

PROJECT DATA

ZONING

SU-2,
YARD STANDARDS:
FY = 30' MAXIMUM
RY = 5'
SY = 5'
SY ABUTTING A SIDE STREET = 5' + 40' R.O.W.

OCCUPANCY

GROUP B - BUSINESS

CONSTRUCTION

TYPE II-B, UNPROTECTED, UNSPRINKLERED

FIRE PROTECTION

PARTY & FIRE WALLS: N/A

INTERIOR WALLS: 0

TENANT SEPARATION: N/A

UTILITY SHAFTS: N/A

FLOOR/CEILING: N/A

ROOF/CEILING: N/A

EXTERIOR WALLS: N/A

LANDSCAPING

REF. LANDSCAPE DRAWINGS

LAND AREA

70,279 SF. = 1.613 ACRES

BUILDING AREA

BUILDING = 3,500 SQ. FT.

PARKING

BUSINESS PARKING SPACES

3,500 SF/200 = 18 SP REQUIRED

24 SP PROVIDED

HANDICAP SPACES

= 1 SP REQUIRED

1 SP VAN ACCESSIBLE SP PROVIDED

PROJECT TEAM

PROPERTY OWNER:

BANK OF OKLAHOMA FINANCIAL CORPORATION
BIC 3 SOUTH
P.O. BOX 2300
TULSA, OK 74102
PHONE: (918) 619-1286

ARCHITECT OF RECORD/CIVIL:

CLAUDIO VIGIL ARCHITECTS
1801 RIO GRANDE BLVD., N.W.
ALBUQUERQUE, NM 87104
PHONE: (505) 842-1113
FAX: (505) 842-1330

PUBLIC IMPROVEMENTS

D. MARK GOODMAN & ASSOCIATES, P.A.
P.O. BOX 90606
ALBUQUERQUE, NM 87199
PHONE: (505) 828-2200
FAX: (505) 797-9539

ARCHITECT:

BECK DESIGN
120 N. ROBINSON, SUITE 2800
FIRST NATIONAL CENTER
OKLAHOMA CITY, OK 73102
PHONE: (405) 232-7007
FAX: (405) 232-7029

LANDSCAPE:

CONSENSUS PLANNING
302 EIGHTH STREET, N.W.
ALBUQUERQUE, NM 87102
PHONE: (505) 784-9801
FAX: (505) 842-5495

SURVEY/PLAT

SURVEYS SOUTHWEST LTD
333 LOMAS BOULEVARD, N.E.
ALBUQUERQUE, NM 87102-2449
PHONE: (505) 998-0303
FAX: (505) 998-0306

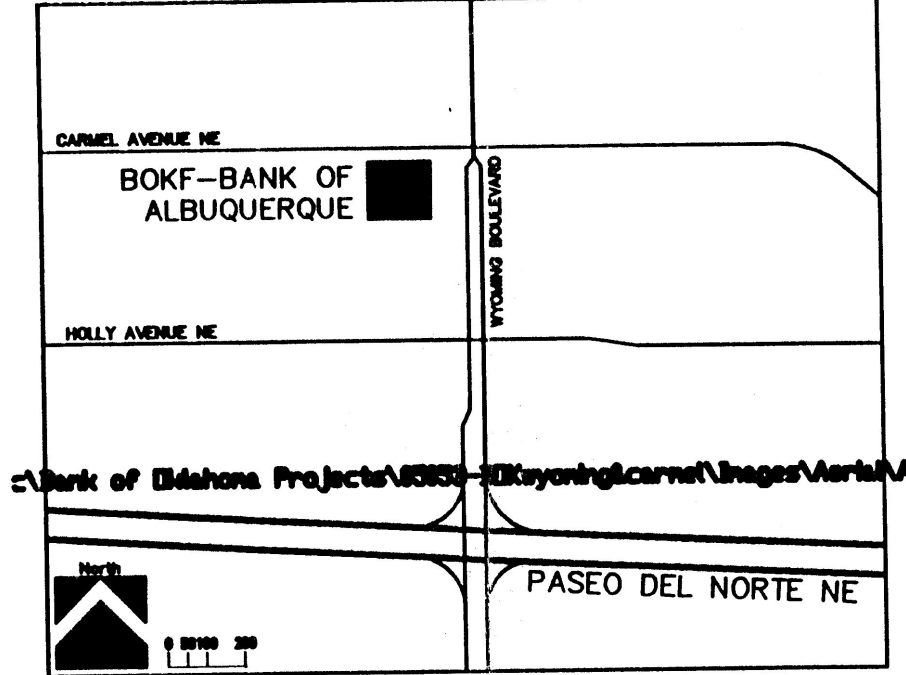
PROJECT DESCRIPTION

SINGLE STORY STONE AND METAL FRAME PROTOTYPE BANK
BUILDING. APPROXIMATELY 3,500 SF.

