

CITY OF ALBUQUERQUE



May 4, 2012

Mike Walla, P.E.
Walla Engineering
6100 Indian School Rd NE
Albuquerque, NM 87110

Re: Mario's Restaurant and Shops, 7441 and 7501 Paseo Del Norte NE
Request for Permanent Certificate of Occupancy - Approved
Approved Engineer's Stamp date: 4/19/11, (C19/D052)
Certification dated: 5-3-12

Dear Mr. Walla,

Based upon the information provided in the submittal received 5-3-10, the above referenced Certification is approved for release of Permanent Certificate of Occupancy by Hydrology because it drains in substantial compliance.

Hydrology provides the following comments to be addressed with future Engineer Certifications to assist in their approval.

- I have included a copy of the proper certification language. Specifically, the certification must contain the Professional Surveyor's information.
- The certification should correctly show the as-built condition of the site. The as-built conditions that were not shown correctly are:
 - The storm drain daylights at the beginning of the channel not at the sidewalk culvert as shown in Detail 11 Sheet 2-1.
 - It was not clear that the temporary pond was graded. There are no as-built grades shown on the certification in this area.
 - The slopes on the west side of the parking lot north of the building are not per plan. This area does not show the as-built landscape area and sections of the tie slopes are steeper than 3:1.
- Provide the address on the DTIS.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, PE, CFM
Principal Engineer—Hydrology
Development and Building Services

Copy: file
CO Clerk—Katrina Sigala



Slope west of parking lot. Sections steeper than 3:1.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

C-19/0052

PROJECT TITLE: MARIO'S RESTAURANT & SHOPS ZONE MAP/DRG. FILE #: C-19-7
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 13, 20 AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE
CITY ADDRESS: ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ENGINEERING FIRM: WALLA ENGINEERING
ADDRESS: 6100 INDIAN SCHOOL NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIKE WALLA
PHONE: 881-3008
ZIP CODE: 87110

OWNER: MARIO'S PIZZERIA
ADDRESS: 2401 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOE BURGARELLO
PHONE: 883-4414
ZIP CODE: 87110

ARCHITECT: MODULUS ARCHITECTS
ADDRESS: 2325 SAN PEDRO NE SUITE 2-B
CITY, STATE: ALBUQUERQUE, NM

CONTACT: STEPHEN DUNBAR
PHONE: 338-1499
ZIP CODE: 87110

SURVEYOR: ANTHONY L. HARRIS
ADDRESS: 2412-P MADRIDE ST NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: ANTHONY HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: PETE DASKINOS
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

