

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 31, 2007

Joe L. Slagle, Registered Architect
1600 Rio Grande NW
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for
Bank of Albuquerque, [C-19 / D47]
8221 Wyoming Blvd NE
Architect's Stamp Dated 08/24/07

Dear Mr. Slagle:

The TCL / Letter of Certification submitted on August 31, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: BANK OF ALBUQUERQUE ZONE MAP: C-19/D047
 DRB#: 1002458 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 8221 WYOMING BLVD.

ENGINEERING FIRM:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER: BANK OF OKLAHOMA FINANCIALADDRESS: PO BOX 2300, DTC 1 EASTCITY, STATE: TULSA, OKLAHOMAATTN: DAVID CRENS + ANY LITTLECONTACT: 918.619.1376PHONE: DAVID CRENSZIP CODE: 74192ARCHITECT: JLS ARCHITECTSADDRESS: 11000 RIO GRANDE BLVD. NWCITY, STATE: ALBUQUERQUE, NMCONTACT: JOE SAGLE / Shelley HughesPHONE: 246-0870ZIP CODE: 87104

SURVEYOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: GENALP MARTIN LTD.ADDRESS: PO BOX 91450CITY, STATE: ALBUQUERQUE, NMCONTACT: JIM KARNESPHONE: 823.6856ZIP CODE: 87199-1450

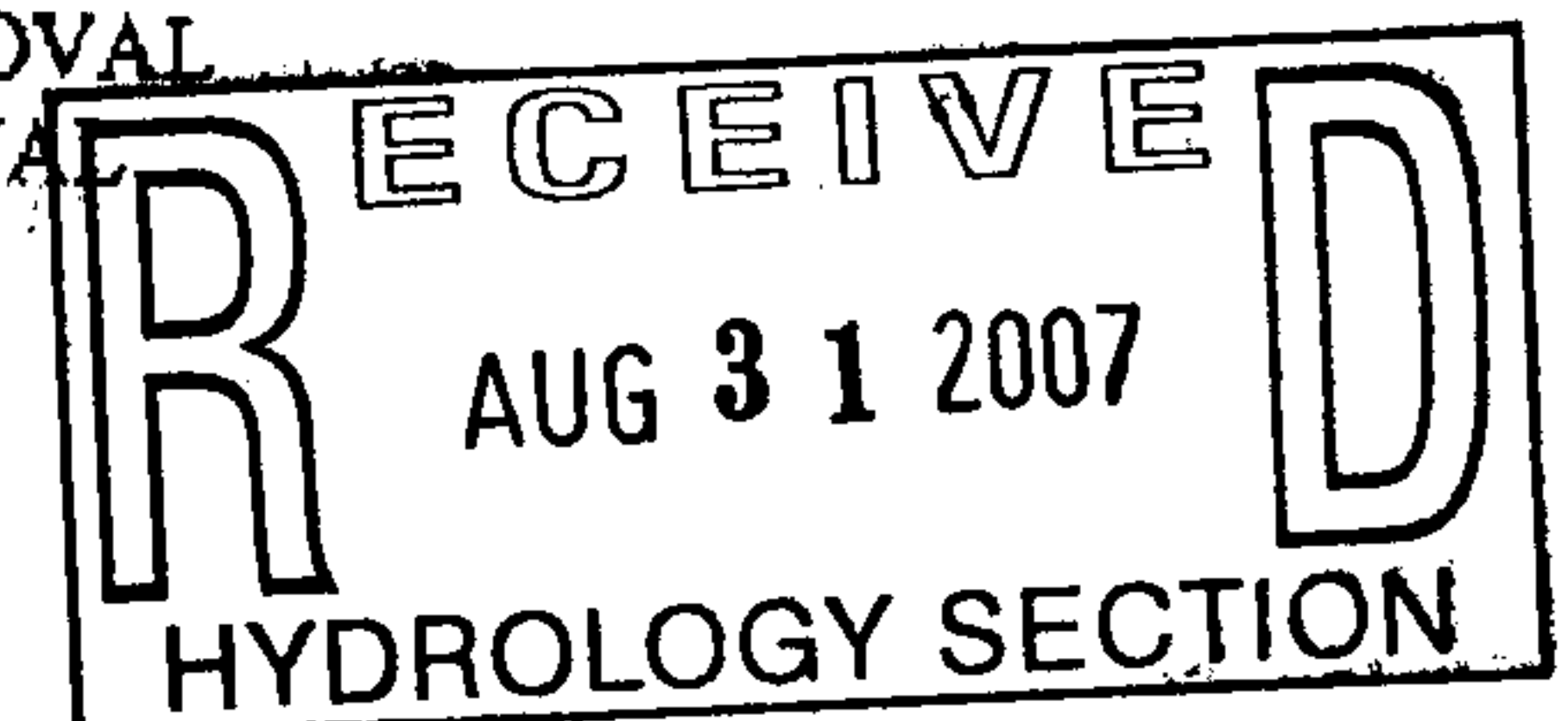
TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES☐ NO☐ COPY PROVIDEDDATE SUBMITTED: 8.28.07 - MAILEDBY: Shelley M. Hughes

