

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 10, 2023

Scott Eddings, PE
Huitt-Zollers Inc.
333 Rio Rancho Dr NE, Suite 101
Rio Rancho, NM 87124

**RE: North Domingo Aquatic Center - Phase 0
Grading and Drainage Plans
Engineer's Stamp Date: 07/07/23
Hydrology File: C19D043E**

Dear Mr. Eddings:

Based upon the information provided in your submittal received 07/12/2023, the Grading & Drainage Plans are approved for Grading Permit and Foundation Permit. Once the grading and foundation of the project is complete, please provide an as-built for the City's records since there is no CO attached to the project.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



City of Albuquerque

Planning Department

Floodplain Development Permit

Project Title North Domingo Baca Park Splash Pad

Project Location (Major Cross Streets/Arroyo or address)

North Domingo Baca Park, 8301 Wyoming Blvd NE

Property Owner: (Note: If applying for a Building Permit, the "Company" or "Owner" name on this form must match the "Owner" name on the Building Permit.)

Company Name or Owner Name: City of Albuquerque - Aquatics

Responsible Person: (Note: Name below may be the same as Owner Name above if there is no Company Name)

Name: Huitt - Zollars, Inc.

Phone Number: 505-235-7211

E-mail: seddings@huitt-zollars.com

Site Contact: (if different than Property Owner info above.)

Name: Scott Eddings

Phone: 505-235-7211

e-mail: seddings@huitt-zollars.com

For City personnel use only:

City Personnel Signature: _____ Date _____

Description of Work _____

Check all that apply:

☐ Final Elevation Certificate required prior to Certificate of Occupancy

☐ No Building Permits will be allowed until FEMA issues a LOMR removing the SFHA.

☐ A LOMR must be obtained from FEMA prior to release of Financial Guarantees.

Floodplain Development Permit Application

Planning Dept., City of Albuquerque

Section 1: General Provisions (Applicant to read and sign)

1. No work of any kind may start in a Special Flood Hazard Area, SFHA, until a permit is issued.
2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
4. Applicant must provide a Critical Habitat for Threatened & Endangered Species report prior to any work in a SFHA.
5. Applicant must provide the Base Flood Elevation, BFE, and must provide engineering calculations demonstrating that the development will not increase the BFE or result in increased flood risk on any neighboring property.
6. If this application is for a building the floodplain must be removed by first constructing any required storm drain and/or channel modifications and second acquiring a Letter of Map Revision, LOMR, from FEMA before a building permit will be issued. If storm drain and channel modifications are not involved then a draft Elevation Certificate must be submitted prior to Building Permit and a Final Elevation Certificate must be submitted prior to Certificate of Occupancy.
7. A Conditional Letter of Map Revision, CLOMR, is required prior to any work in the FLOODWAY, if applicable.
8. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature Scott Eddings Date 8/8/23

Applicant Printed Name Scott Eddings Phone #: 505-235-7211

Owner Signature _____ Date _____

Owner Printed Name _____ Phone #: _____

Applicant is (check one): Owner _____ Builder _____ Engineer/Architect X

Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Project address/Legal Disc/Location: _____

North Domingo Baca Park
8321 Wyoming Blvd. NE

Section 2 (Cont.) - Description of Work in Special Flood Hazard Area (SFHA):

A. Building Development and Building Type

<u>ACTIVITY</u>	<u>STRUCTURE TYPE</u>
☒ New Building	___ Residential (1-4 Family)
___ Addition	___ Residential (More than 4 Family)
___ Alteration	☒ Non Residential (Flood-proofing? ___ Yes)
___ Relocation	___ Combined Use (Residential & Commercial)
___ Demolition	___ Manufactured Home (In Mobile Home Park? ___ Yes)
___ Replacement	

If an addition or alteration:

Estimated Cost of Project \$ _____

Estimated Value of structure before addition/alteration. \$ _____

Percent of value (new construction /existing value) _____ %

B. Other Development Activities

☒ Clearing ☒ Grading ___ Utilities ___ Paving

___ Watercourse Alteration (Bridge or Channel Modification)

___ Drainage Improvements (Storm drain or culverts)

___ Road, Street or Bridge Construction

___ Subdivision

___ Walls or Fences

___ Storage of Materials/Equipment for more than a year. (Materials Volume (cu. Ft.) _____)

Other (Please Specify) _____

Is there a Grading & Drainage Plan associated with this work? Yes ☒ No ___

Drainage file Number: C19D043A

Section 3: Floodplain Determination (Completed by the Floodplain Administrator)

____ The proposed development is located on FIRM Panel: _____

____ The proposed development is located in Zone X and NO FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED.

____ A portion of the proposed development is located in a SFHA but not any buildings so an approved G&D Plan is required (Engineer's Stamp Date _____) prior to issuance of a Floodplain Development Permit and no Building Permit will be issued for this construction.