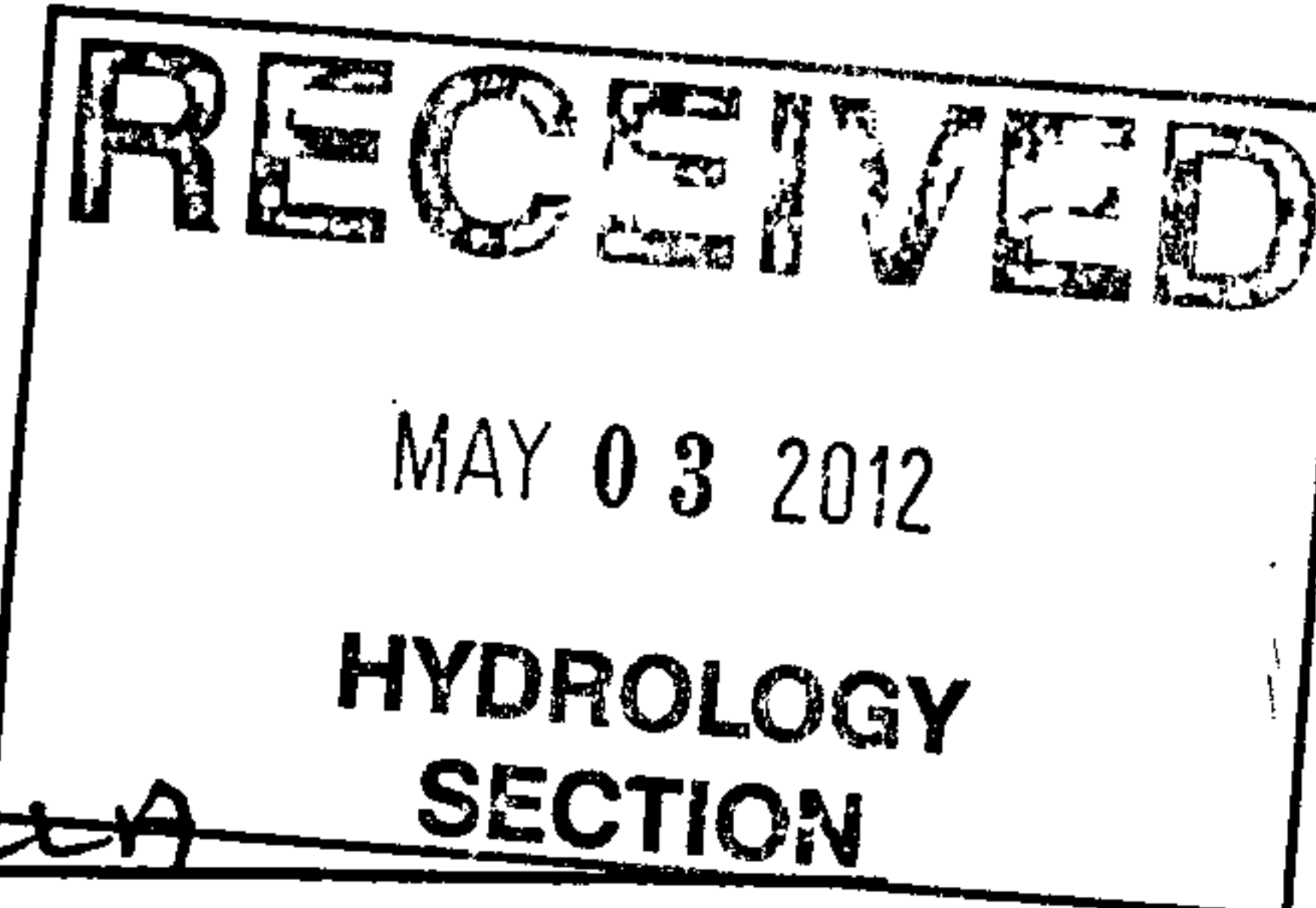
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

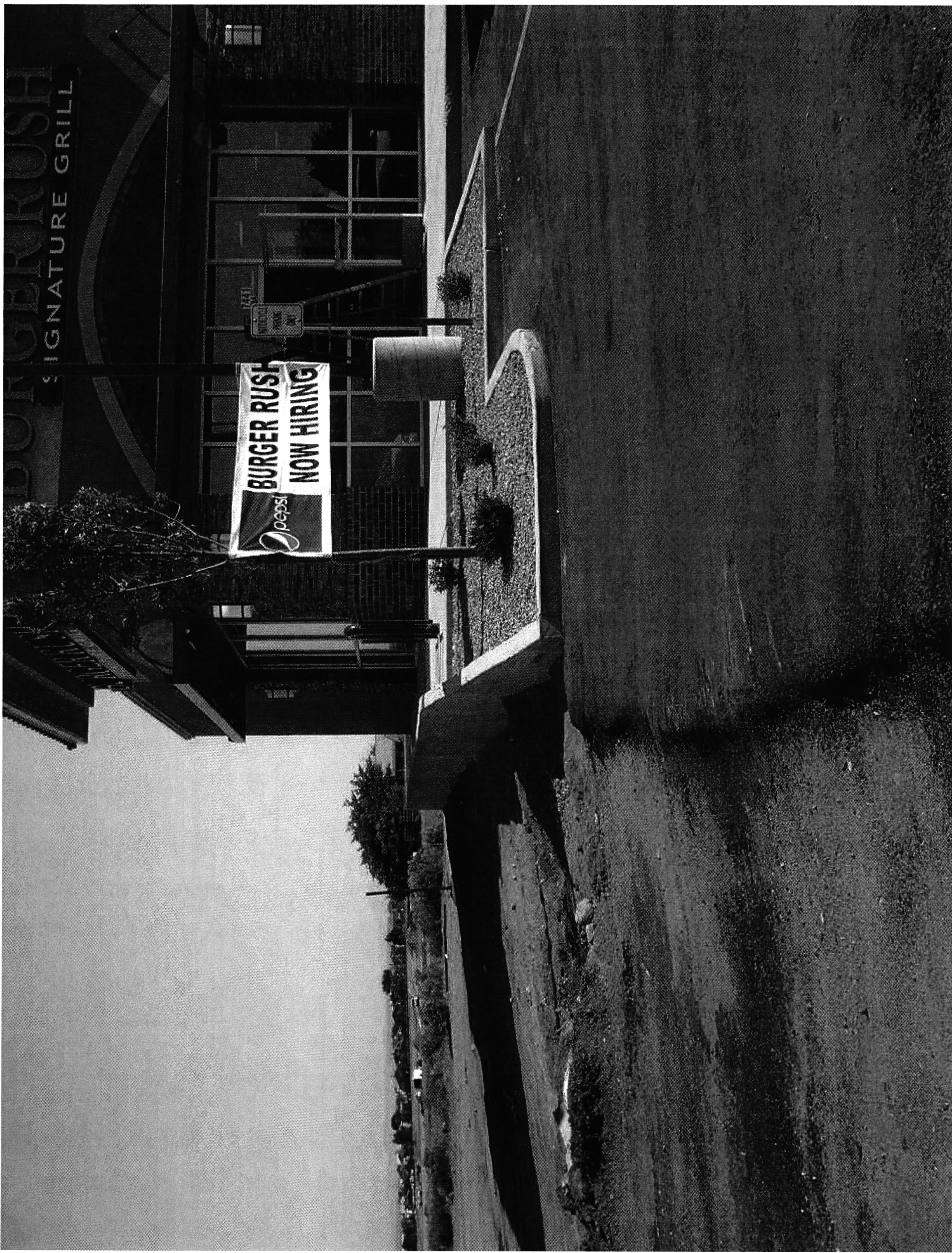
- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/3/12 BY: MIKE WALLA