SITE SYMBOLS LEGEND

- TS - TRAFFIC SIGNAL BOX
- TS - TRAFFIC SIGNAL
- PO - POWER POLE
- UL - OVERHEAD UTILITY LINE
- US - UNDERGROUND UTILITY LINE
- US - UNDERGROUND WATER LINE
- SM - SEWER MANHOLE
- DM - DRAINAGE MANHOLE
- WV - WATER VALVE
- ER - ELECTRIC RISER

VICINITY MAP



TYPICAL LIGHT STANDARD DETAIL

SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA. EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LAMPS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES OF DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

SIGNATURE BLOCK

PROJECT NUMBER: 1002458
APPLICATION CASE NUMBER: 06-00906

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 08/18/06, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

DATE	SIGNATURE	DATE	SIGNATURE
10-10-06	[Signature]	10-18-06	[Signature]
10-18-06	[Signature]	12/4/06	[Signature]
12/4/06	[Signature]	10/6/06	[Signature]
10/6/06	[Signature]	12/14/06	[Signature]



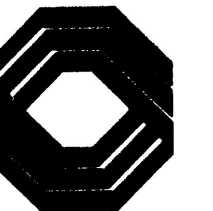
OKLAHOMA CITY
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THE MAYO HOTEL
121 WEST FIFTH
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PROJECT:

BANK OF
ALBUQUERQUE

WYOMING BLVD. & CARMEL
ALBUQUERQUE, NM



PROJECT NUMBER:
05053

CONSULTANT:

REVISIONS:

SEAL:

DESIGN
DEVELOPMENT

NOT FOR CONSTRUCTION

ISSUE DATE:

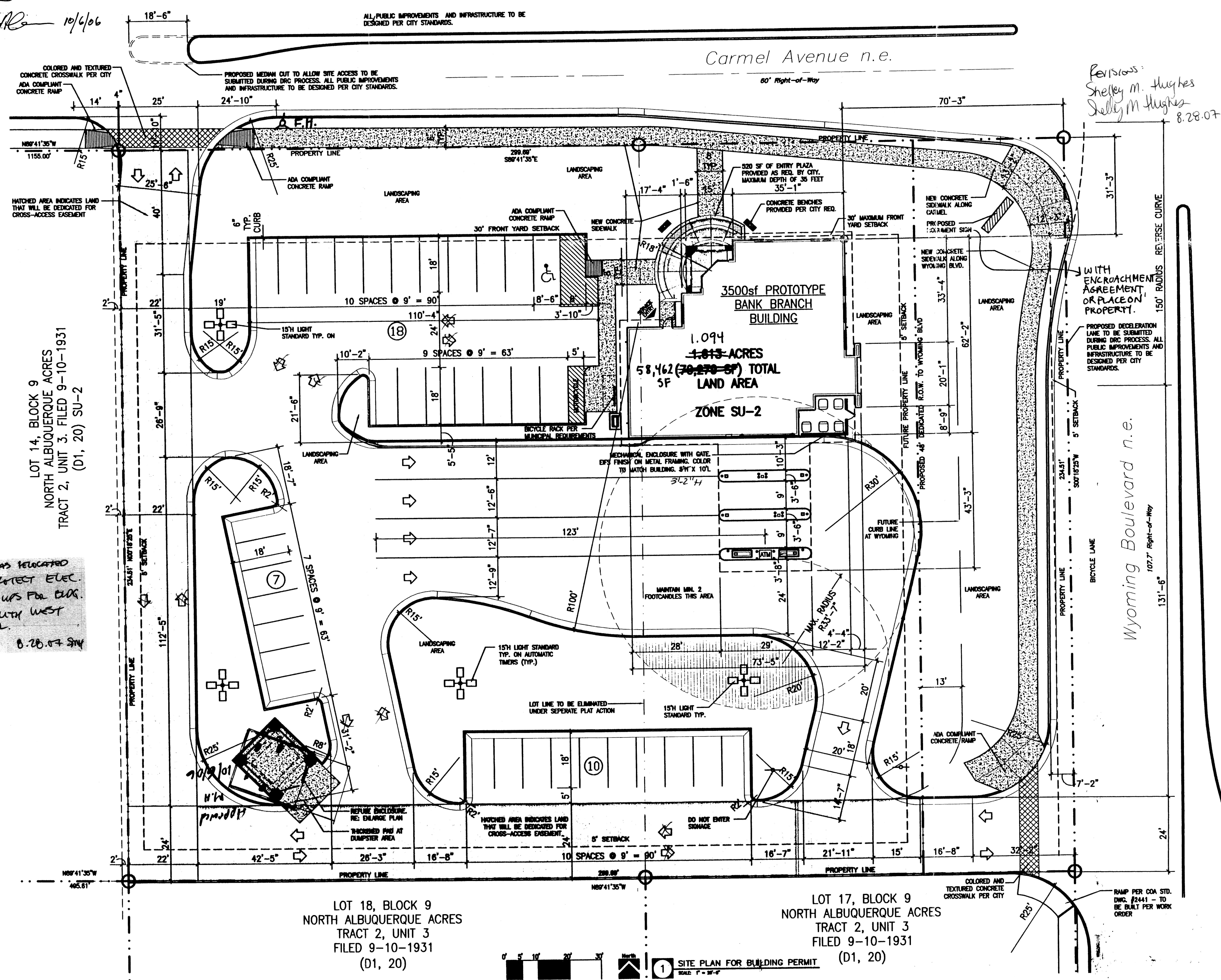