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

PLEASE CONTACT ME
DIRECTLY WITH ANY
QUESTIONS REGARDING
THIS SUBMITTAL.

Sincerely,
Shirley Hughes

SDS. 682.2537 OFFICE
SDS. 551. ^{or} 1080 CEN

RE: Bank of Albuquerque
8221 Wyoming Blvd. NE
Albuquerque, NM 87133

TRAFFIC CERTIFICATION

I, Joe L. Slagle, NMRA 2284, of the firm JLS Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB case #1002458 approved plan dated 09.27.06. I certify that I have personally visited the project site on 07.27.07 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for temporary certificate of occupancy and a final certificate of occupancy.

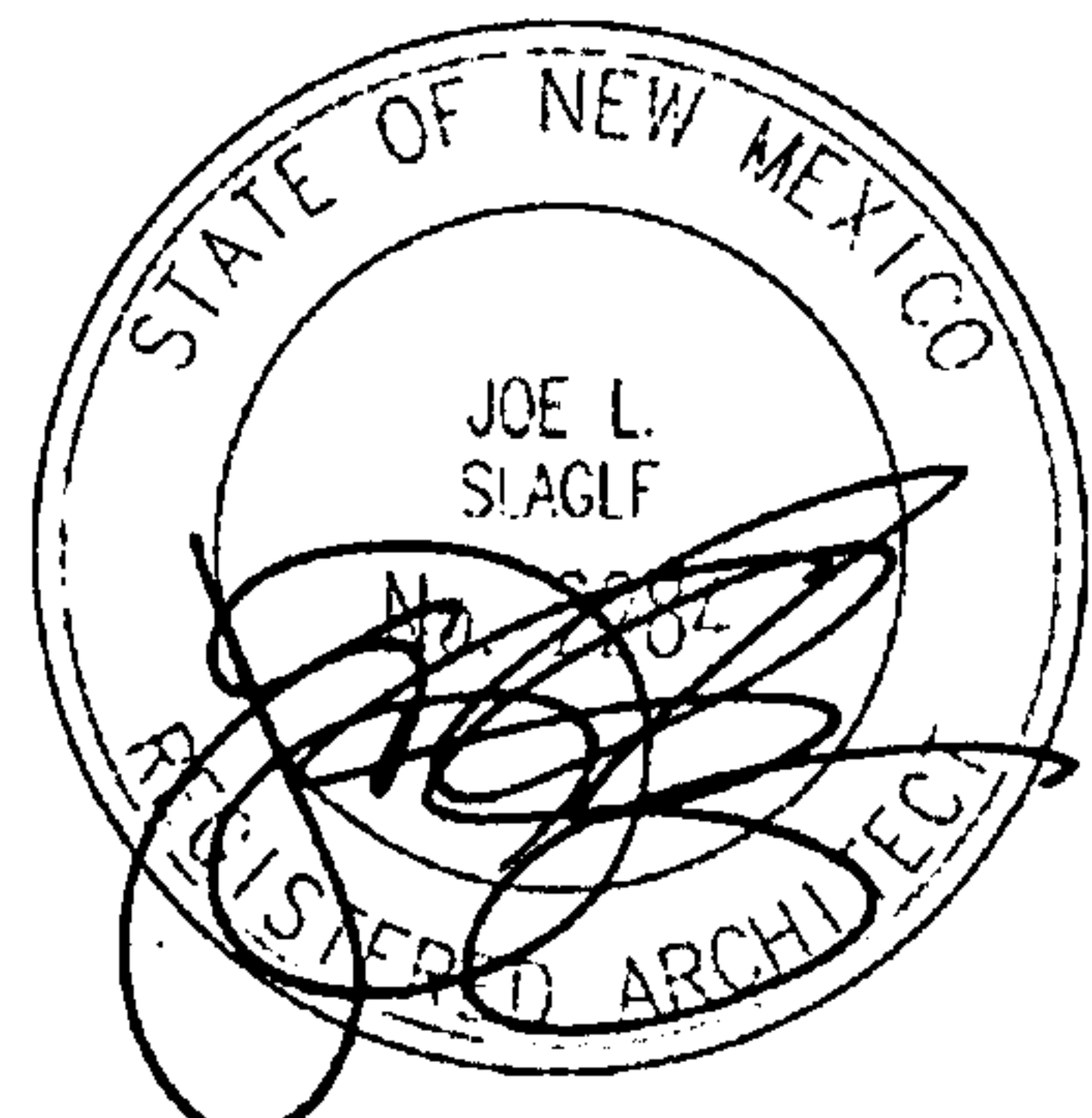
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Signature of Architect

