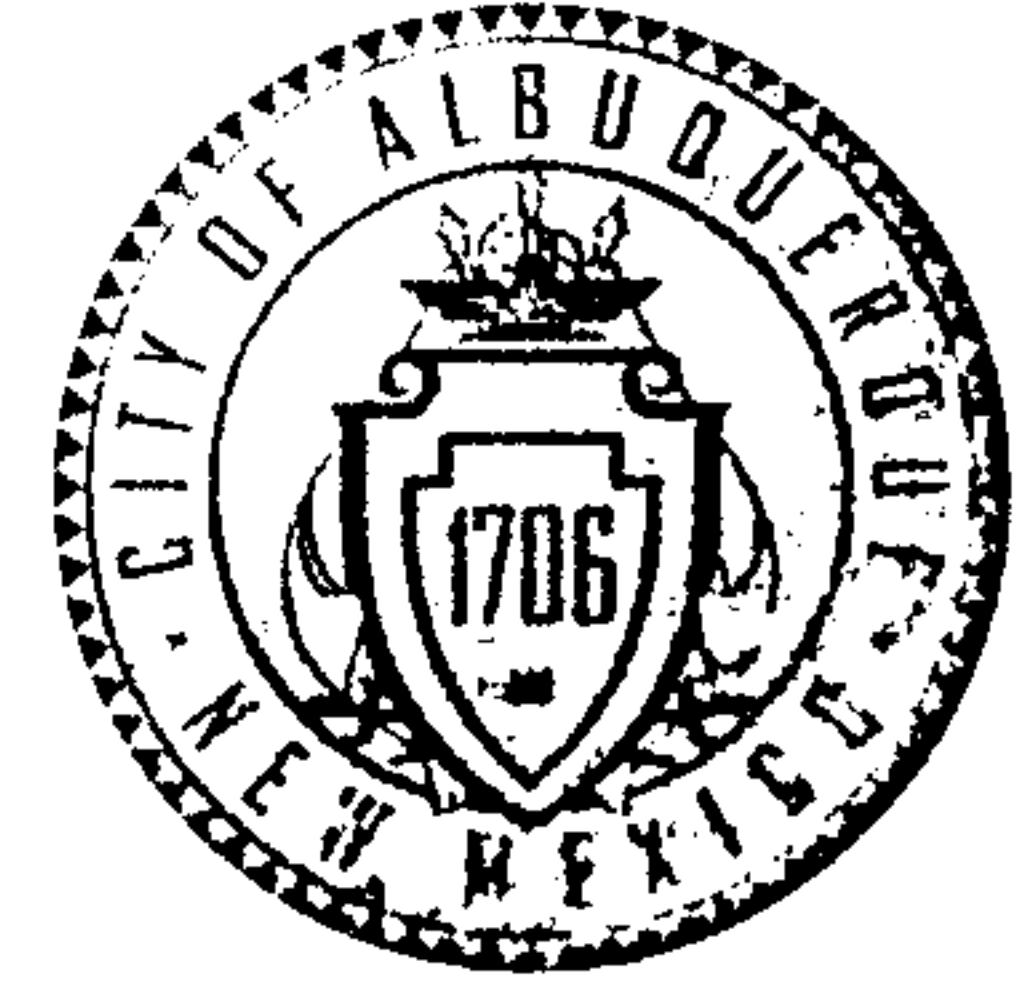


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 30, 2009

Tafazzul Hussain, R.A
AFRA Construction & Design
2501 Yale Blvd. SE, Ste 102
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy
for
The Shops @ Sedona Pointe, [C-19 / D050]
8110 Louisiana Blvd NE
Engineer's Stamp Dated 07/28/09

PO Box 1293

Dear Mr. Hussain:

Albuquerque

The TCL / Letter of Certification submitted on July 29, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

NM 87103

Sincerely,

www.cabq.gov


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk—Katrina Sigala

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

C-19/2050

PROJECT TITLE: SEDONA PTE. ZONE MAP: C-19-2
DRB#: 1003364 EPC#: 1003364 WORK ORDER#:

LEGAL DESCRIPTION: LOT 1-A-1-A-1, BLOCK 10, NORTH ALBUQ. ACR.
CITY ADDRESS: 8110 LOUISIANA TRACT 2, UNIT 3.

ENGINEERING FIRM: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

OWNER: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

ARCHITECT: AFRA CONSTR & DE CONTACT: TAFAZZUL
ADDRESS: 2501 MALE SE, STE 102 PHONE: 243-9093
CITY, STATE: ALBUQ, NM 87100 ZIP CODE:

SURVEYOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

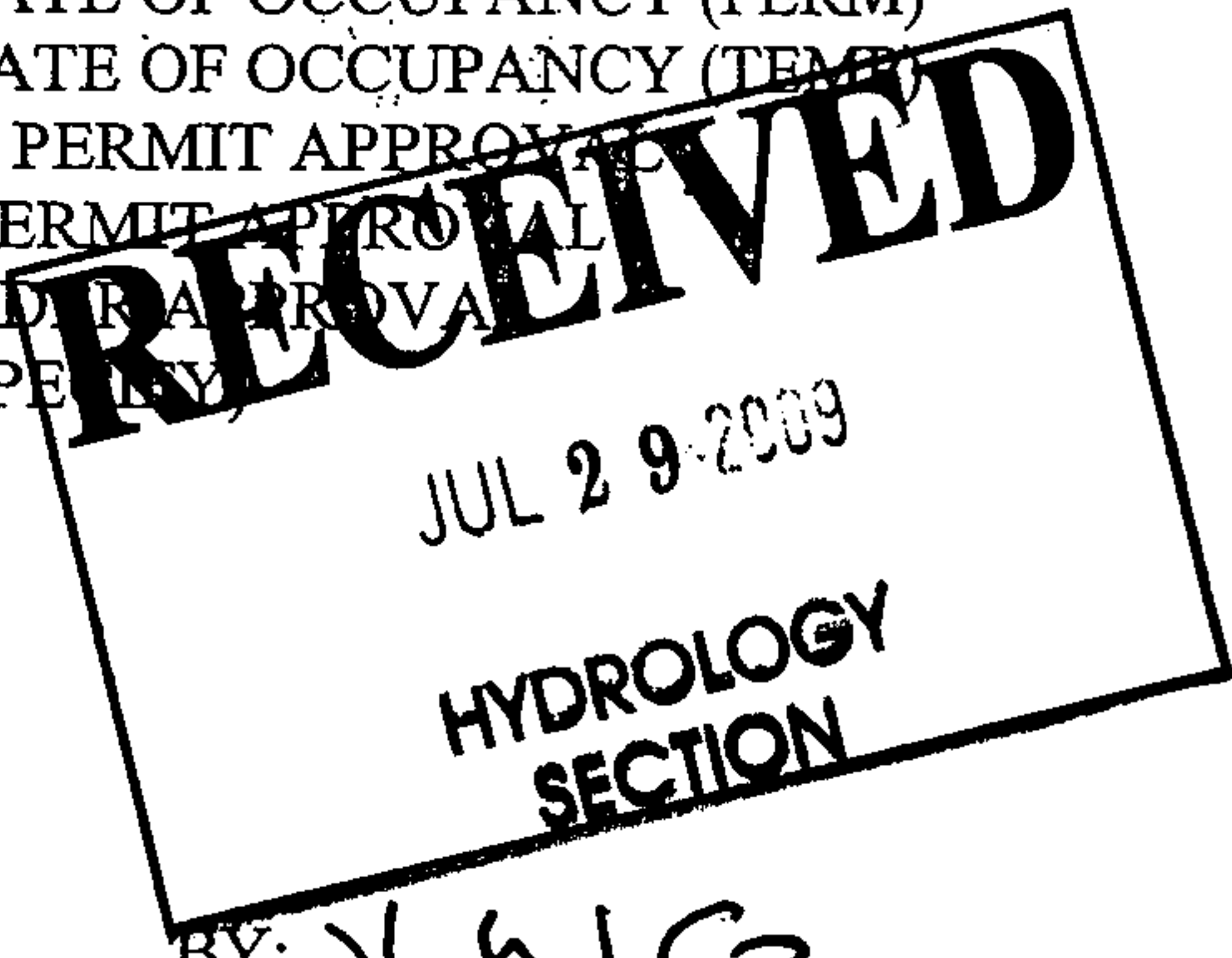
CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