____ A portion of the proposed Building is located in a SFHA but the project does not include any storm drain improvements and/or channel modifications so:

1. Approved G&D Plan is required (Engineer's Stamp Date _____) prior to issuance of a Floodplain Development Permit,
2. Draft Elevation Certificate (Date _____) is required prior to issuance of a Building Permit, and
3. Final Elevation Certificate and Engineer's Certification is required prior to Certificate of Occupancy.

____ A portion of the proposed Building is located in a SFHA and the project includes storm drain improvements and/or channel modifications that will change the floodplain location so

1. An Approved Grading and Drainage Plan is required (Engineer's Stamp Date _____) prior to issuing a Flood Plain Development Permit and a Grading Permit and/or a Work Order.
2. The improvements must be constructed and an Approved Engineer's Certification (Engineer's Stamp Date _____) and an Approved LOMR Request (Engineer's Stamp Date _____) must be approved by Hydrology prior to approval of the LOMR application to FEMA.
3. The Floodplain must be removed by a LOMR from FEMA (Date _____) prior to issuance of a Building Permit.

____ A portion of the proposed development is located in a FLOODWAY so:

1. Approved G&D Plan (Engineer's Stamp Date _____) and an Approved CLOMR Request (Date _____) is required prior to approval of the application to FEMA, and
2. CLOMR from FEMA (Date _____) is required prior to issuance of a Floodplain Development Permit, a Grading Permit, and/or a Work Order.
3. The improvements must be constructed and an Approved Engineer's Certification (Engineer's Stamp Date _____) and an Approved LOMR Request (Engineer's Stamp Date _____) must be approved by Hydrology prior to approval of the LOMR application to FEMA (Date _____).
4. The Floodplain must be removed by a LOMR from FEMA (Date _____) prior to issuance of a Building Permit.

Drainage File Number: _____

Floodplain Permit Number: _____

Signed: _____ Date: _____

Printed Name: _____

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A1 PIER WALL PLAN
1" = 30'-0"



GENERAL SHEET NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES
- CONTRACTOR TO PROVIDE EXTRA CARE WHEN TRENCHING OR EXCAVATING DUE TO BURIED UTILITY
- CONSTRUCTION POINTS SHOWN ARE AT CENTER OF WALL

SHEET KEYNOTES

- CONSTRUCT CONCRETE PIER WALL SYSTEM WITH CONCRETE PIER CAP. SEE STRUCTURAL



CL PIER WALL POINT TABLE			
POINT #	RAW DESCRIPTION	NORTHING	EASTING
1	CL PIER WALL	1521133.36	1547512.97
2	CL PIER WALL	1521103.22	1547546.46
3	CL PIER WALL	1521004.31	1547592.62
4	CL PIER WALL	1520588.31	1547704.21
5	CL PIER WALL	1520521.67	1547704.21

TOP OF PIER POINT TABLE				
POINT #	DESCRIPTION	NORTHING	EASTING	ELEVATION
6	T.O. PIER	1521132.20	1547514.28	5360.00
7	T.O. PIER	1521127.51	1547519.48	5362.00
8	T.O. PIER	1521115.80	1547532.49	5362.00
9	T.O. PIER	1521113.46	1547535.09	5364.00
10	T.O. PIER	1521104.09	1547545.49	5364.00
11	T.O. PIER	1521101.07	1547547.46	5366.00
12	T.O. PIER	1521082.04	1547556.34	5366.00
13	T.O. PIER	1521078.87	1547557.82	5368.00
14	T.O. PIER	1521056.67	1547568.18	5368.00
15	T.O. PIER	1521053.49	1547569.66	5370.00
16	T.O. PIER	1521031.29	1547580.02	5370.00
17	T.O. PIER	1521028.12	1547581.50	5372.00
18	T.O. PIER	1521005.89	1547591.86	5372.00
19	T.O. PIER	1521002.58	1547593.05	5374.00
20	T.O. PIER	1520911.32	1547617.57	5374.00
21	T.O. PIER	1520907.94	1547618.47	5372.00
22	T.O. PIER	1520607.07	1547699.18	5372.00
23	T.O. PIER	1520603.69	1547700.09	5370.00
24	T.O. PIER	1520523.42	1547704.21	5370.00