Architect's Stamp

8-24-07
Date

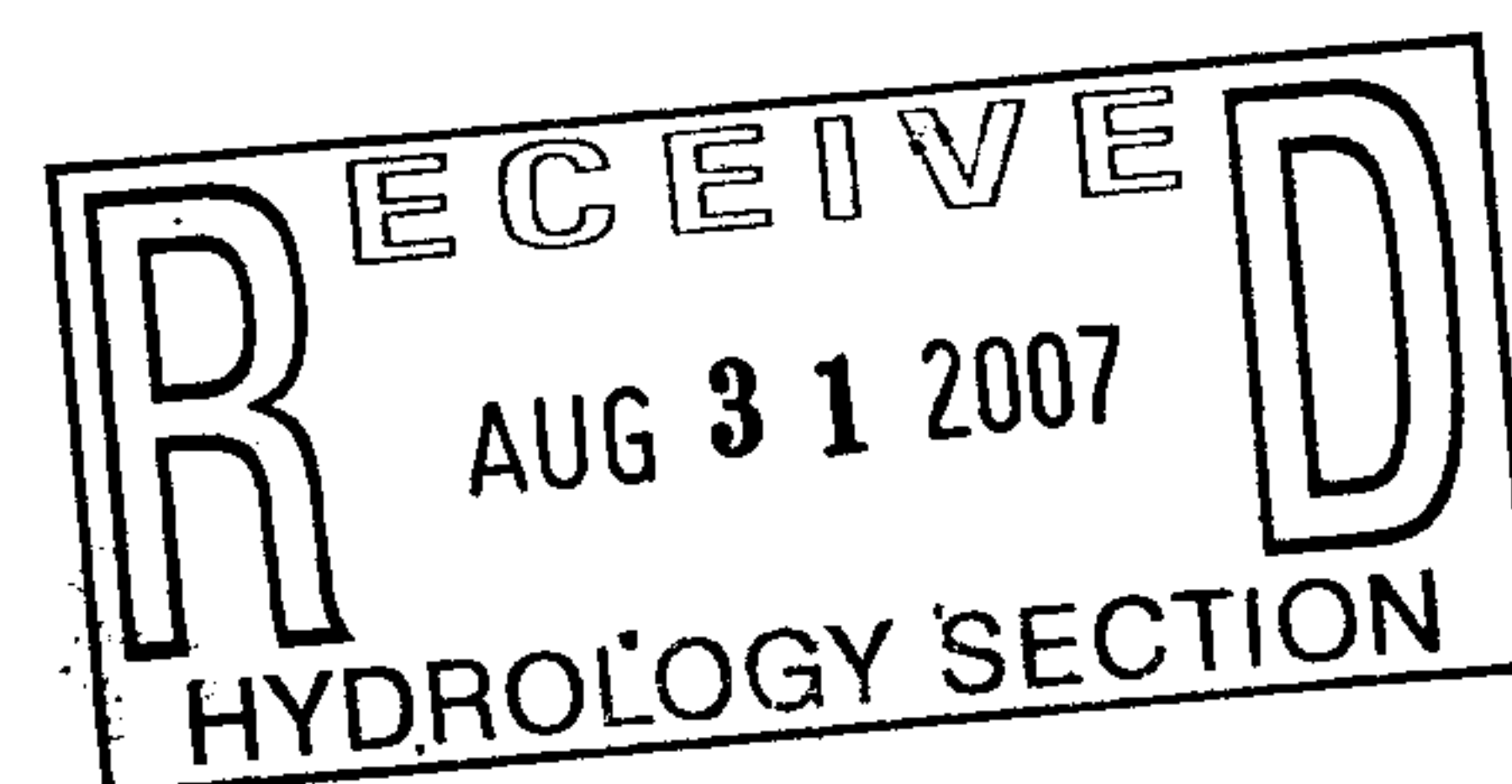


8-24-07

1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437
www.jlsarchitects.com

JLS

ARCHITECTS



CITY OF ALBUQUERQUE



September 7, 2007

John Arthur Blessen, P.E.
J Arthur Blessen Engineering
11930 Menaul NE Ste 109
Albuquerque, NM 87112

**Re: Bank of Albuquerque – Wyoming & Carmel, 8221 Wyoming Blvd. NE,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 08/11/06 (C-19/D047)
Certification dated 9/5/07**

Based upon the information provided in your submittal received 9/6/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

Timothy Sims
Plan Checker - Hydrology, Planning Dept.
Development and Building Services