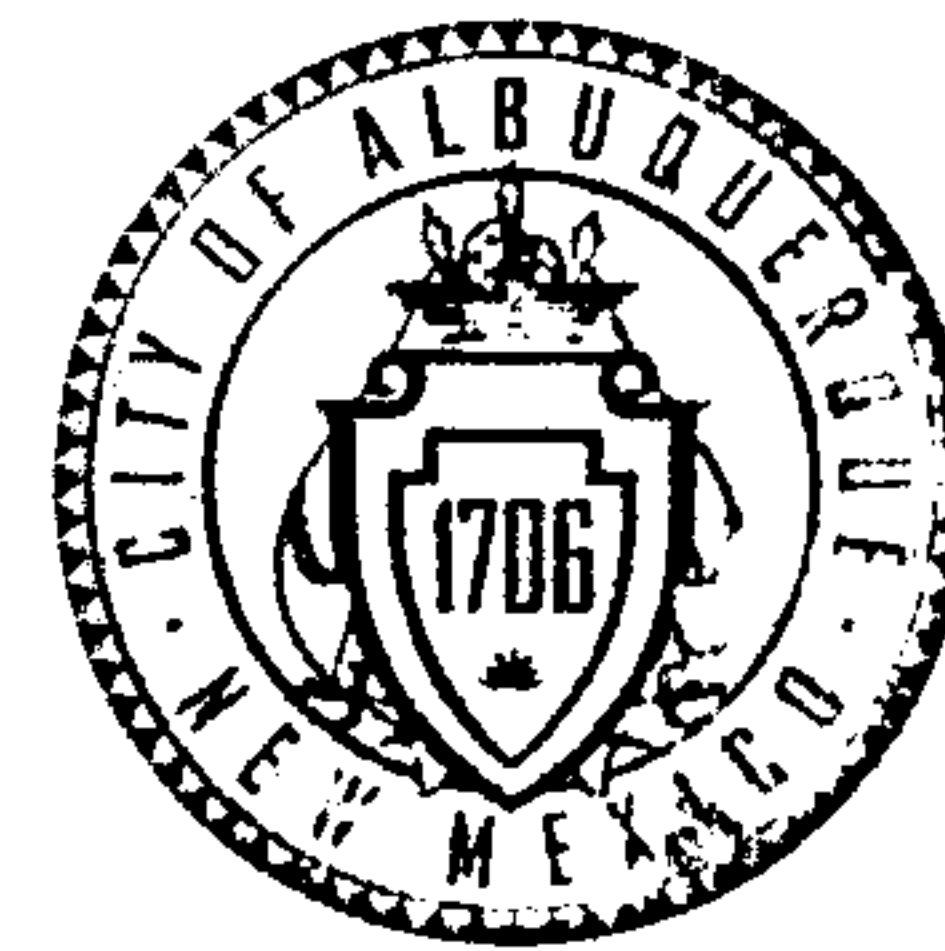


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

May 1, 2012

Stephen Dunbar, Registered Architect
Modulus Architects
2325 San Pedro NE, Ste. B
Albuquerque, NM 87110