- TYPE OF SUBMITTAL:
DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL G & D PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERT (HYDROLOGY)
CLOMR/LOMR
X TRAFFIC CIRCULATION LAYOUT
ENGINEER'S CERT (TCL)
ENGINEER'S CERT (DRB SITE PLAN)
OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
YES
NO
COPY PROVIDED

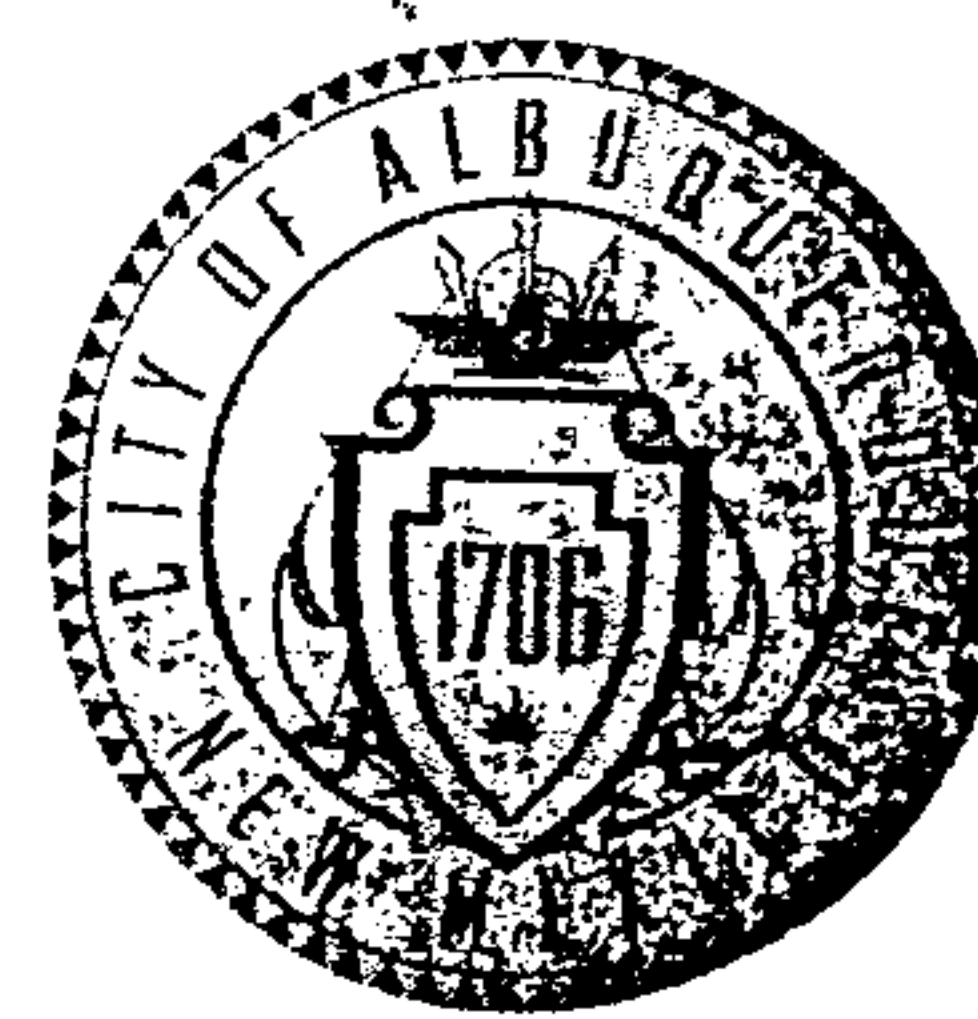
DATE SUBMITTED: 07.29.09 BY: VWG



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



Planning Department
Transportation Development Services Section

December 16, 2008

Tafazzul Hussain, Registered Architect,
AFRA Construction & Design
2501 Yale Blvd. SE, Ste. 102
Albuquerque, NM 87106

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Sedona Pointe, [C-19 / D050]
8110 Louisiana Blvd. NE
Architect's Stamp Dated 12/15/08

Dear Mr. Hussain:

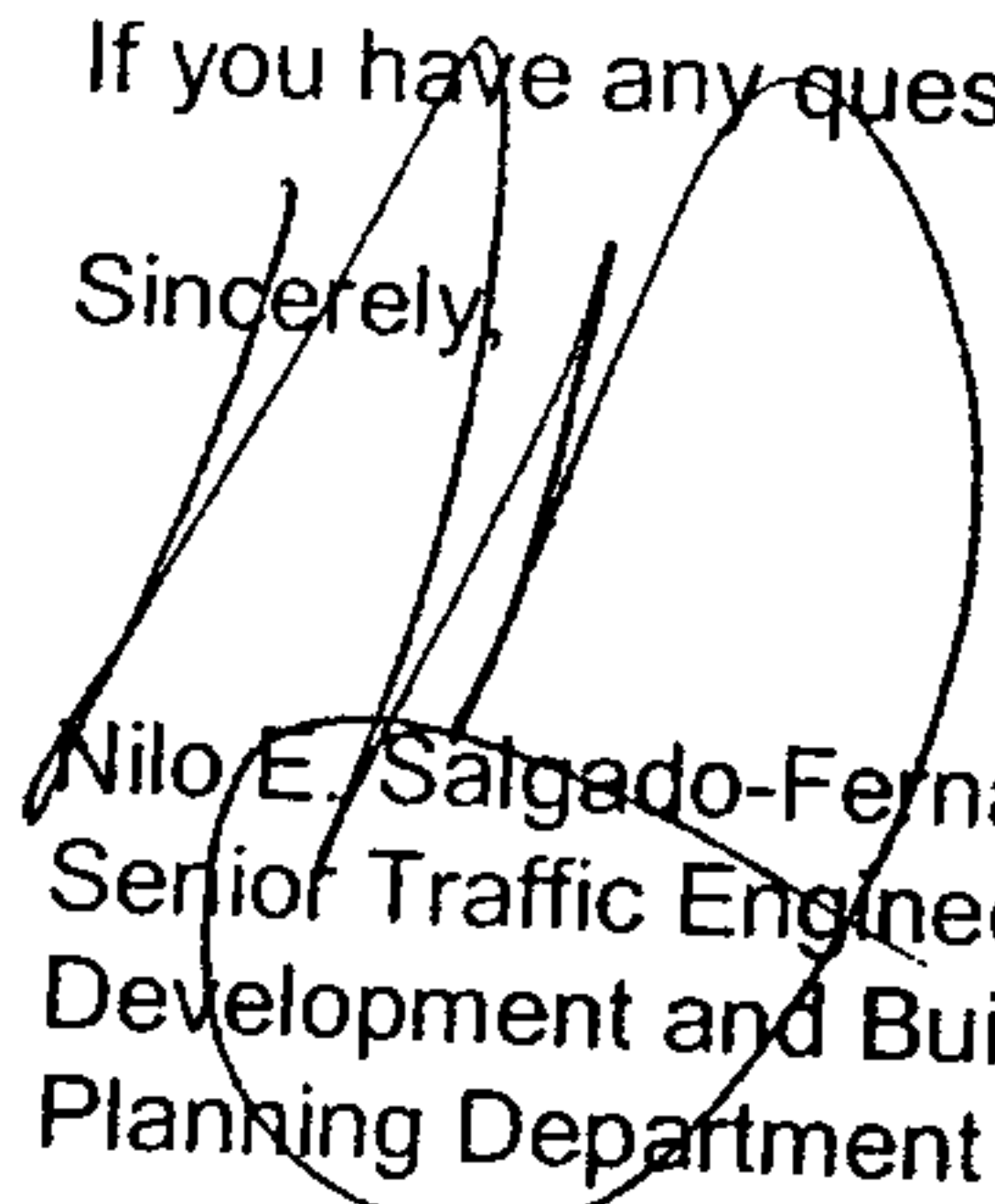
Based on the information provided on your submittal dated December 15, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding language (see attachment for sample language for Traffic Certification) and Site Plan (need to provide the approved site plan for certification) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