New Mexico 87103

www.cabq.gov

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: BANK OF ALBUQUERQUE - WYOMING & CARMEL ZONE MAP: C19-D47
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 15 & 16 TRACT A UNIT 3 OF NORTH ALBUQUERQUE ACRES
CITY ADDRESS: 8221 WYOMING BLVD NE

ENGINEERING FIRM: J ARTHUR BLESSEN ENGINEERING CONTACT: ARTHUR BLESSEN
ADDRESS: 11930 MENAUL NE SUITE 109 PHONE: 293-1477
CITY, STATE: ALBUQUERQUE NM 87112 ZIP CODE: 87112

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

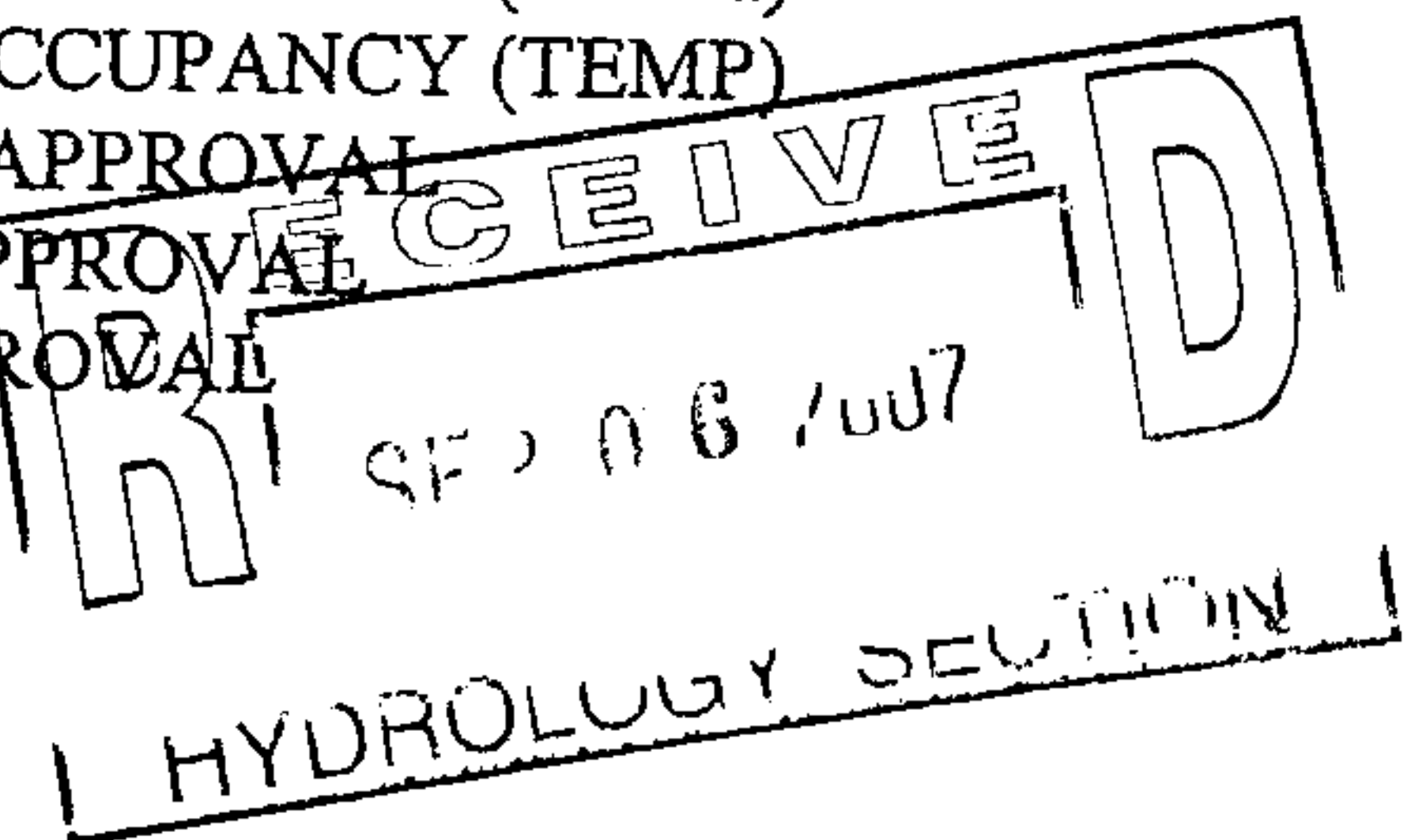
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 9-6-07 BY: J Arthur Blessen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