EXISTING SITE LEGEND

- EXISTING CURB & GUTTER
- EXISTING FENCE
- EXISTING STORM DRAIN
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING TELE. PED
- EXISTING ELEC. BOX
- EXISTING COMM. BOX
- EXISTING BOLLARD
- EXISTING CLEANOUT
- EXISTING GAS METER
- EXISTING WATER METER
- EXISTING MANHOLE
- EXISTING SIGN
- EXISTING TREE
- EXISTING WATERLINE



6501 Americas Parkway NE, Suite 830
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Scott Edgington
7-7-2023

06/30/2023

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REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

NEW MEXICO REGISTERED ARCHITECT
JOSEPH M. GALLEGOS
NO. 3977



ONE ALBUQUE ROUE
parks & recreation

**NORTH DOMINGO BACA
AQUATIC CENTER
PHASE 0**

7401 Carmel Ave. NE
Albuquerque, NM 87113

City of Albuquerque

1801 4th St. NW, Albuquerque, NM, 87102

CITY PROJECT NO.: **705286**

PROJECT NO.: **R312254.01**

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

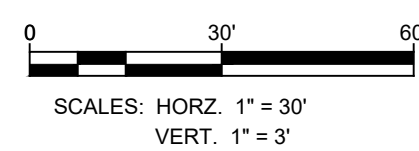
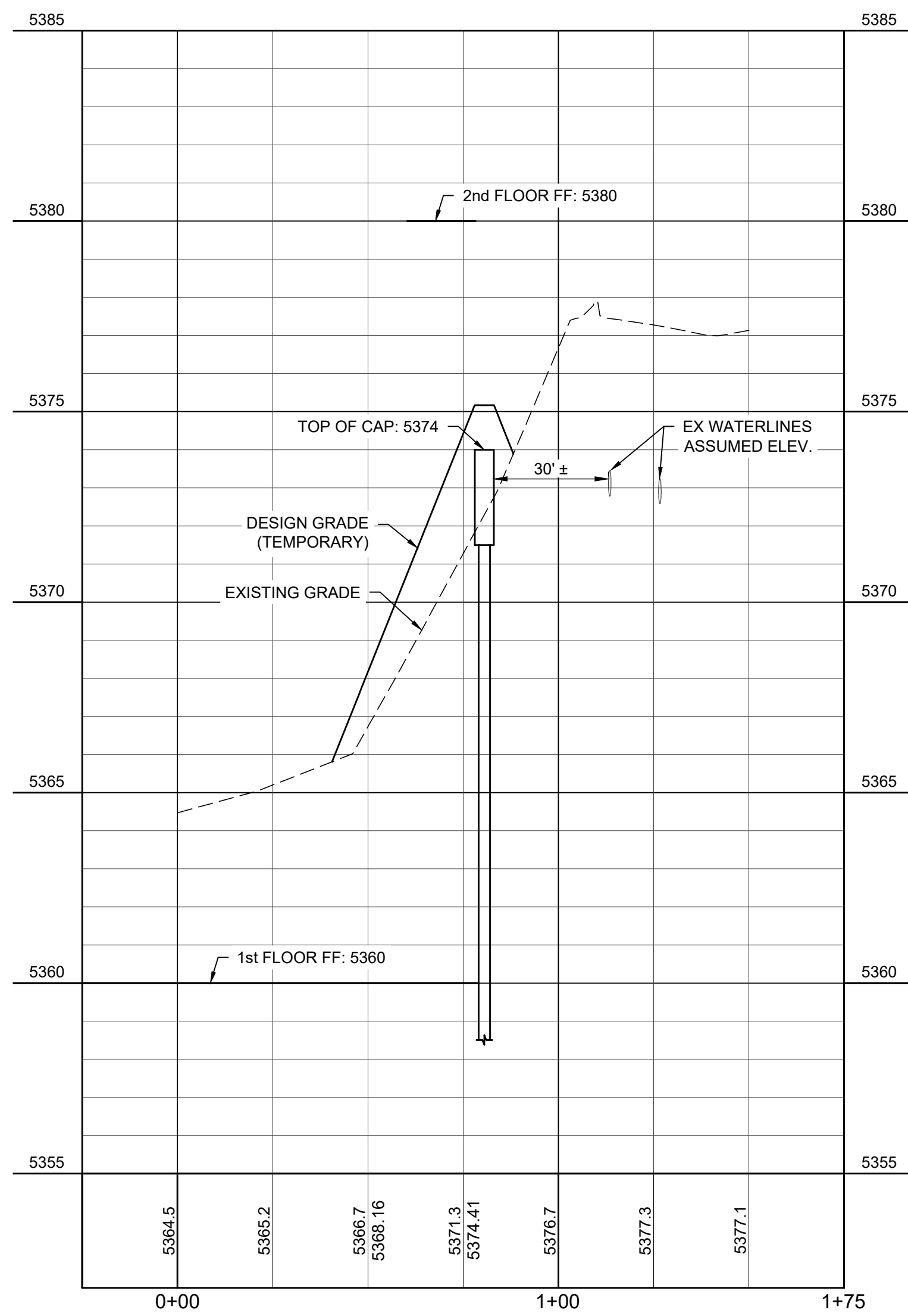
MARK	DATE	DESCRIPTION
3	07/07/2023	PHASE 0 BID DOCUMENTS
2	12/09/2022	DESIGN DEVELOPMENT
1	09/09/2022	SCHEMATIC DESIGN