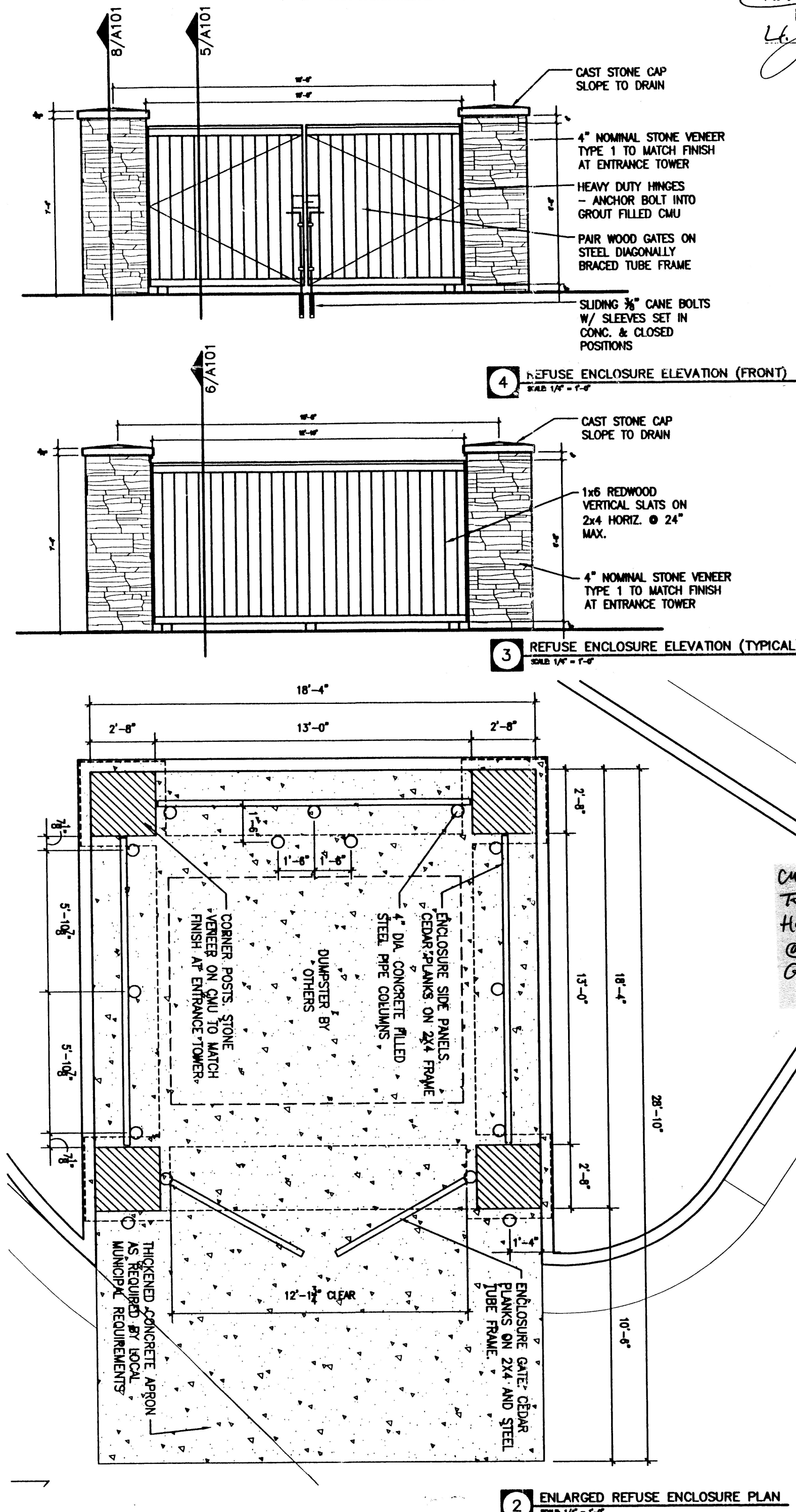
27 SEPTEMBER 2006

