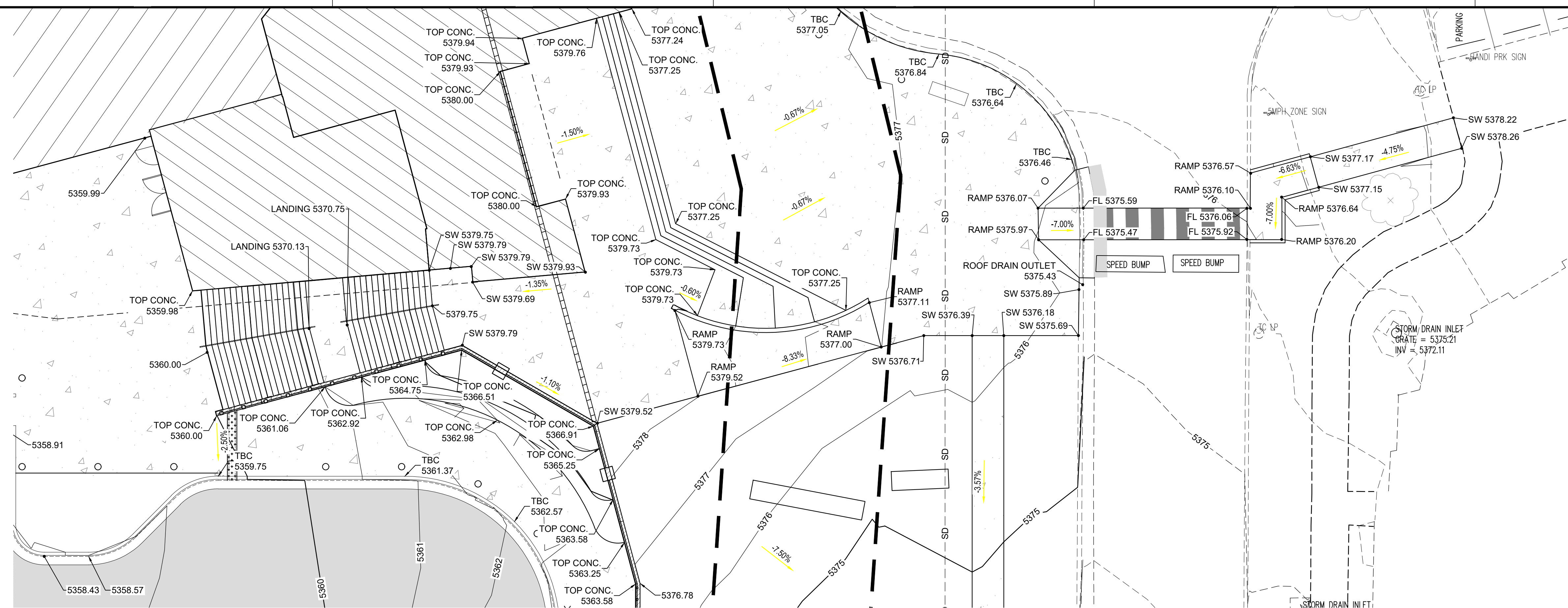
ISSUE DRAWING LOG:

MARK	DATE	DESCRIPTION
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4	08/21/2023	PHASE 1 95% CD'S
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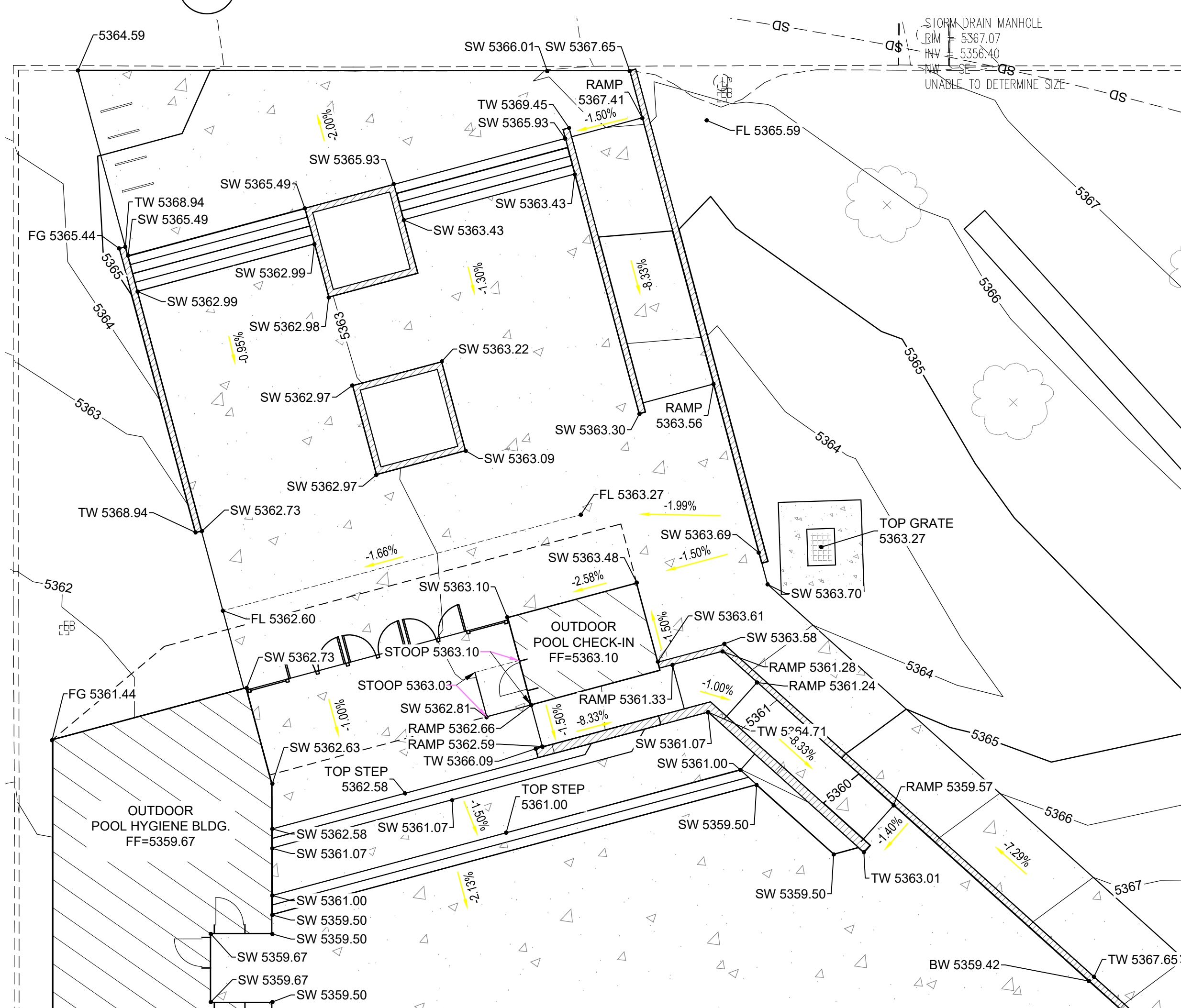
STORM DRAIN PROFILE