Re: Certification for Permanent Certificate of Occupancy (C.O.)
Shops/Mario's [C-19/D052]
7441 & 7501 Paseo Del Norte
Architect's Stamp Dated 05/01/12

Dear Mr. Dunbar:

Based upon the information provided in your submittal received 05-01-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

7441 - SHOPS
7501 - MARIO'S

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: MARIO'S PIZZA. ZONE MAP: C-19/D052
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 7441 & 7501 PASADO DEL NORTE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: MODULUS ARCHITECTS CONTACT: STEPHEN DUNBAR
ADDRESS: 220 COPPER ST N.E. PHONE: 338-1499x106
CITY, STATE: ALBUQUERQUE NM ZIP CODE: _____
EMAIL: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

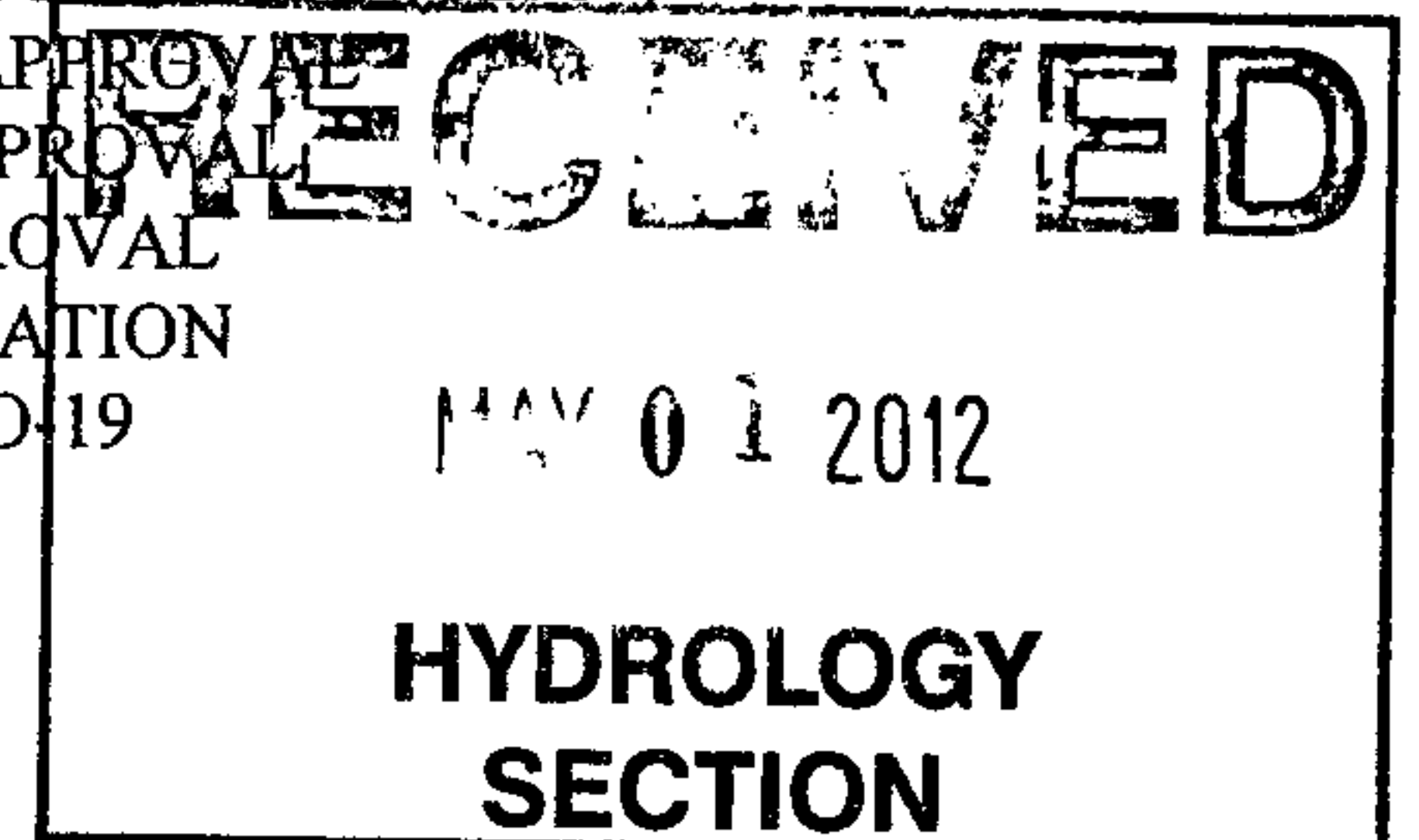
CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 5/1/12 BY: Stephen A. Dunbar