**INTERIM SITE
PLAN**

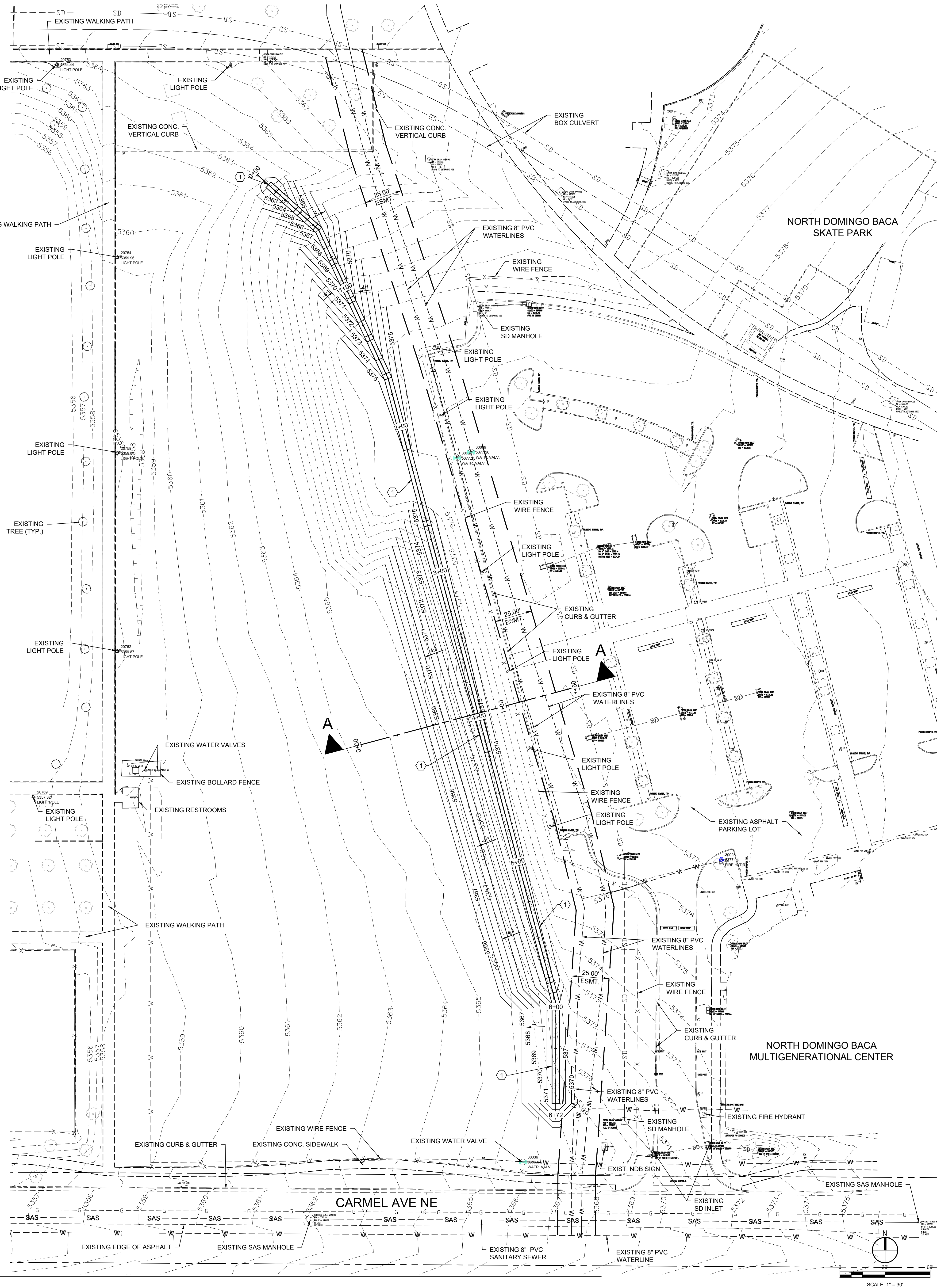
C-101

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Profile View of SECTION-A



A1 PIER WALL INTERIM GRADING PLAN
1" = 30'-0"