RECEIVED
JUL 29 2009
HYDROLOGY
SECTION

Box 1293

albuquerque

87103

albuquerque.gov

1-15

1-2

1-2

1-2

1-2

1-2

AFRA CONSTRUCTION, LLC

2501 YALE BLVD. SE, SUITE 102

ALBUQUERQUE, NM 87106

PHONE: 505-243-9093

FAX: 505-998-3129

EMAIL: THUSSAIN@AFRA-DESIGN.COM

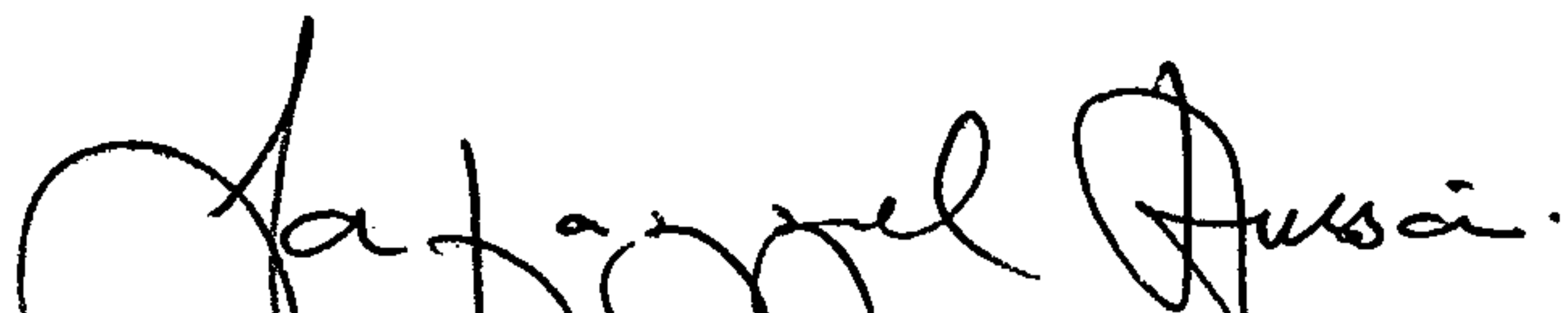
TRAFFIC CERTIFICATION

I, TAFAZZUL HUSSAIN, NMPE OR NMRA NMRA, OF THE FIRM SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TLC APPROVED PLAN DATED _____. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TAFAZZUL HUSSAIN OF THE FIRM AFRA CONST. LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JAN 22, 2009 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT C.O.

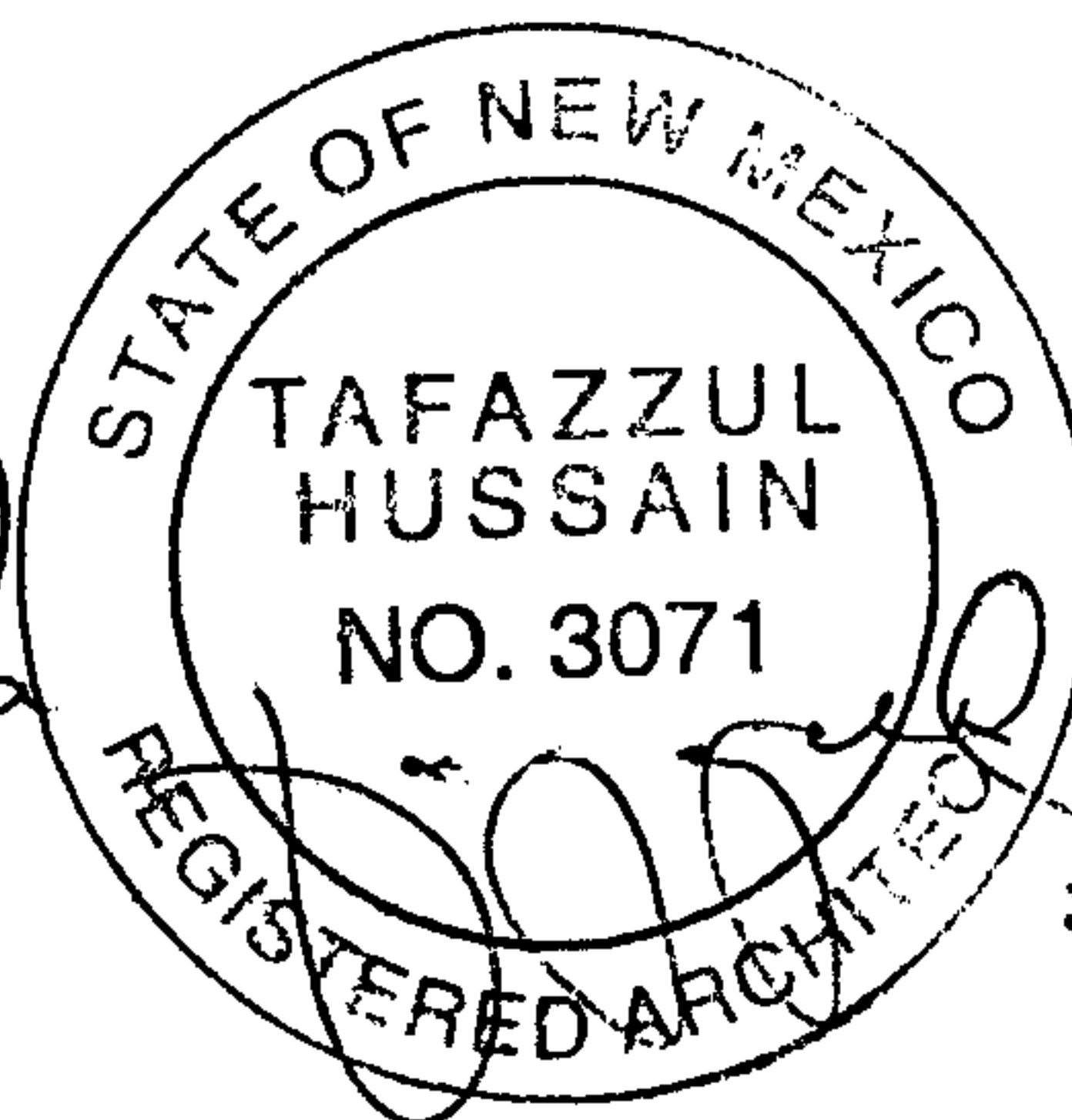
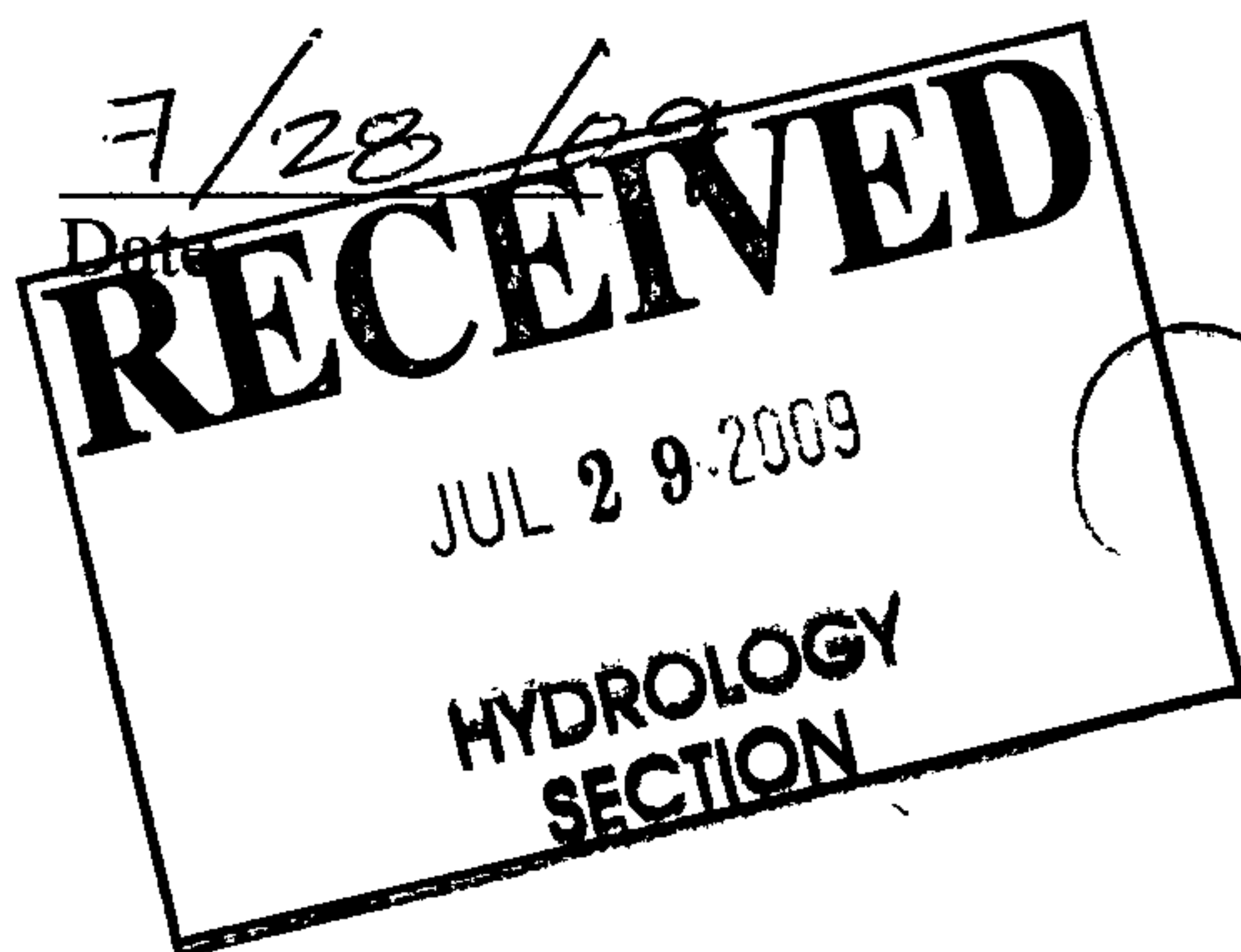
(DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH.)