C-105

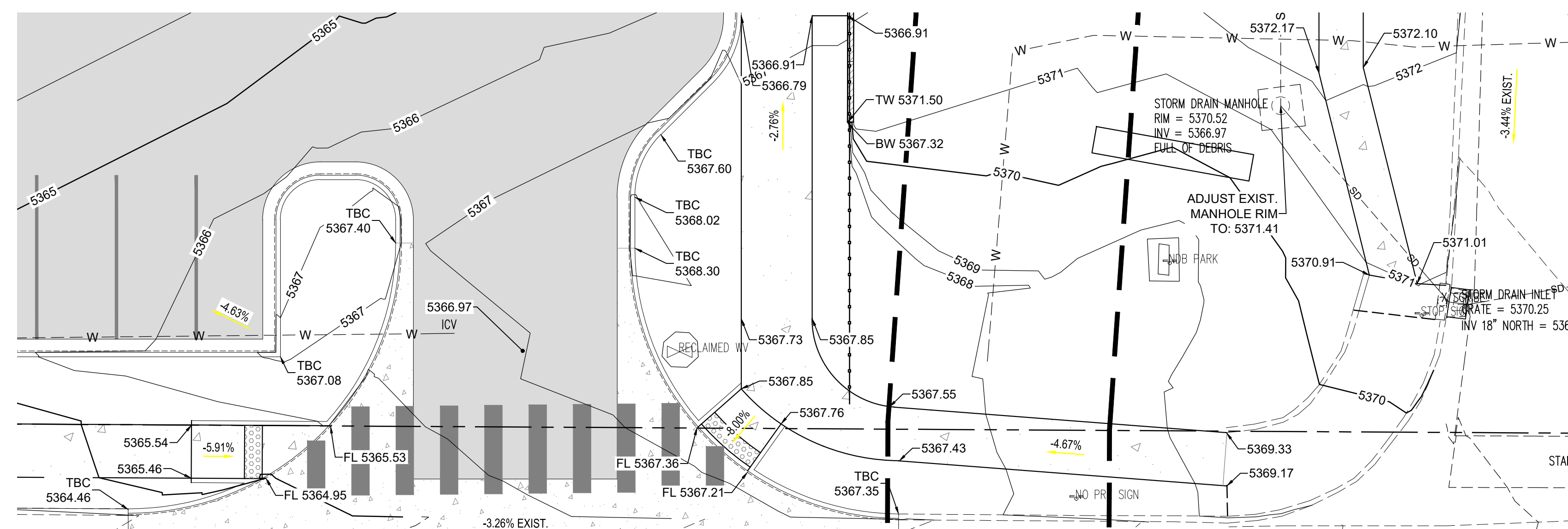
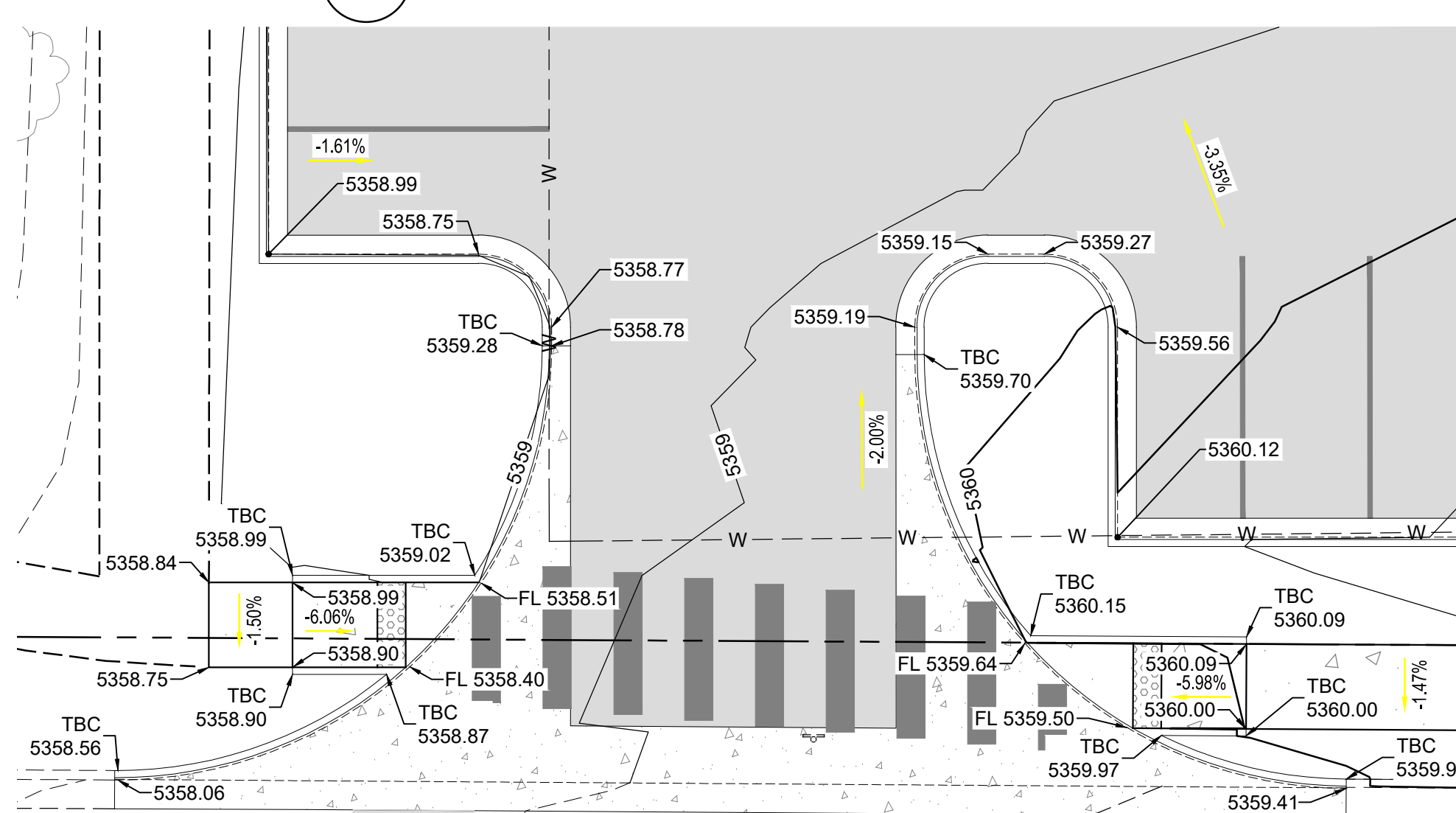
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D1 ENLARGED GRADING DETAIL - STAIRS & RAMPS