SHEET NUMBER:

RECEIVED
AUG 31 2007
HYDROLOGY SECTION

A101

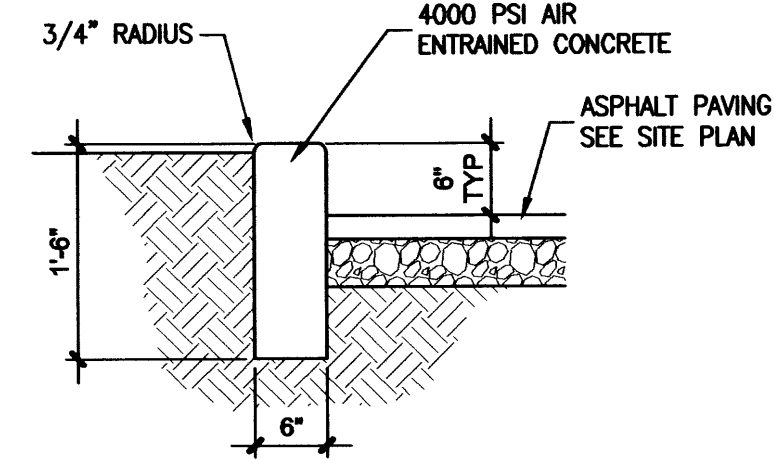
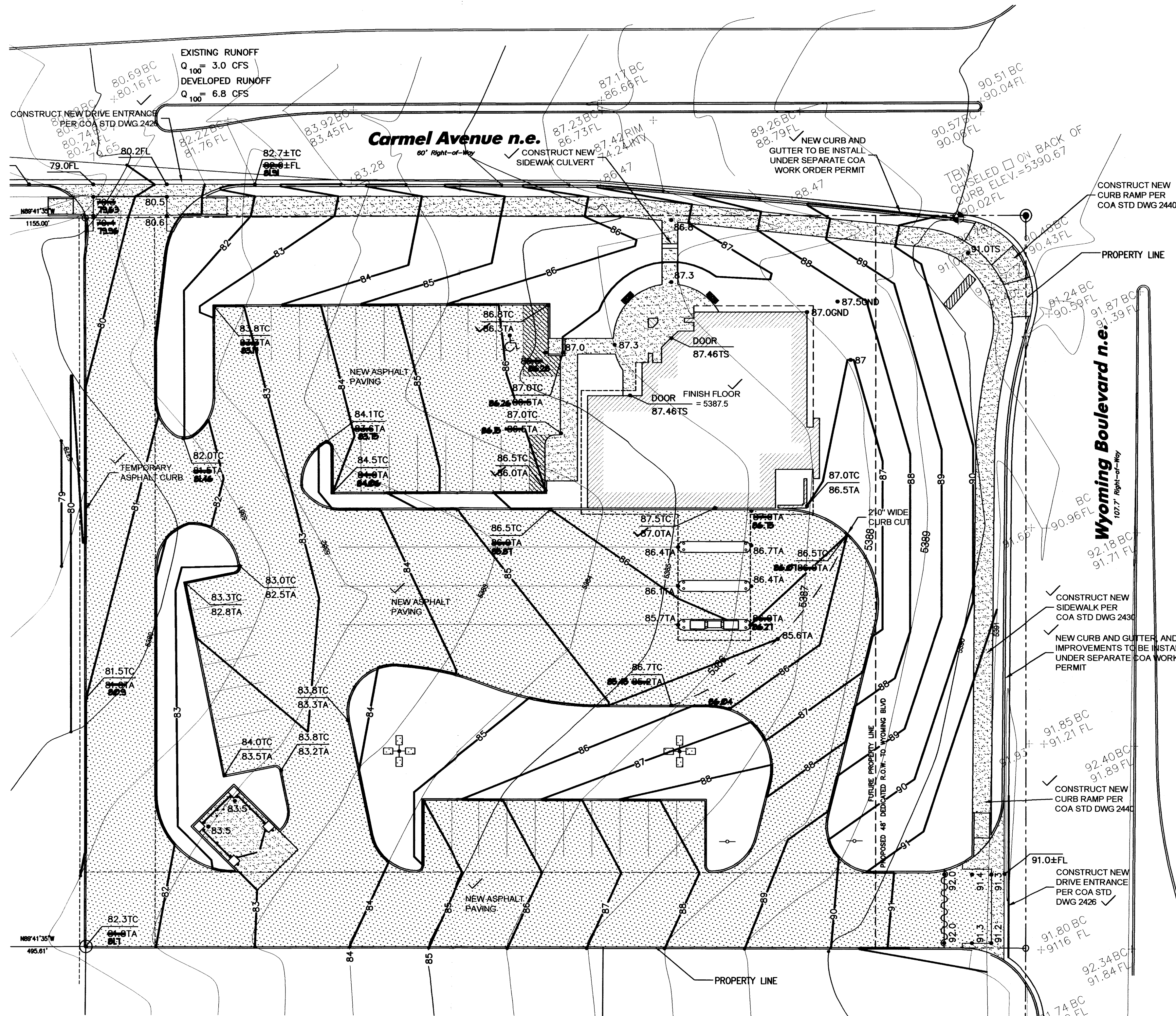
SITE PLAN FOR
BUILDING PERMIT



I, JOHN ARTHUR BLESSEN, NMPE 13481, OF THE FIRM J ARTHUR BLESSEN ENGINEERING, HEREBY CERTIFY THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/11/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTS HAS BEEN OBTAINED BY WILL PLOTNER JR NMPS #14271 AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OR ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

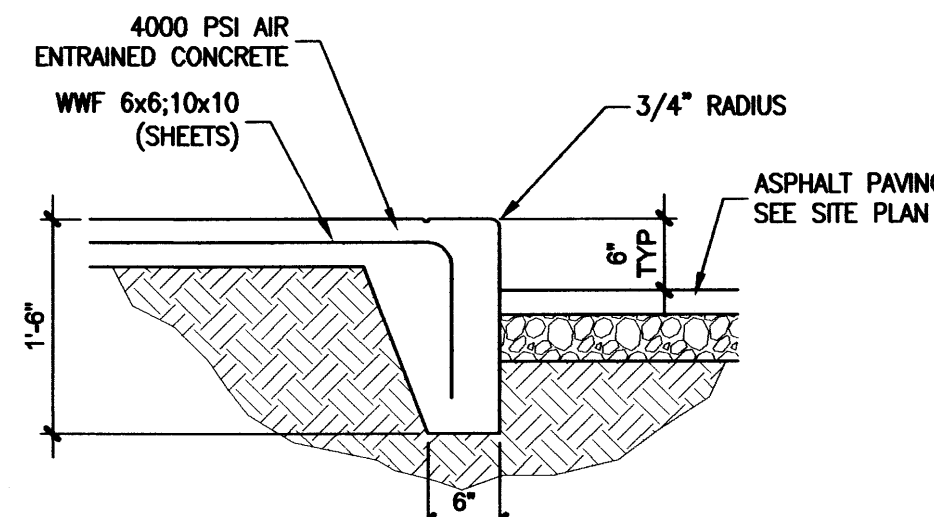
John Arthur Blessen
Arthur Blessen, PE
NM PE# 13481
7-5-07
date