(DESCRIBE ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS HERE IN A SEPARATE PARAGRAPH.)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

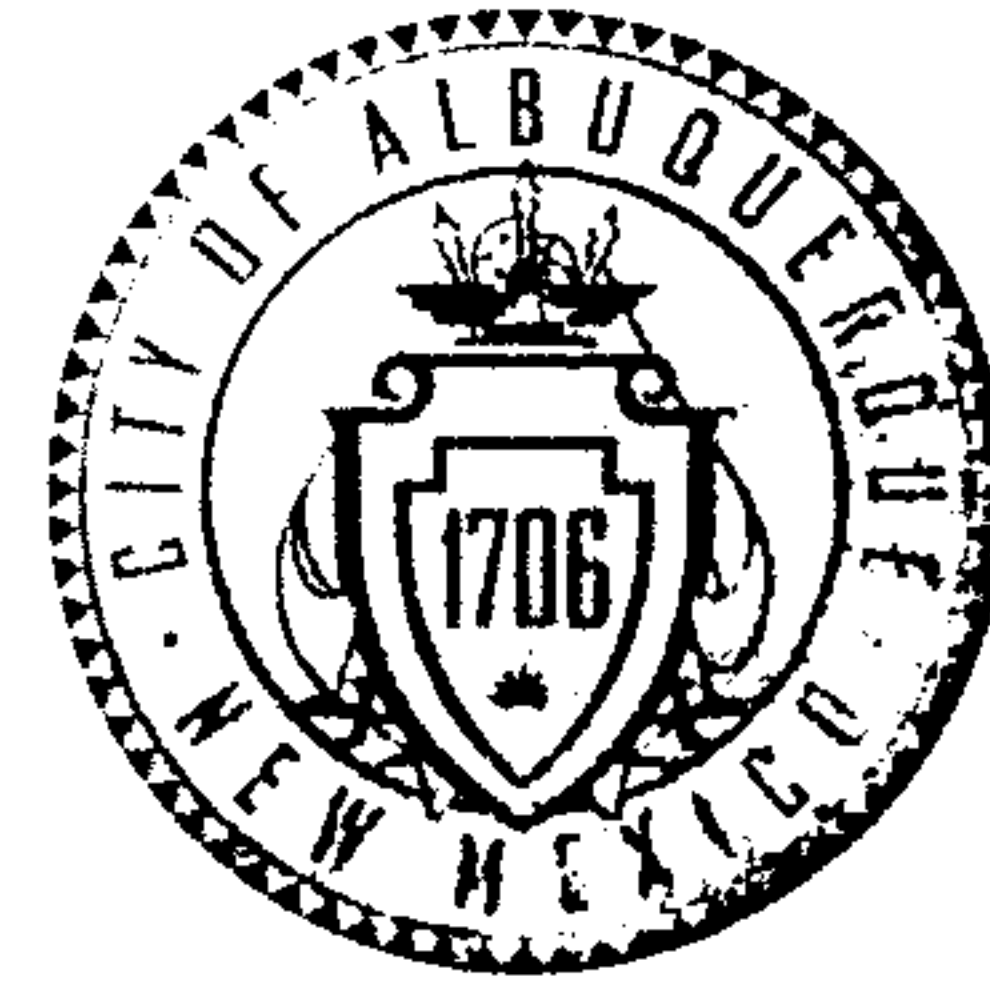

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP




7/28/09

CITY OF ALBUQUERQUE



May 5, 2009

David B. Thompson, P.E.
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM 87193

Re: The Shops @ Sedona Pointe, 8110 Louisiana Blvd. NE
Request of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 11/26/07 (C-19/D050)
Certification dated 05/04/09

Dear Mr. Thompson,

PO Box 1293

Based upon the information provided on 4/05/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: THE SHOPS AT SEDONA POINTE ZONE MAP/DRG. FILE #: C19/10050
DRB #: _____ EPC #: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: A Portion of Lot 1-A-1-A, Block 10, North Albuquerque Acres, Tract 2, Unit 3
CITY ADDRESS: _____

ENGINEERING FIRM: Thompson Engineering Consultants, Inc.
ADDRESS: P.O. Box 65760
CITY, STATE: Albuquerque, NM

CONTACT: David Thompson
PHONE: 271-2199
ZIP CODE: 87193

OWNER: PR Investments, LLC
ADDRESS: 12809 Donette Ct. NE
CITY, STATE: Albuquerque, NM