P1 ENLARGED GRADING DETAIL - NORTH SITE

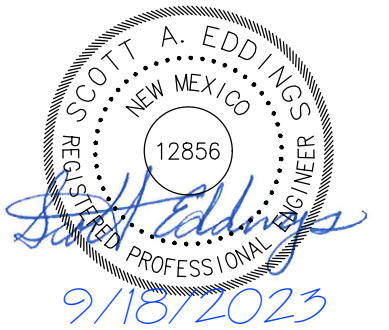


GENERAL SHEET NOTES

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND OR CONCEALED UTILITIES IN ADVANCE OF ANY CONSTRUCTION.
- B. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HERSELF / HIMSELF WITH ALL THE EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS PRIOR TO SUBMITTING BID.



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City of Albuquerque
1801 4th St. NW. Albuquerque, NM. 87102

PROJECT NO.: R312254.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

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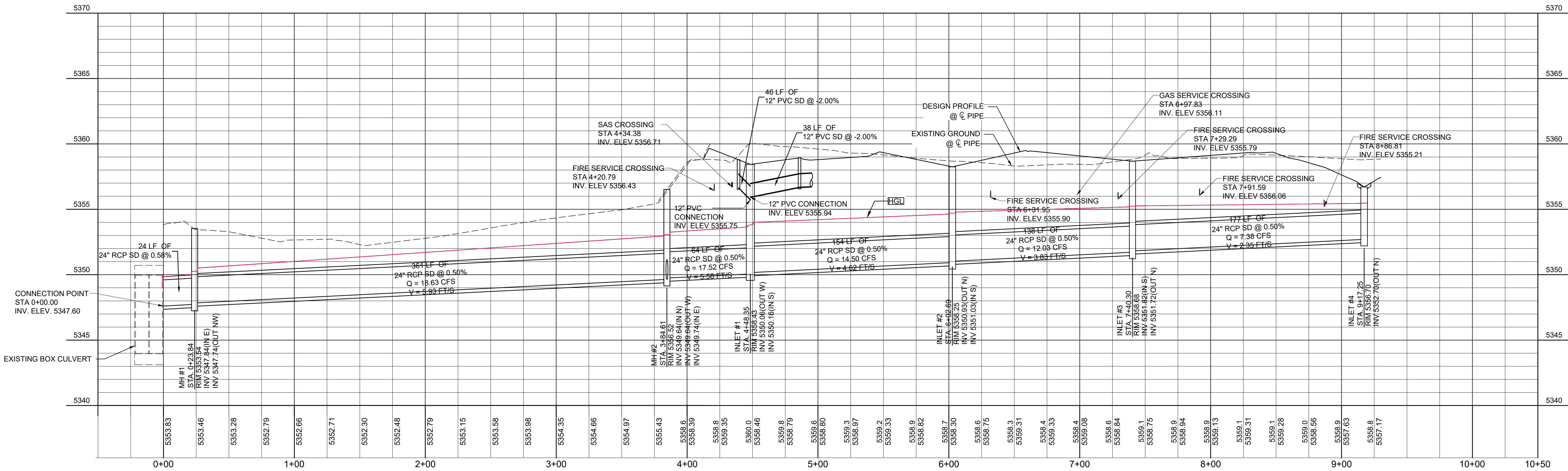
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MARK	DATE	DESCRIPTION