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

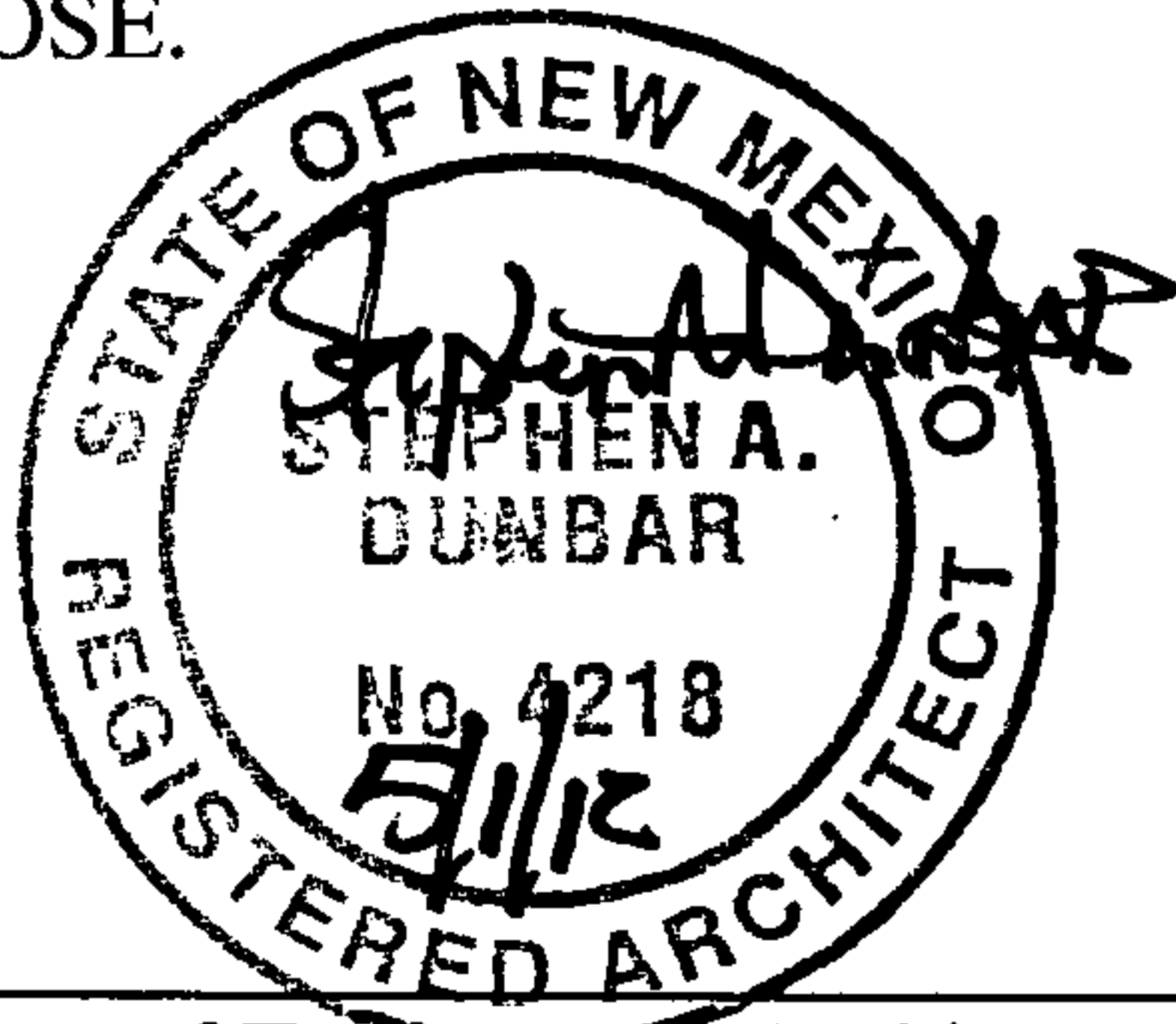
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



TRAFFIC CERTIFICATION

I, STEPHEN DUNBAR , NMPE OR NMRA 004218 , OF THE FIRM MODULUS ARCHITECTS INC. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL DESIGN COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED Feburary Second 2010. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEPHEN DUNBAR OF THE FIRM MODULUS ARCHITECTS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/30/12 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCPANCY.