CONTACT: Philip Lindborg
PHONE: 291-0353
ZIP CODE: 87112

ARCHITECT: AFRA Construction & Design
ADDRESS: 2501 Yale SE, Suite 102
CITY, STATE: Albuquerque, NM

CONTACT: Tafazzul Husein
PHONE: 315-1482
ZIP CODE: 87106

SURVEYOR: Cartesian Surveys, Inc.
ADDRESS: P.O. Box 44414
CITY, STATE: Rio Rancho, NM

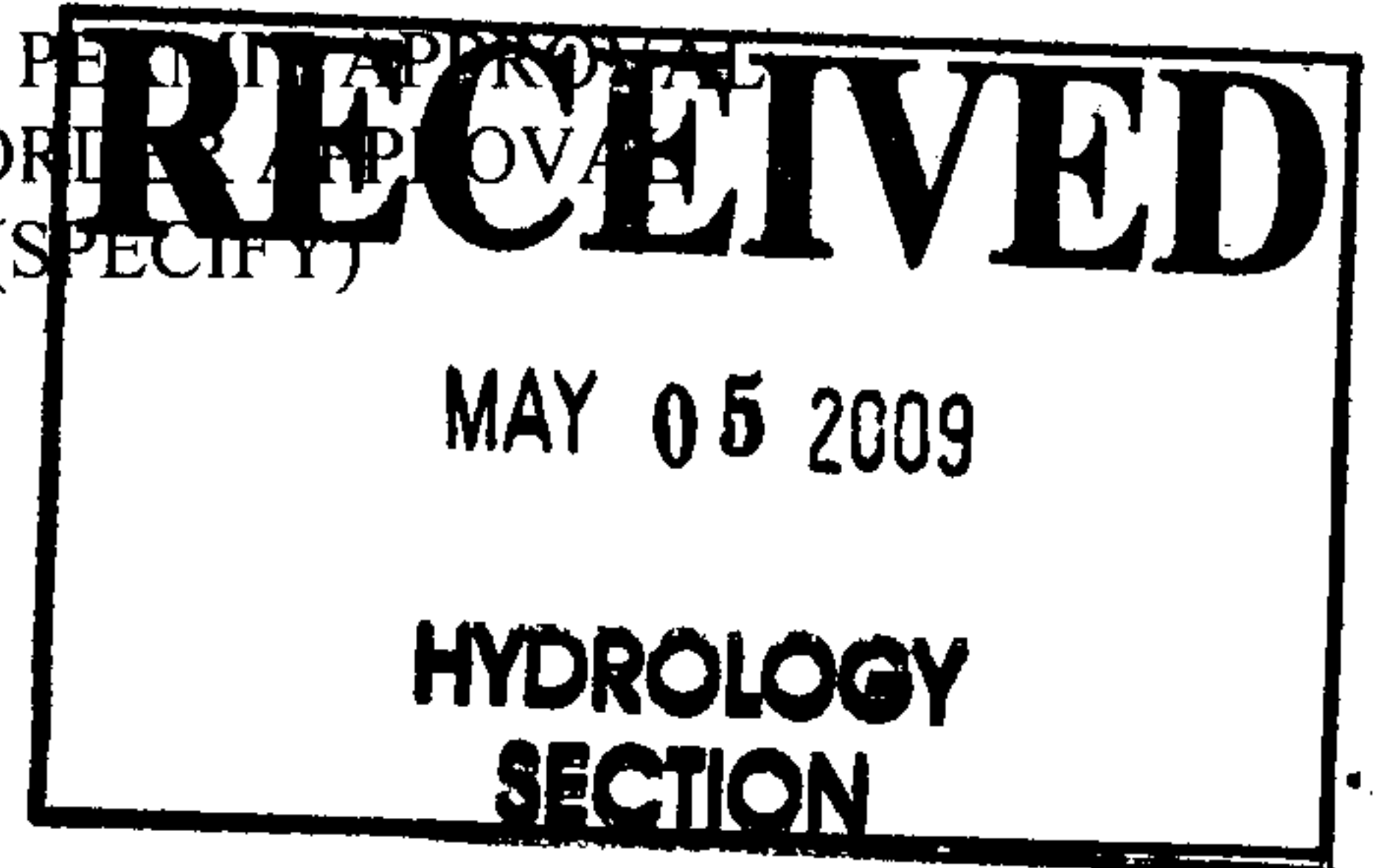
CONTACT: Will Plotner
PHONE: 896-3050
ZIP CODE: 87124

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION(TCL)
 - ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D. APPROVAL
 - S. DEV PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

DATE SUBMITTED: May 5, 2009 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

12/21/2007 Issued By: E08375

Permit Number: 2007 060 105 **Category Code 970**

Application Number: 07REV-60105, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description: 915 OAD STREET

Project Number: null

Applicant
Albuquerque Public Schools

915 Oak Street
Albuquerque NM 87106
848-8829

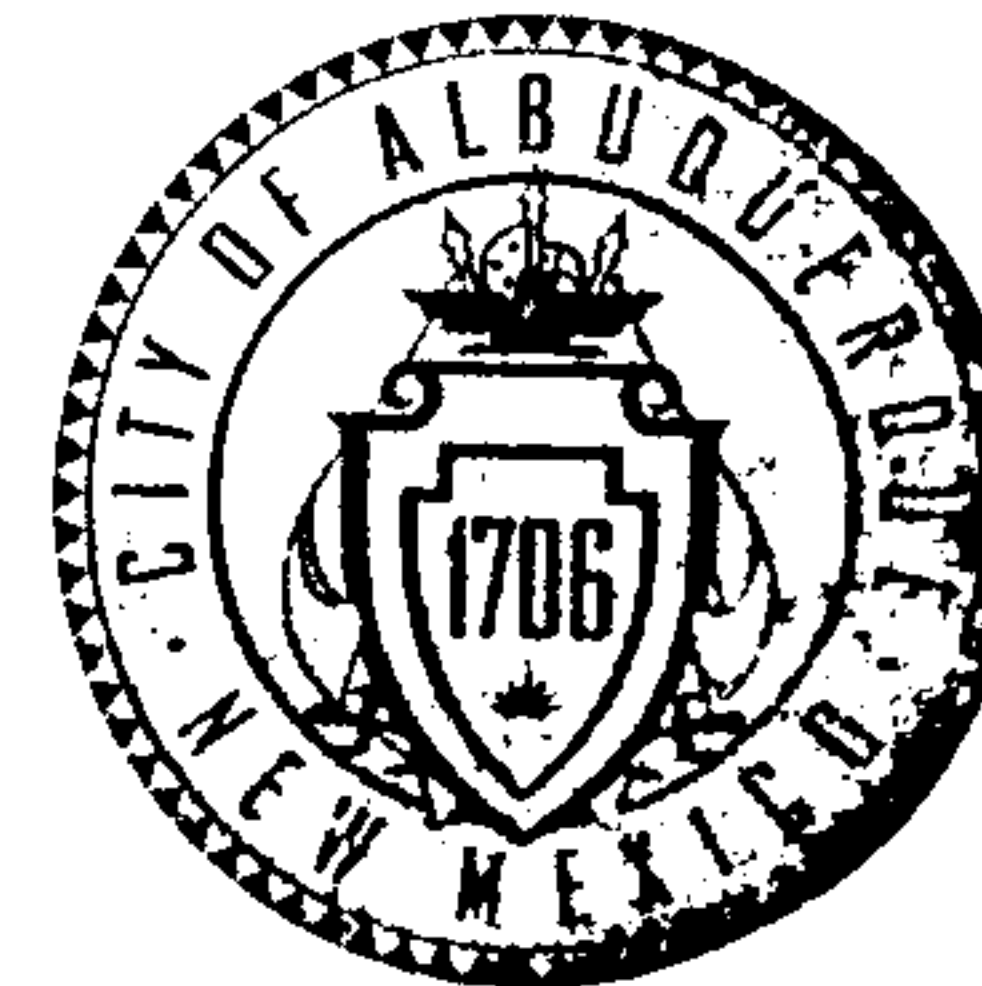
Agent / Contact
Bohannan Huston Inc

7500 Jefferson Ne Courtyard 1
Albuquerque NM 87109
823-1000

Application Fees

441006/4983000	REV Actions	\$50.00
TOTAL:		\$50.00

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 16, 2008

Tafazzul Hussain, Registered Architect,
AFRA Construction & Design
2501 Yale Blvd. SE, Ste. 102
Albuquerque, NM 87106