November 12, 2006

John Arthur Blessen, P.E.
Claudio Vigil Architects
1801 Rio Grande Blvd. NW
Albuquerque, NM 87104

**Re: Bank of Albuquerque at Wyoming and Carmel, 8221 Wyoming Blvd NE,
Grading and Drainage Plan
Engineer's Stamp dated 10-20-06 (C19-D47)**

Dear Mr. Blessen,

Based upon the information provided in your submittal received 12-12-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

C-19/D47

PROJECT TITLE: BANK OF ALBUQUERQUE

DRB #:

EPC#:

ZONE MAP/DRG. FILE #: C-19

WORK ORDER#:

LEGAL DESCRIPTION: LOT 16-A, NORTH 1300 ACRES, BLOCK 9, TRACT 2, UNIT 3

CITY ADDRESS: 8221 WYOMING

ENGINEERING FIRM: Claudio Vigil Architects

ADDRESS: 1801 Rio Grande Blvd NW

CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen

PHONE: 505.842.1113

ZIP CODE: 87104

OWNER: BANK OF OKLAHOMA FINANCIAL CORP.

ADDRESS: BTC 3 SOUTH, PO BOX 2300

CITY, STATE: TULSA, OK

CONTACT:

PHONE: 918.619.1286

ZIP CODE: 74192

ARCHITECT: Claudio Vigil Architects

ADDRESS: 1801 Rio Grande Blvd NW

CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen

PHONE: 505.842.1113

ZIP CODE: 87104

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

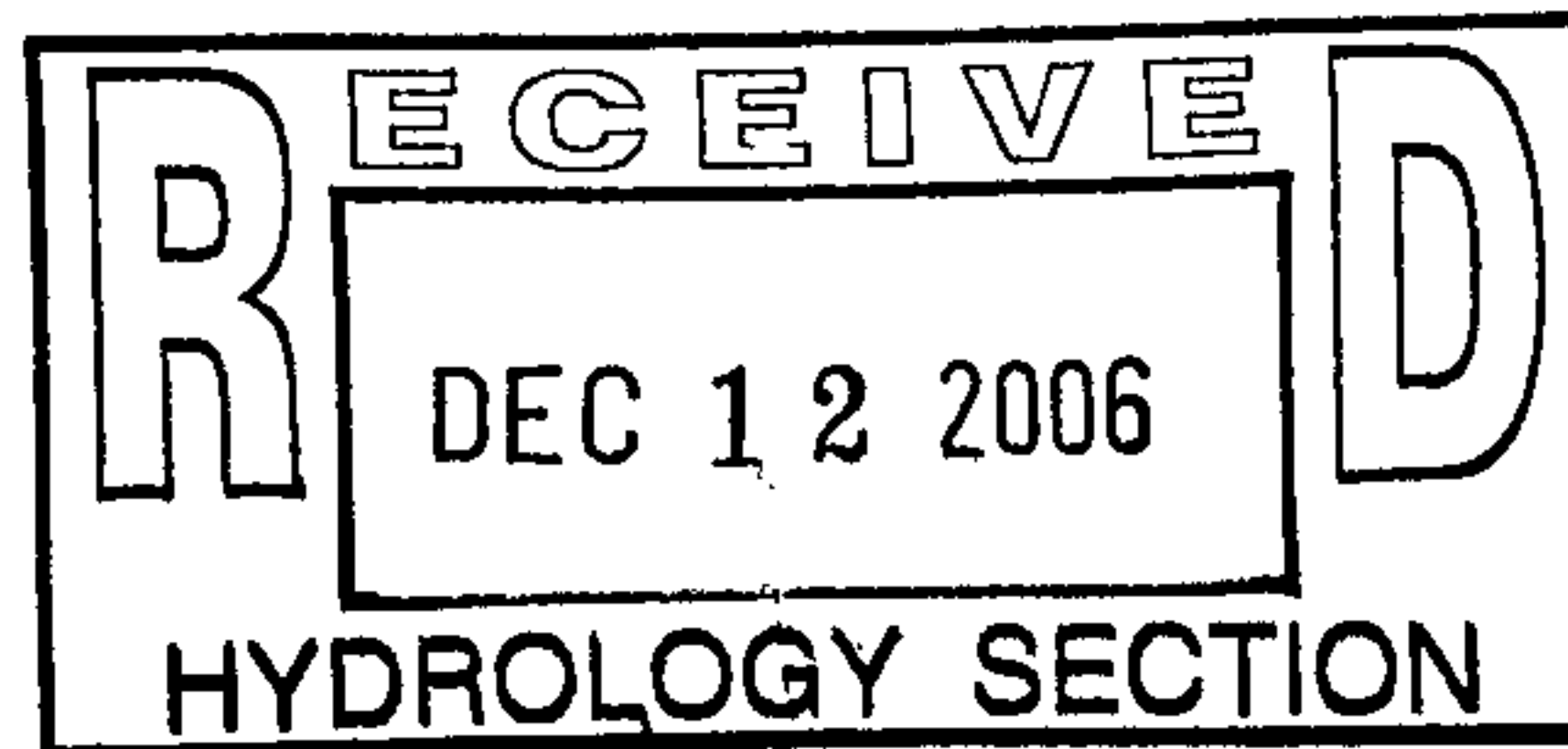
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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

Stamp date 10-20-06



DATE SUBMITTED:

BY:

Louise H. Oliver

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



August 18, 2006

J. Arthur Blessen, P.E.
11930 Menaul NE Suite 109
Albuquerque, NM 87104

Re: Bank of Albuquerque – Engineer's Stamp dated 8-11-06 (C19/D47)