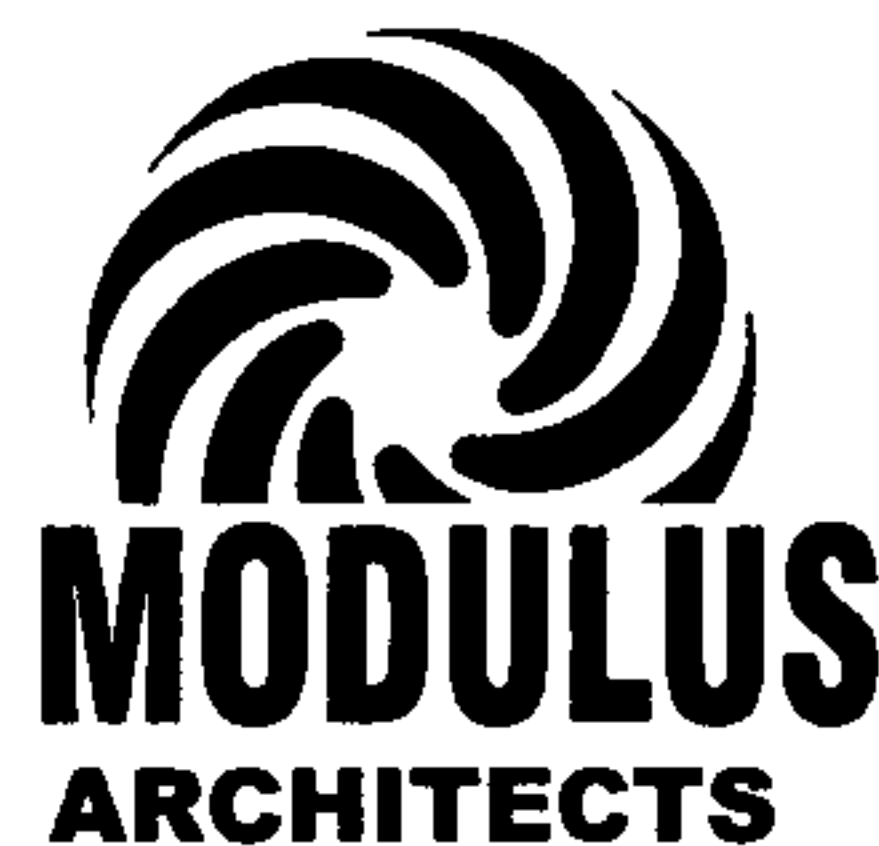
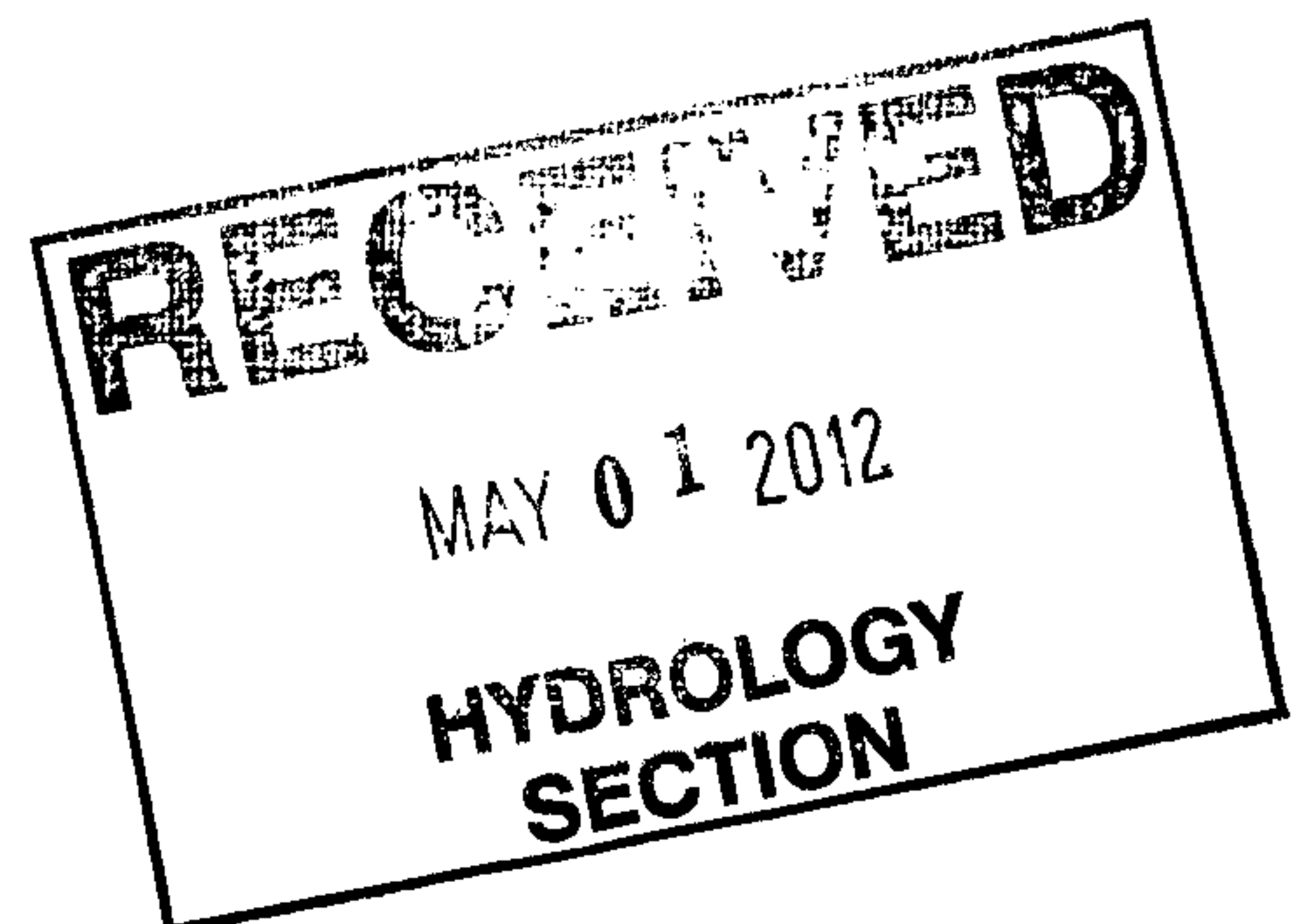
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