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Sedona Pointe, [C-19 / D050]
8110 Louisiana Blvd. NE
Architect's Stamp Dated 12/15/08

Dear Mr. Hussain:

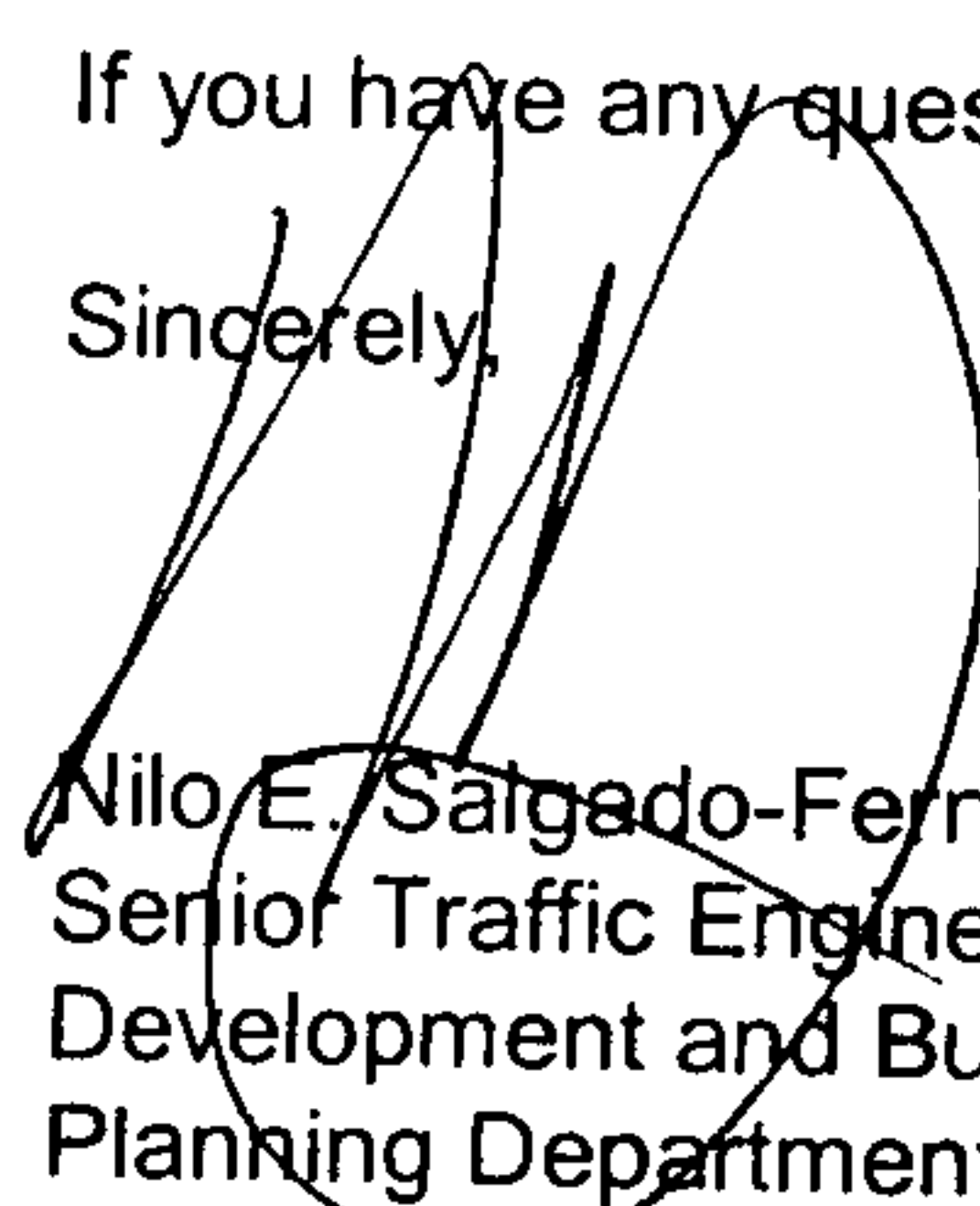
Based on the information provided on your submittal dated December 15, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding language (see attachment for sample language for Traffic Certification) and Site Plan (need to provide the approved site plan for certification) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Sargado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

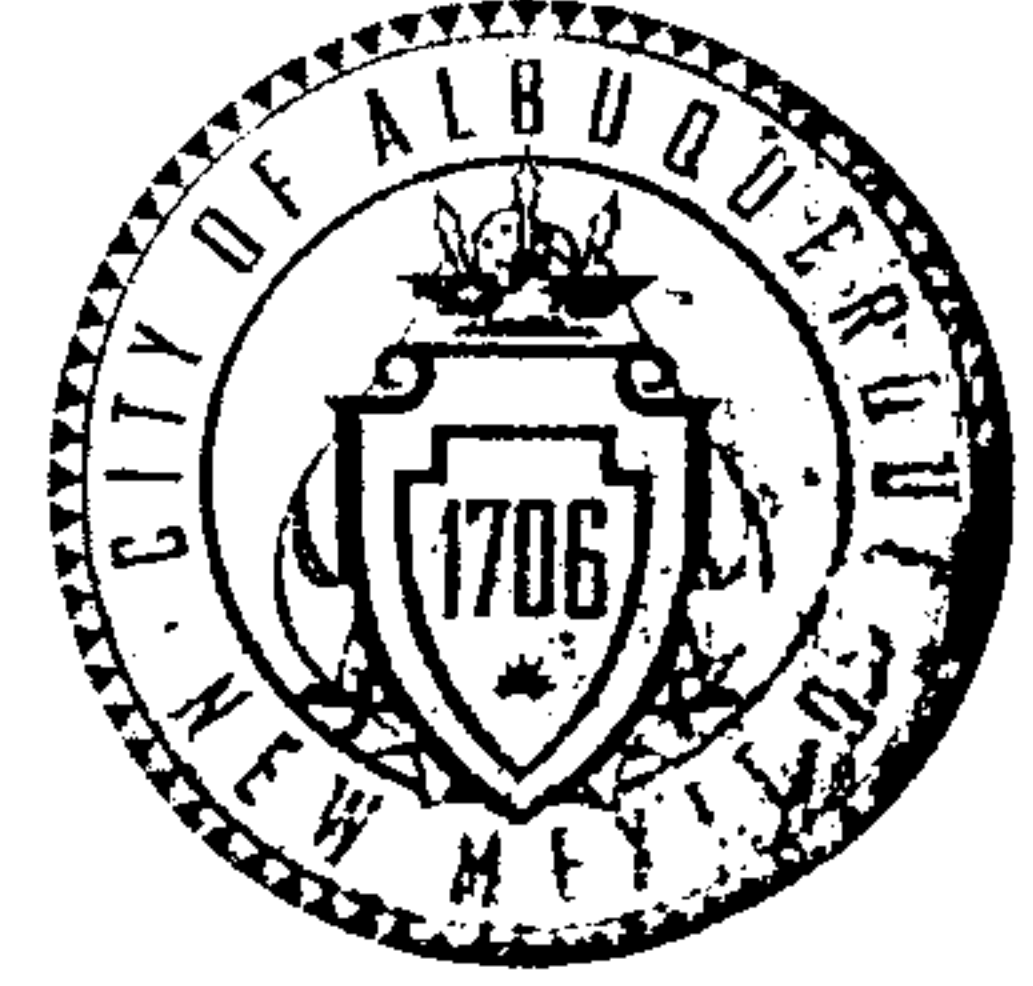
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



December 19, 2008

David B. Thompson, P.E.
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM 87193

Re: The Shops @ Sedona Pointe, 8110 Louisiana Blvd. NE
Request of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 11/26/07 (C-19/D050)
Certification dated 12/16/08

Mr. Thompson:

PO Box 1293

Based upon the information provided in your submittal received 12/17/08, the above referenced certification is approved for release of a 90 day Temporary Certificate of Occupancy by hydrology.