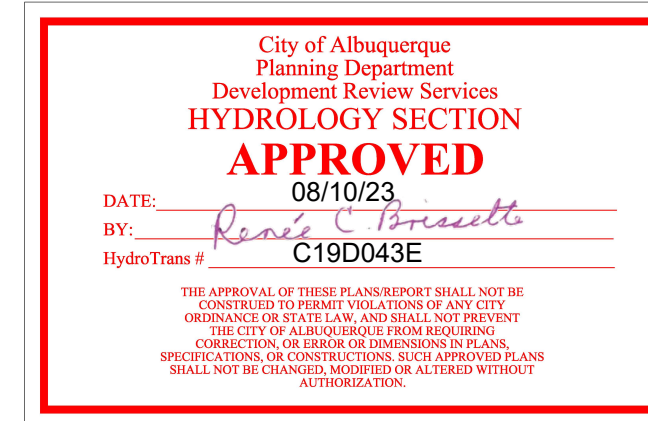


GENERAL SHEET NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES
- CONTRACTOR TO PROVIDE EXTRA CARE WHEN TRENCHING OR EXCAVATING DUE TO BURIED UTILITY
- DESIGN SIDE SLOPES SHOWN ARE 4:1

SHEET KEYNOTES

- CONCRETE PIER WALL SYSTEM WITH CONCRETE PIER CAP. SEE STRUCTURAL