ENLARGED GRADING DETAILS

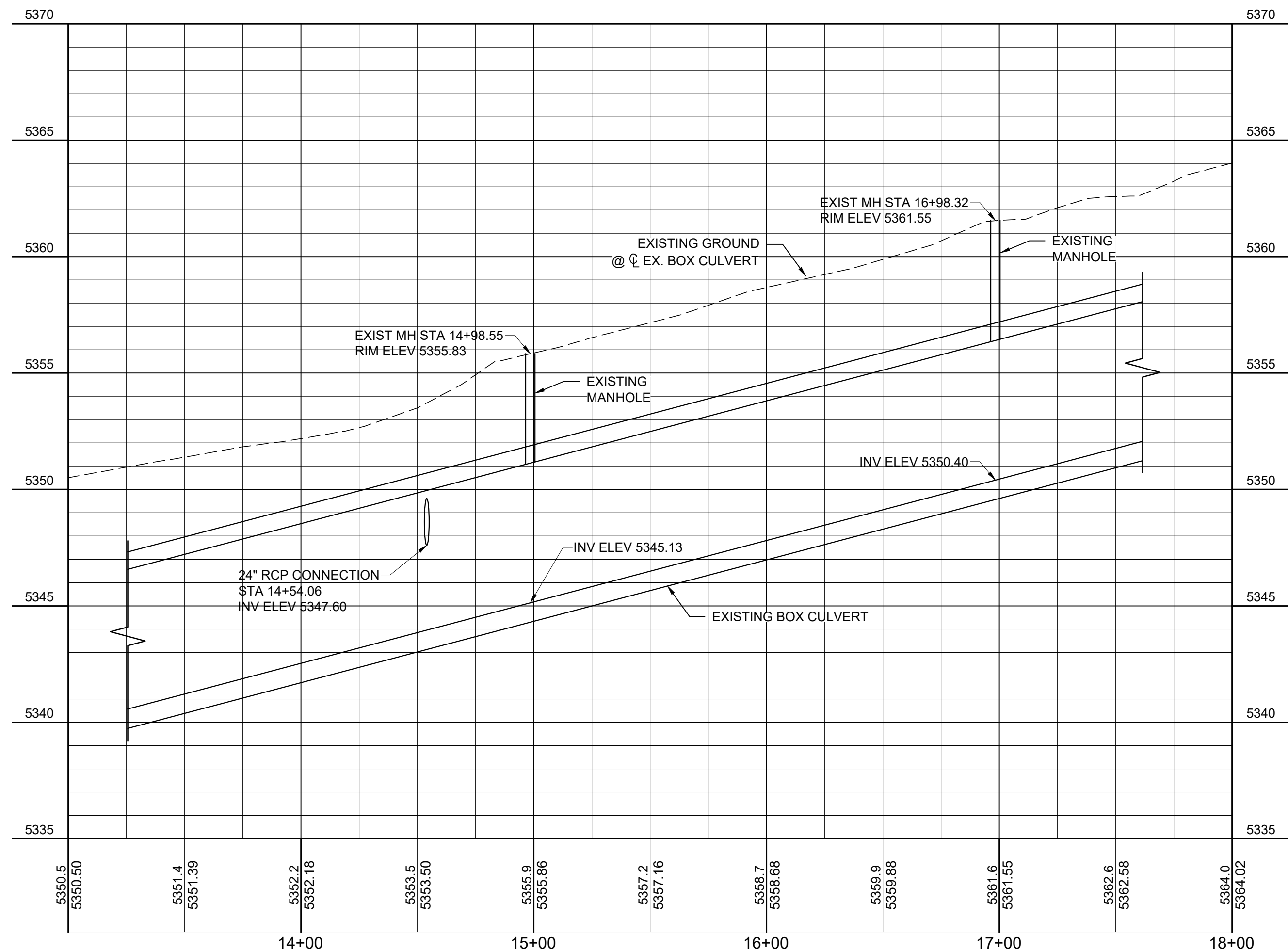
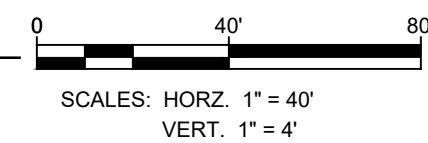
C-106