Albuquerque

Prior to permanent certificate of occupancy a wall will need to be constructed on the north side of the building to prevent water from topping the sidewalk. Include the address of the building with the next submittal. Also, an Engineer's Certification per the DPM is required.

NM 87103

If you have any questions, you can contact me at 924-3982.

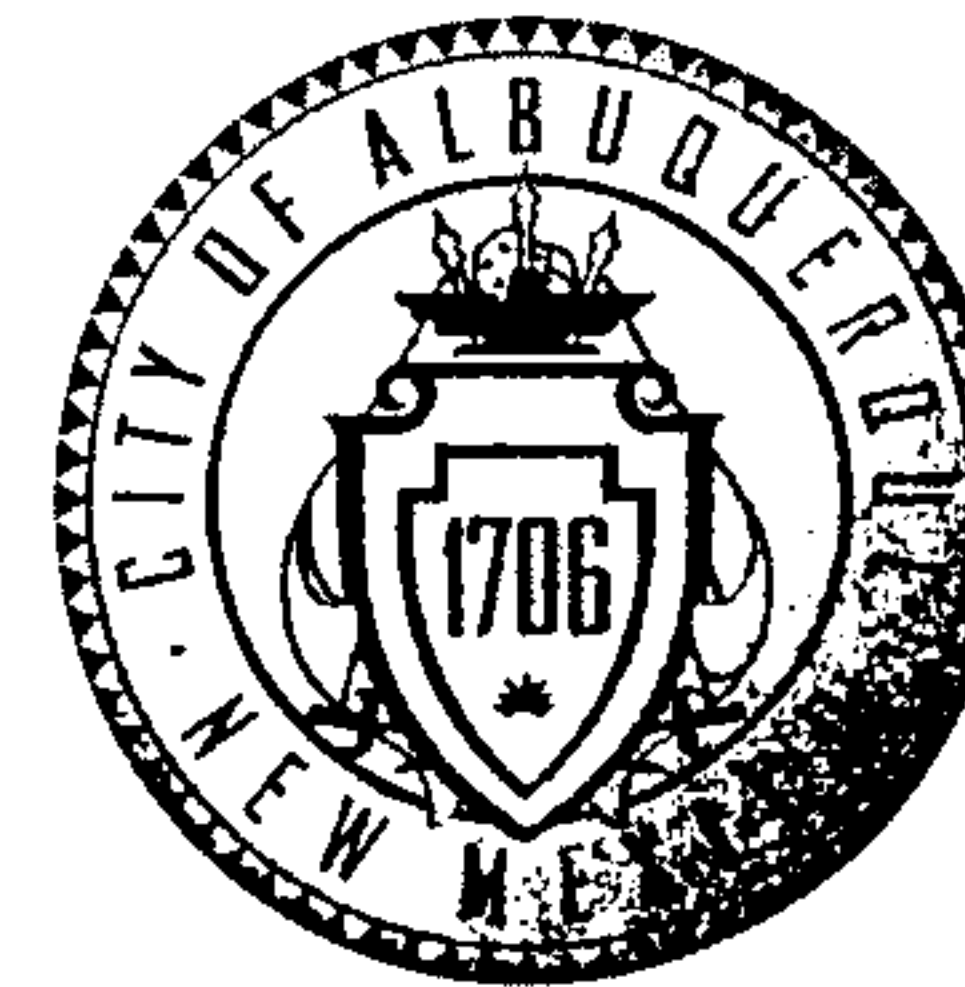
www.cabq.gov

Sincerely,

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

C: File
Bradley L. Bingham
CO Clerk—Katrina

CITY OF ALBUQUERQUE



December 18, 2008

David B. Thompson, P.E.
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM 87193

Re: The Shops @ Sedona Pointe,
Reject of Request of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated ~~08/13/07~~ (C-19/D050)

Certification dated ~~4/26/08~~

11/26/07

12/16/08

Mr. Thompson:

PO Box 1293

Based upon the information provided in your submittal received 12/17/08, the above referenced certification cannot be approved until the following comments are addressed:

Albuquerque

1. The wall on the north side of the site will need to be constructed to prevent water from topping the sidewalk. The roof drains into this area and over the wheelchair ramp; therefore, an SO-19 will be required to drain this basin.
2. Provide the finished floor elevation; as well as, adequate spot elevations to prove site will drain to the intent of the approved plan. (The sidewalk surrounding the building, inverts and top of grates, the east access road, etc.)
3. The curb and gutter will need to be complete on the east access road.
4. Include the address of the building with the next submittal.

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

C: File
Bradley L. Bingham

PODAN

CITY OF ALBUQUERQUE



January 28, 2008

Dave Thompson, PE
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

**Re: The Shops at Sedona Pointe Grading and Drainage Plan
Engineer's Stamp dated 11-26-07, (C19/D50)**

Dear Mr. Thompson,

Based on information contained in your submittal dated 12-21-07, the above referenced plan is approved for Building Permit. Please include a copy of this plan in the construction sets prior to signoff by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

A handwritten signature in black ink that reads "Bradley L. Bingham".

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Salgado-Fernandez, Nilo E.

From: Bartlett, Donald C.
Sent: Monday, November 24, 2008 10:10 AM
To: Salgado-Fernandez, Nilo E.
Subject: RE: Holly and Louisiana Ne stairs

Nilo:

This is exactly the condition that we strive to avoid! The only solution is to move the trip and fall hazard back out of the R.O.W. and onto private property. I would suggest that the sidewalk leading to the building be removed and reconfigured to include a step(s) as needed to allow the sidewalk to enter the handicapped ramp landing at the backside thru a 5' opening created in the header curb.

Thanks for asking.
Don Bartlett
Risk Management Div. DFAS



From: Salgado-Fernandez, Nilo E.
Sent: Monday, November 24, 2008 9:54 AM
To: Bartlett, Donald C.
Subject: FW: Holly and Louisiana Ne stairs

Don, the contractor has placed a sidewalk connection behind the wc ramp header. What do you think? If it's acceptable I will have the contractor paint the header curb yellow.

From: Garlach, Steven E.
Sent: Monday, November 24, 2008 9:46 AM
To: Salgado-Fernandez, Nilo E.
Subject: Holly and Louisiana Ne stairs

Hope this helps.