SEE GEOTECHNICAL REPORT FOR PAVING REQUIREMENTS

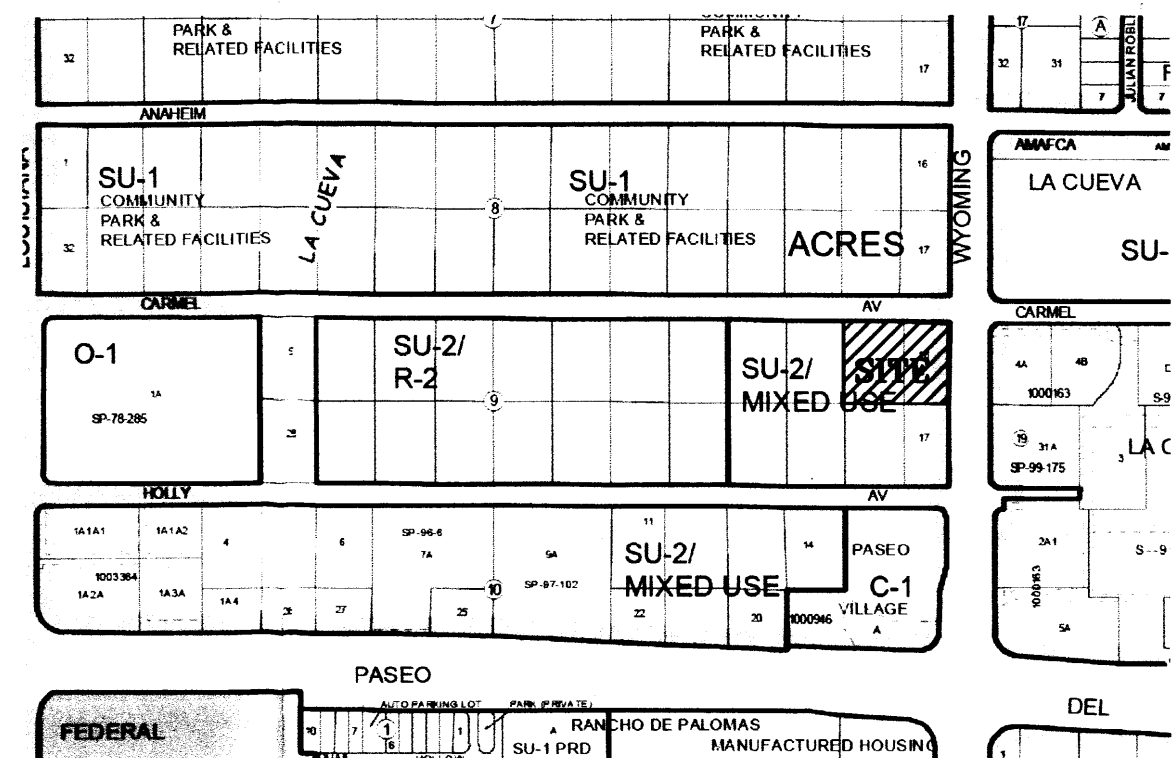
TYP STAND UP CURB

SCALE: 3/4"=1'-0"



TYP SIDEWALK EDGE

SCALE: 3/4"=1'-0"



ADDRESS:

7520 CARMEL

LEGAL DESCRIPTION:

LOTS 15 & 16, BLOCK 9, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES

D-5 VICINITY MAP - C19

SCALE: NONE

DRAINAGE PLAN

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED WEST OF WYOMING BOULEVARD NORTH OF PLASO DEL NORTE, ON THE SOUTH WEST CORNER OF THE INTERSECTION OF WYOMING BLVD. AND CARMEL AVE. THE SITE IS UNDEVELOPED AND SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 4.0% PER MAP NO. 3500100137 E. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST. THE LANDS TO THE NORTH AND SOUTH SLOPE FROM WEST TO EAST. THE EXISTING CURB AND GUTTER ALONG WYOMING BLVD. TO THE EAST BLOCKS FLOWS FORM THAT DIRECTION THEREFORE OFFSITE FLOWS ARE CONSIDERED INSIGNIFICANT.