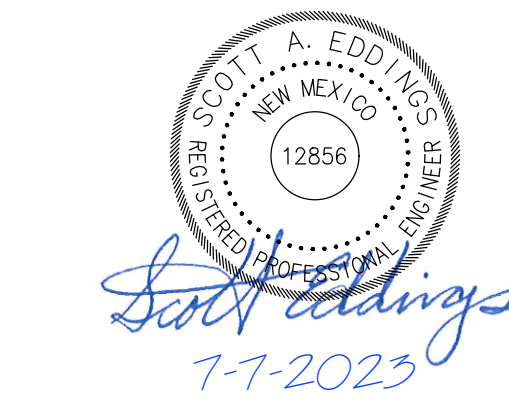


EXISTING SITE LEGEND

- EXISTING CURB & GUTTER
- EXISTING FENCE
- EXISTING STORM DRAIN
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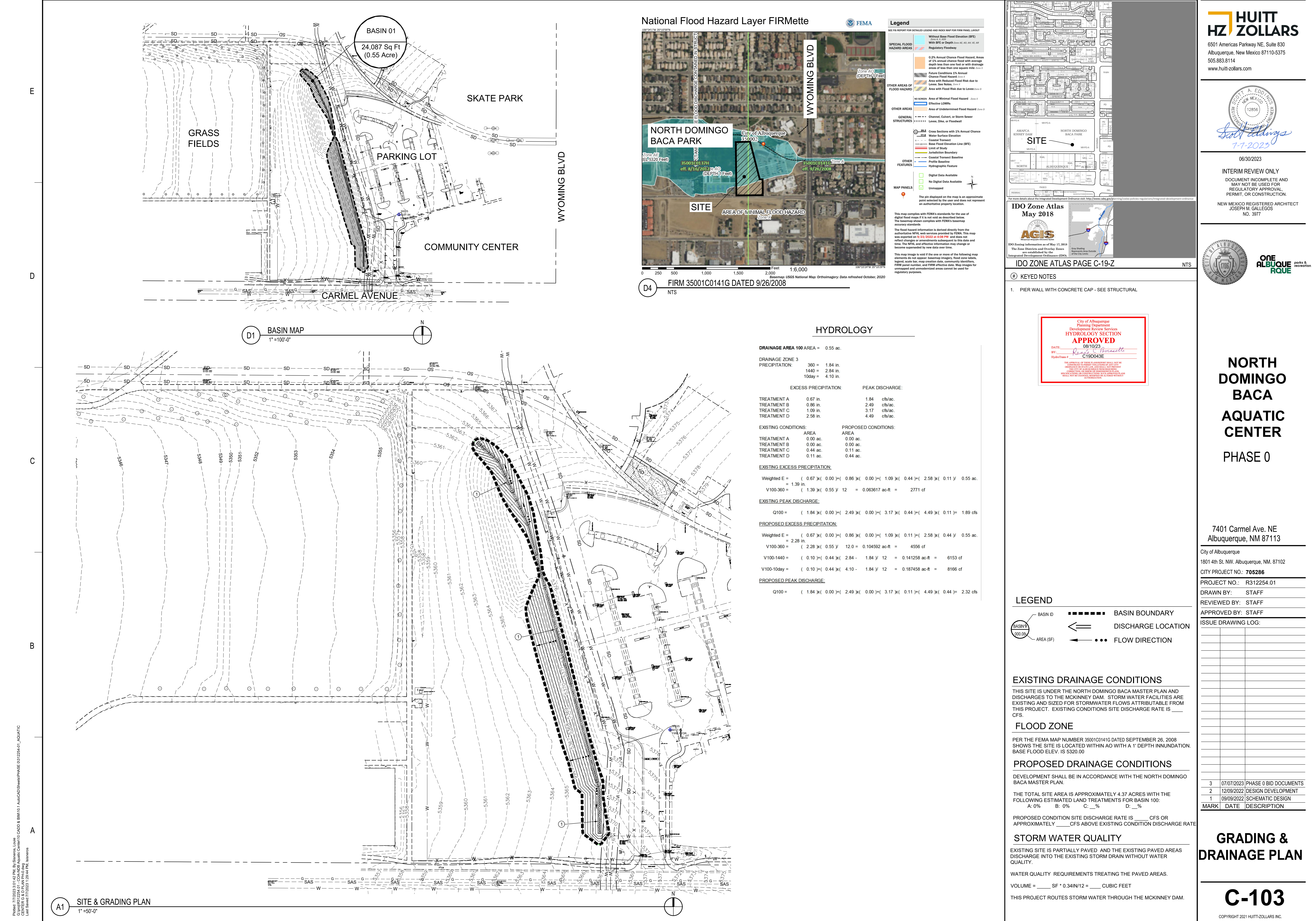
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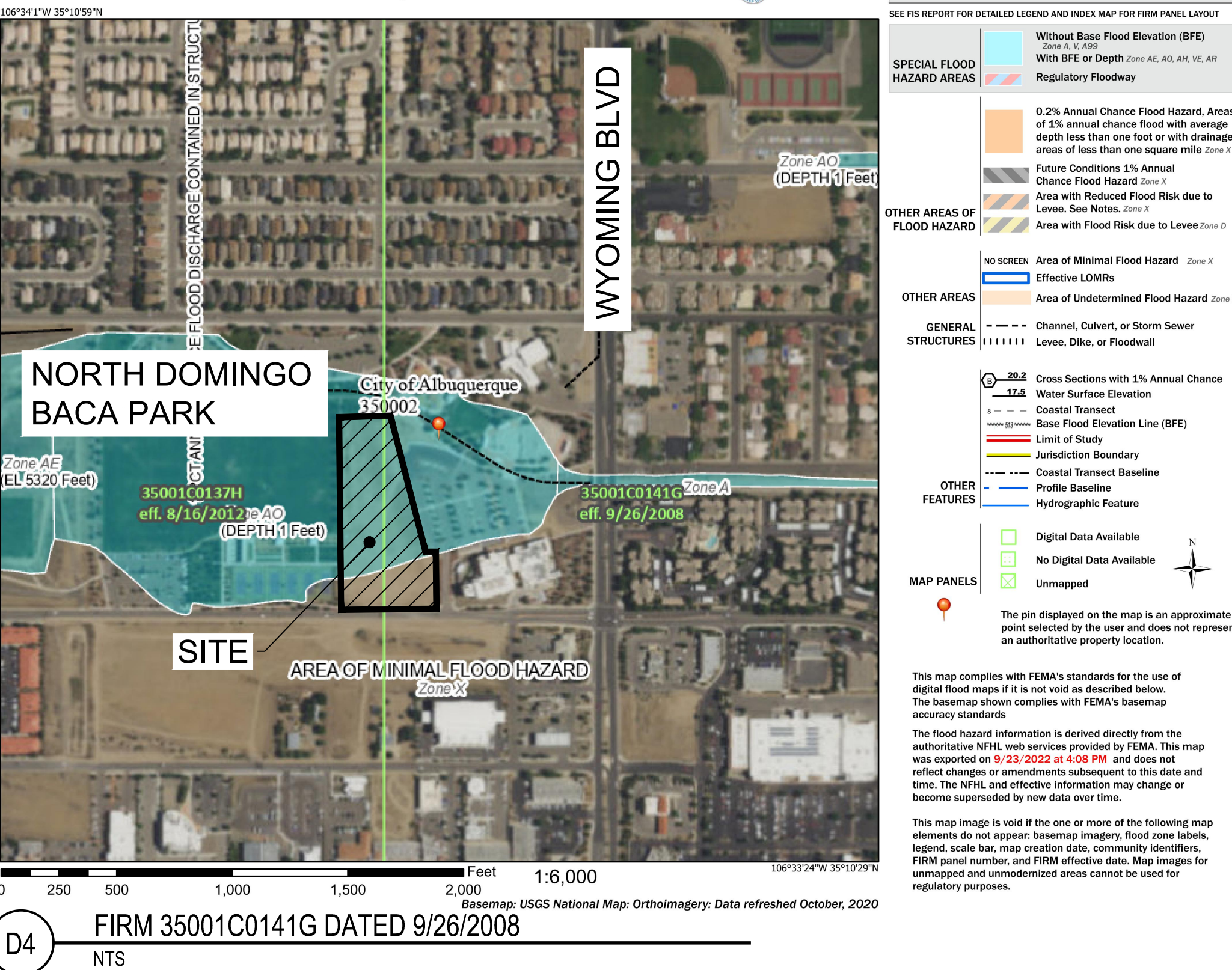
**INTERIM
GRADING PLAN**