Lots 15 & 16 Tract A Unit 3 of North Albuquerque Acres

Dear Mr. Blessen,

Upon review of the information provided in your submittal dated August 11, 2006 the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

cc: file C19/D47
file DRB #1002458

www.cabq.gov

CITY OF ALBUQUERQUE



July 18, 2006

J. Arthur Blessen, P.E.
Claudio Vigil Architects
1809 Rio Grande Blvd. NW
Albuquerque, NM 87104

Re: Bank of Albuquerque – Lots 15 & 16 Block 9 North Albuquerque Acres Tract 2 Unit 3
Engineer's Stamp dated 6-20-06 (C19/D47)

Dear Mr. Blessen,

Based upon the information provided in your submittal dated June 20, 2006, the above referenced plan is approved for Site Plan for Building Permit action by the DRB.

If you have any questions, you can contact me at 924-3990

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

cc: file C19/D47
file DRB #1002458

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: BANK OF ALBUQUERQUE - Wyoming / Carmel ZONE MAP/DRG. FILE #: C-19/D47
DRB #: _____ EPC#: 06EPC-00467 WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 15 & 16, BLOCK 9, N. ALBUQUERQUE ACRES, TRACT 2, UNIT 3
CITY ADDRESS: _____

ENGINEERING FIRM: Claudio Vigil Architects
ADDRESS: 1801 Rio Grande Blvd NW
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen
PHONE: 505.842.1113
ZIP CODE: 87104

OWNER: BANK OF OKLAHOMA FINANCIAL CORP.
ADDRESS: BTC 3 SOUTH, PO BOX 2300
CITY, STATE: TULSA, OK

CONTACT: DAVID JAMES
PHONE: 918-619-1286
ZIP CODE: 74192

ARCHITECT: Claudio Vigil Architects
ADDRESS: 1801 Rio Grande Blvd NW
CITY, STATE: Albuquerque, NM