THE PROPOSED SITE LIES WITHIN THE NORTH ALBUQUERQUE ACRES SUBDIVISION. THE PROPOSED IMPROVEMENTS CONSIST OF A NEW BANK BUILDING WITH ASSOCIATED PARKING AND LANDSCAPING. AS SHOWN BY THE CALCULATION THE PROPOSED DEVELOPMENT WILL INCREASE THE RATE AND VOLUME OF RUNOFF. THE PROPOSED RATE OF DISCHARGE IS 6.8 CFS (4.2 CFS/ACRE). THE DEVELOPED RUNOFF FROM THE SITE ARE TO BE DIRECTED TO THE PROPOSED DRIVE ENTRANCE ON CARMEL AVE. NO PONDING IS ANTICIPATED FOR THE SITE.

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II.

CALCULATIONS

PRECIPITATION ZONE = 3

TOTAL SITE AREA = 1.613 ACRES

EXISTING CONDITIONS

LAND TREATMENT A=100%

E = 0.66(1.00) = 0.66 INCHES

V = 0.66(1.613) / 12 = 0.089 ACRE FEET

Q = 1.87(1.00) (1.613) = 3.0 CFS

DEVELOPED CONDITIONS

LAND TREATMENT B=33% D=67%

E = 0.912(0.33)+2.36(0.67) = 1.88 INCHES

V = 1.88 (1.613) / 12 = 0.253 ACRE FEET

Q = [2.60 (0.33)+5.02(0.67)](1.613)=6.8 CFS

Q = 6.8/1.613=4.2 CFS/ACRE

INCREASE IN VOLUME OF RUNOFF = 0.164 ACRE FT

INCREASE IN RATE OF RUNOFF = 3.8 CFS

CONSTRUCTION NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
- ALL POND BOTTOMS SHALL RECEIVE GRAVEL AND FILTER FABRIC SEE LANDSCAPE PLAN.
- THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK HEAVEN, THE PUBLISHED ELEVATION OF WHICH IS 5378.26. BENCHMARK IS LOCATED AT THE ENTRANCE TO GATE OF HEAVEN CEMETARY ON THE SOUTH SIDE OF PASEO DEL NORTE, JUST WEST OF WYOMING BOULEVARD.

FACILITY ACCESSIBILITY

ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRIERS, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK HEAVEN, THE PUBLISHED ELEVATION OF WHICH IS 5378.26. BENCHMARK IS LOCATED AT THE ENTRANCE TO GATE OF HEAVEN CEMETARY ON THE SOUTH SIDE OF PASEO DEL NORTE, JUST WEST OF WYOMING BOULEVARD.

LEGEND:

- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- EXISTING CONTOUR
- NEW CONTOUR
- SWALE
- VERIFIED ELEVATION
- AS BUILT ELEVATION
- BASIN BOUNDARY
- PROPERTY LINE

- FL FLOW LINE
- GND GROUND
- INV INVERT
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TG TOP OF GRATE
- TS TOP OF CONCRETE SLAB
- TW TOP OF WALL
- TBM TEMPORARY BENCH MARK
- GRAVEL
- ASPHALT PAVING
- CONCRETE

GRADING PLAN

SCALE: 1"=20'-0"



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05053

CONSULTANT:

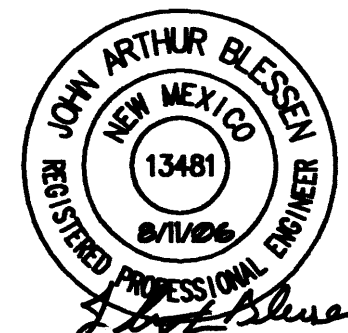


CLAUDIO VIGIL
ARCHITECTS

REVISIONS:

10/25/06 REVISED PARKING LAYOUT

SEAL:



ISSUE DATE:

JUNE 14, 2006

SHEET NUMBER:

GD101

GRADING PLAN
FOR BUILDING PERMIT APPROVAL