<< File: nelo 001.jpg >> << File: nelo 002.jpg >> << File: nelo 003.jpg >>

Steve Garlach

Construction Inspector

Dept. of Municipal Development

Const. Services Division

Office: 505-924-3400

Fax: 505-924-3408

LOUISIANA BOULEVARD N.E.
(WHICH VARIES) PUBLIC STREET

1003364

(11/24/08)

EXISTING 25' RADIUS
35'-0"

SIGHT LINE

HOLLY AVENUE N.E.
PUBLIC STREET

60'-0"
ROW

87'-0"

EXISTING FIRE HYDRANT



CENTER OF BUILDING

N89 40'05"W

EXISTING 6'-0" WIDE CONCRETE SIDEWALK

35'-0"

150.28'

43'-0"

10'-6"

29'-8"

21'-0"
TYPICAL

187'-0"

65'-0"

*ENTRANCE
CORNER*

OFFICE/RETAIL

12,155 SF GROSS
9116 SF NET

EXISTING 6'-0"
WIDE CONCRETE
SIDEWALK

6'-0" WIDE
EXISTING
BIKE LANE

SUITE 1
1950 sf

SUITE 2
1376 sf

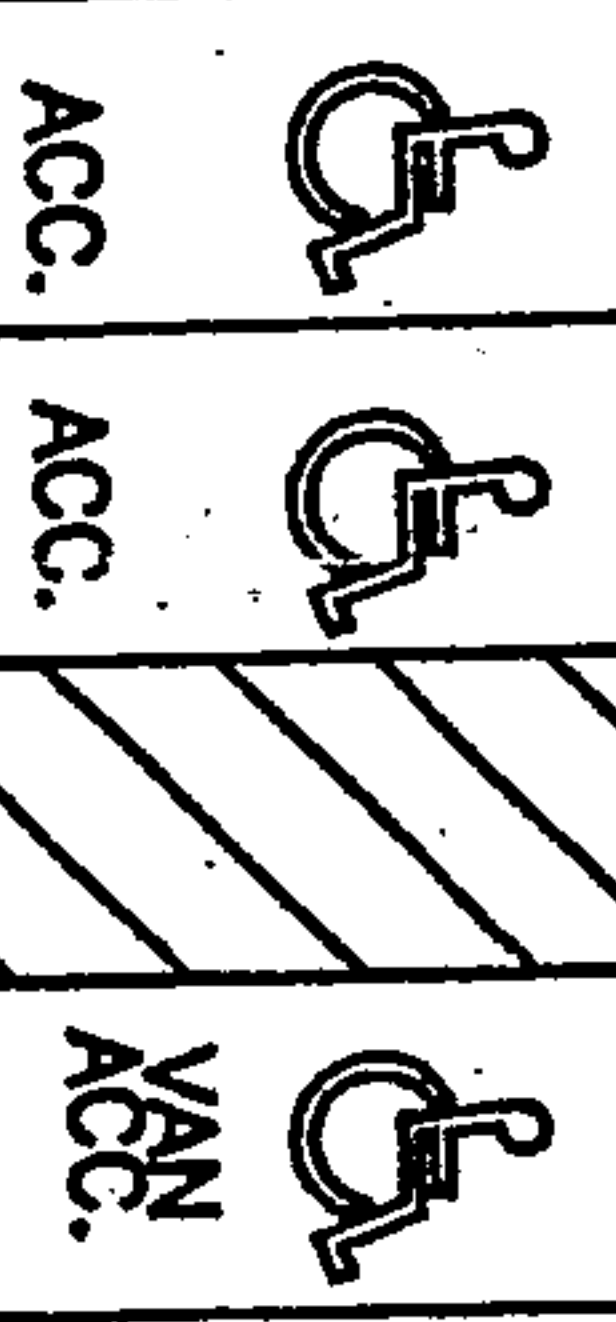
SUITE 3
1376 sf

SUITE 4
1376 sf

SUITE 5
1376 sf

SUITE 6
1376 sf

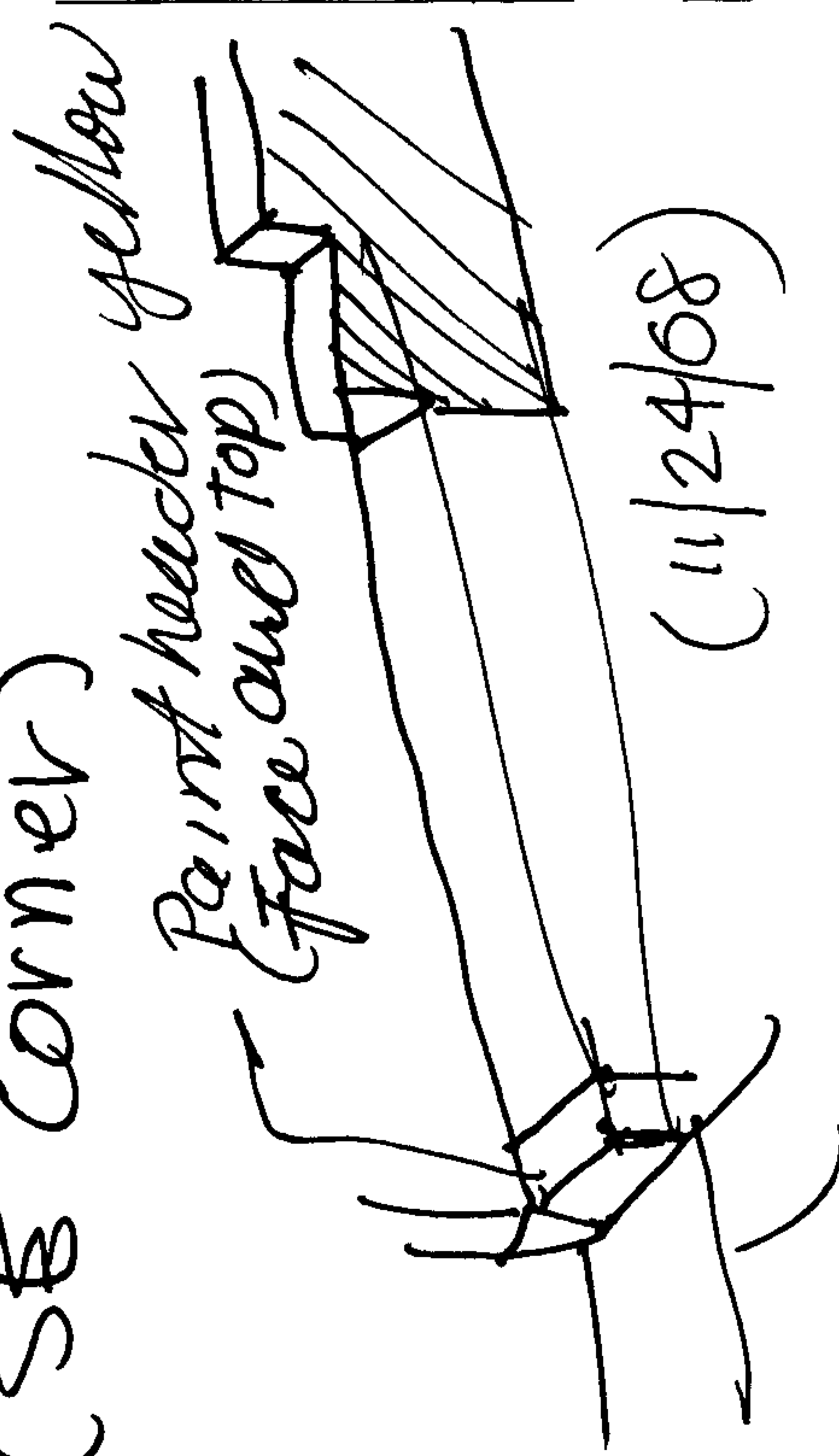
SUITE 7
1376 sf



20'-0"

C-19 (w/ ramp)
problems
D347D50
Lo/ Holly
PDN Restamp
Center

Holly & LOUISIANA
(SE corner)



DRB 1003364
(Block 10, Tract 2,
Unit 3)