CONTACT: Arthur Blessen
PHONE: 505.842.1113
ZIP CODE: 87104

SURVEYOR: SURVEYS SOUTHWEST
ADDRESS: 333 LOMAS BLVD. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAN GRANEY
PHONE: 505-998-0303
ZIP CODE: 87102

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

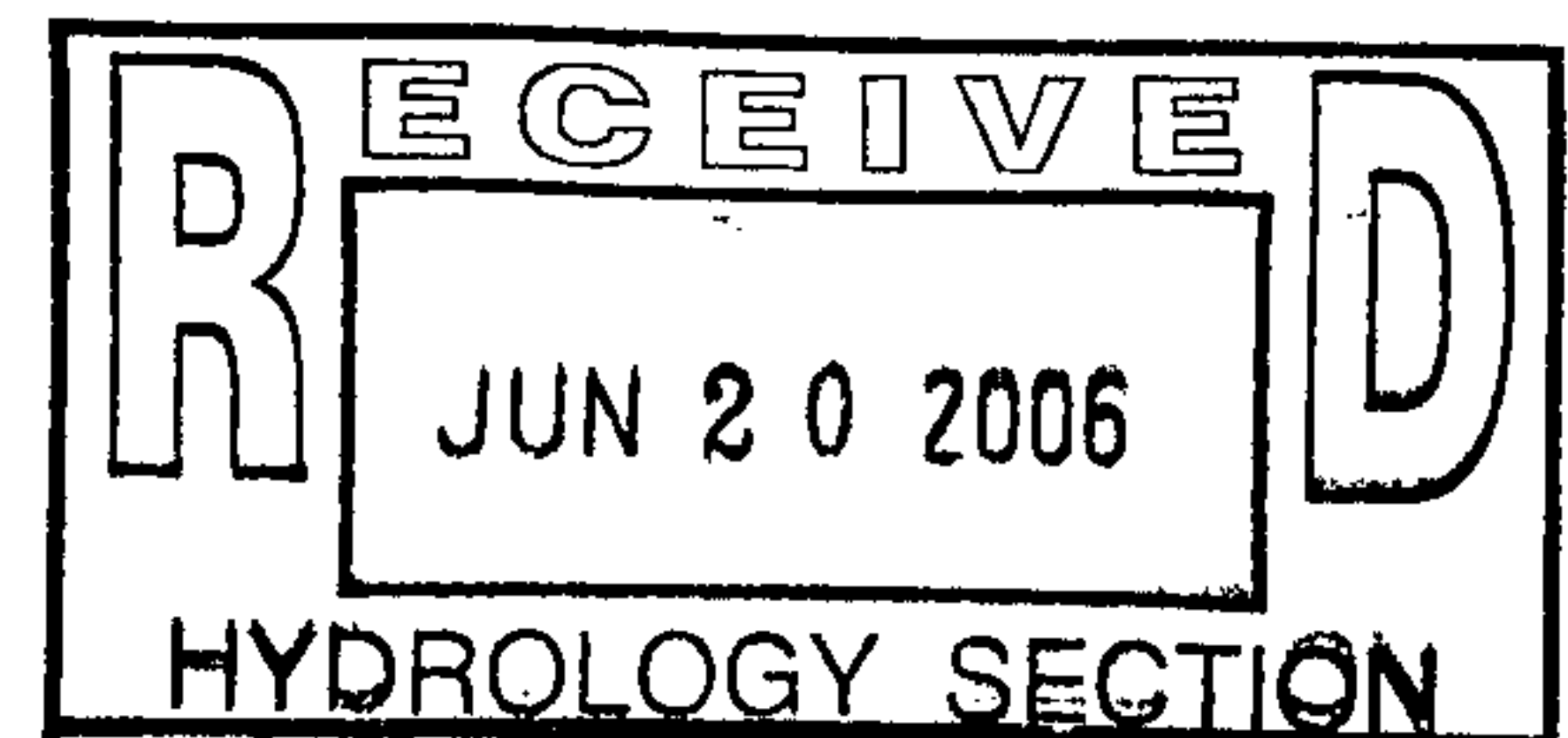
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 6/20/06 BY: Louise H. Allen

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