C-102

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National Flood Hazard Layer FIRMette



HYDROLOGY

DRAINAGE AREA 100 AREA = 0.55 ac.	
PRECIPITATION: 360 = 1.84 in.	
1440 = 2.84 in.	
10day = 4.10 in.	
EXCESS PRECIPITATION:	
TREATMENT A	0.67 in.
TREATMENT B	0.86 in.
TREATMENT C	1.09 in.
TREATMENT D	2.58 in.
EXISTING CONDITIONS:	
TREATMENT A	0.00 ac.
TREATMENT B	0.00 ac.
TREATMENT C	0.44 ac.
TREATMENT D	0.11 ac.
PROPOSED CONDITIONS:	
TREATMENT A	0.00 ac.
TREATMENT B	0.00 ac.
TREATMENT C	0.11 ac.
TREATMENT D	0.44 ac.
EXISTING EXCESS PRECIPITATION:	
Weighted E = (0.67 x(0.00)+(0.86 x(0.00)+(1.09 x(0.44)+(2.58 x(0.11)/ 0.55 ac.	
= 1.39 in.	
V100-360 = (1.39 x(0.55)/ 12 = 0.063617 ac-ft = 2771 cf	
EXISTING PEAK DISCHARGE:	
Q100 = (1.84 x(0.00)+(2.49 x(0.00)+(3.17 x(0.44)+(4.49 x(0.11)= 1.89 cfs	
PROPOSED EXCESS PRECIPITATION:	
Weighted E = (0.67 x(0.00)+(0.86 x(0.00)+(1.09 x(0.11)+(2.58 x(0.44)/ 0.55 ac.	
= 2.28 in.	
V100-360 = (2.28 x(0.55)/ 12.0 = 0.104592 ac-ft = 4556 cf	
V100-1440 = (0.10)+(0.44 x(2.84 - 1.84)/ 12 = 0.141258 ac-ft = 6153 cf	
V100-10day = (0.10)+(0.44 x(4.10 - 1.84)/ 12 = 0.187458 ac-ft = 8166 cf	
PROPOSED PEAK DISCHARGE:	
Q100 = (1.84 x(0.00)+(2.49 x(0.00)+(3.17 x(0.11)+(4.49 x(0.44)= 2.32 cfs	

LEGEND	
	BASIN ID
	BASIN BOUNDARY
	DISCHARGE LOCATION
	FLOW DIRECTION

EXISTING DRAINAGE CONDITIONS

THIS SITE IS UNDER THE NORTH DOMINGO BACA MASTER PLAN AND DISCHARGES TO THE MCKINNEY DAM. STORM WATER FACILITIES ARE EXISTING AND SIZED FOR STORMWATER FLOWS ATTRIBUTABLE FROM THIS PROJECT. EXISTING CONDITIONS SITE DISCHARGE RATE IS CFS.

FLOOD ZONE

PER THE FEMA MAP NUMBER 35001C0141G DATED SEPTEMBER 26, 2008 SHOWS THE SITE IS LOCATED WITHIN AO WITH A 1' DEPTH INUNDATION. BASE FLOOD ELEV. IS 5320.00

PROPOSED DRAINAGE CONDITIONS

DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE NORTH DOMINGO BACA MASTER PLAN.