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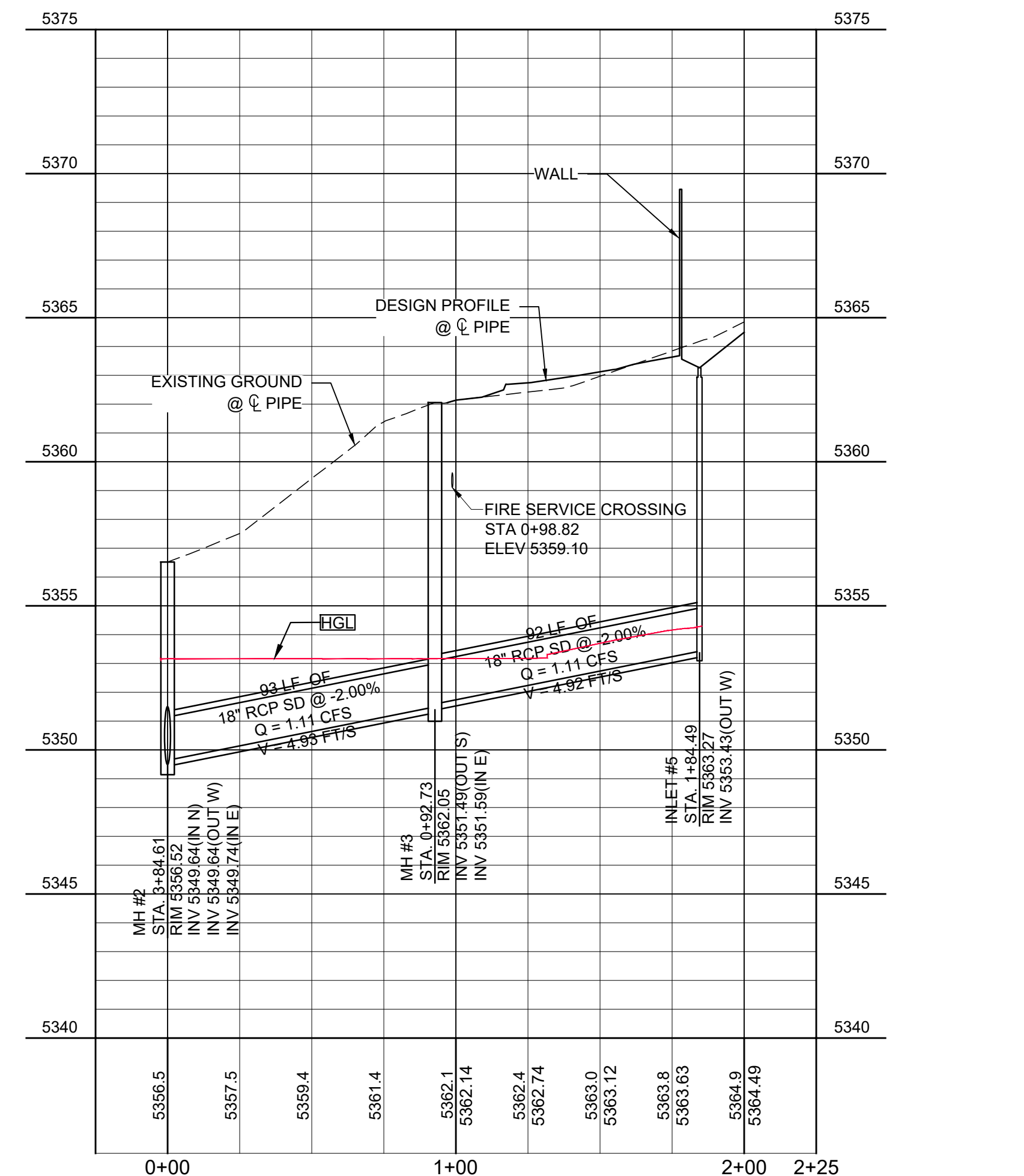
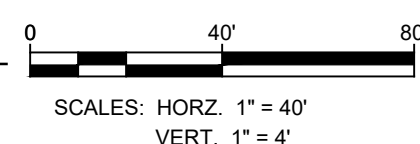
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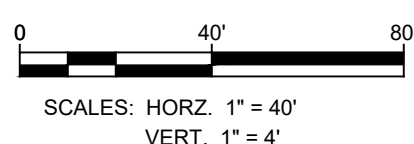
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STORM DRAIN PROFILE

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