THE TOTAL SITE AREA IS APPROXIMATELY 4.37 ACRES WITH THE FOLLOWING ESTIMATED LAND TREATMENTS FOR BASIN 100:

PROPOSED CONDITION SITE DISCHARGE RATE IS CFS OR APPROXIMATELY CFS ABOVE EXISTING CONDITION DISCHARGE RATE

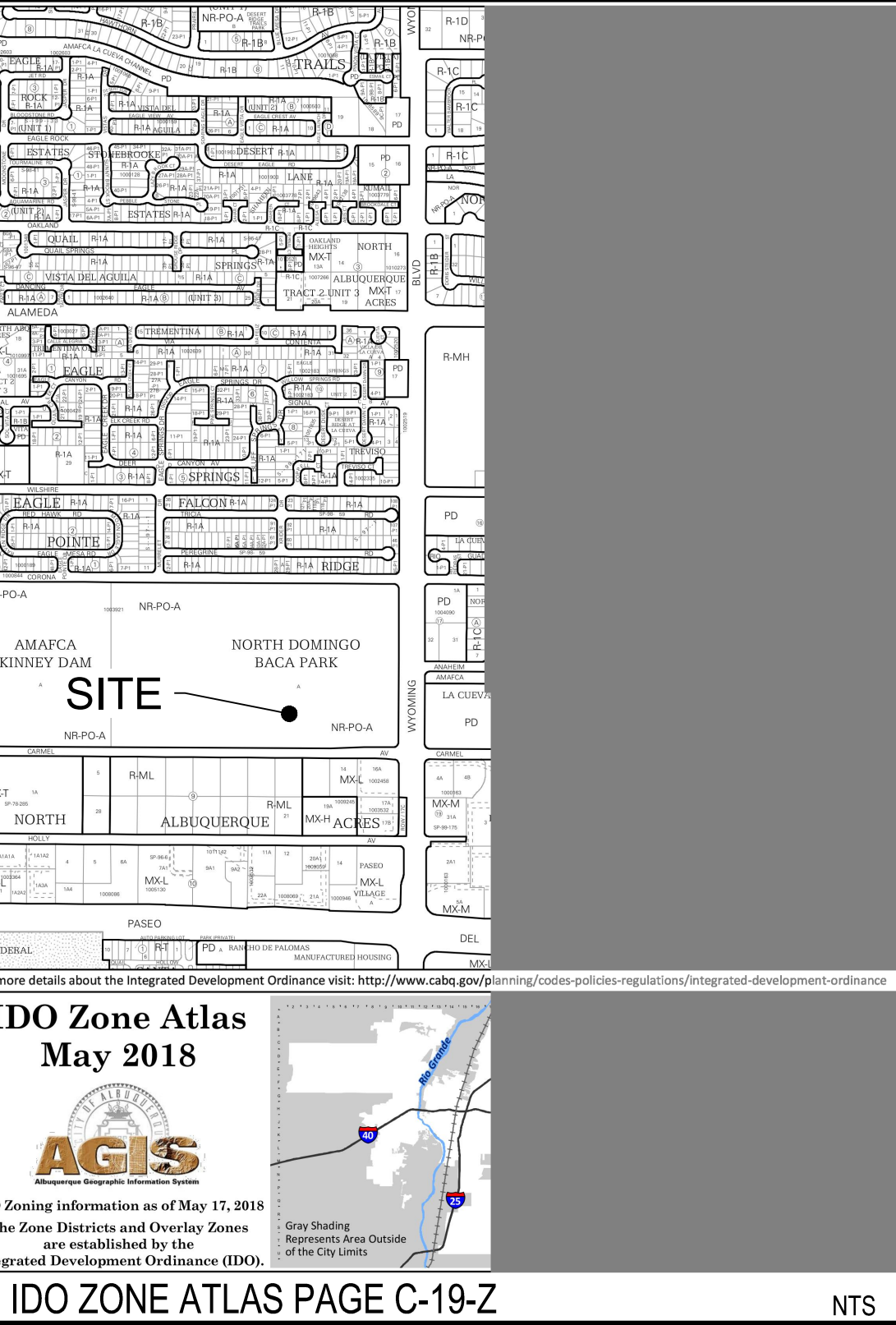
STORM WATER QUALITY

EXISTING SITE IS PARTIALLY PAVED AND THE EXISTING PAVED AREAS DISCHARGE INTO THE EXISTING STORM DRAIN WITHOUT WATER QUALITY.

WATER QUALITY REQUIREMENTS TREATING THE PAVED AREAS.

VOLUME = SF * 0.34IN/12 = CUBIC FEET

THIS PROJECT ROUTES STORM WATER THROUGH THE MCKINNEY DAM.



KEYED NOTES

- 1. PIER WALL WITH CONCRETE CAP - SEE STRUCTURAL



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1	09/09/2022	SCHEMATIC DESIGN

GRADING & DRAINAGE PLAN

C-103

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