ARCHITECT'S STAMP

Signature of Engineer or Architect

Date



220 Copper Ave. NW, Suite 350
Albuquerque, New Mexico 87102
p 505.338.1499 f 505.338.1498



CITY OF ALBUQUERQUE



July 19, 2011

Mike J. Walla, P.E.
Walla Engineering, LTD
6100 Indian School NE, Suite 105
Albuquerque, NM 87110

Re: 7441 & 7501 Paseo Del Norte NE (Marios Rest. Shops)
Grading and Drainage Plan
Engineer's Stamp dated 4-19-11 (C19/D052)

Dear Mr. Walla,

Based upon the information provided in your submittal received 7-15-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

A handwritten signature in cursive script that reads "Curtis Cherne".

Curtis Cherne, PE, CFM.
Principal Engineer, Planning Dept.
Development and Building Services

RER/CAC
C: Kathy Verhage, DMD
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: MARIO'S RESTAURANT & SHOPS ZONE MAP/DRG. FILE #: C-19-27052
DRB #: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: LOTS 13, 20 AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE
CITY ADDRESS: ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ENGINEERING FIRM: WALLA ENGINEERING
ADDRESS: 6100 INDIAN SCHOOL NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIKE WALLA
PHONE: 881-3008
ZIP CODE: 87110

OWNER: MARIO'S PIZZERIA
ADDRESS: 2401 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOE BURGARELLO
PHONE: 883-4414
ZIP CODE: 87110

ARCHITECT: MODULUS ARCHITECTS
ADDRESS: 2325 SAN PEDRO NE SUITE 2-B
CITY, STATE: ALBUQUERQUE, NM

CONTACT: STEPHEN DUNBAR
PHONE: 338-1499
ZIP CODE: 87110

SURVEYOR: ANTHONY L. HARRIS
ADDRESS: 2412-D MONROE ST NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: ANTHONY HARRIS
PHONE: 889-8256
ZIP CODE: 87110

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

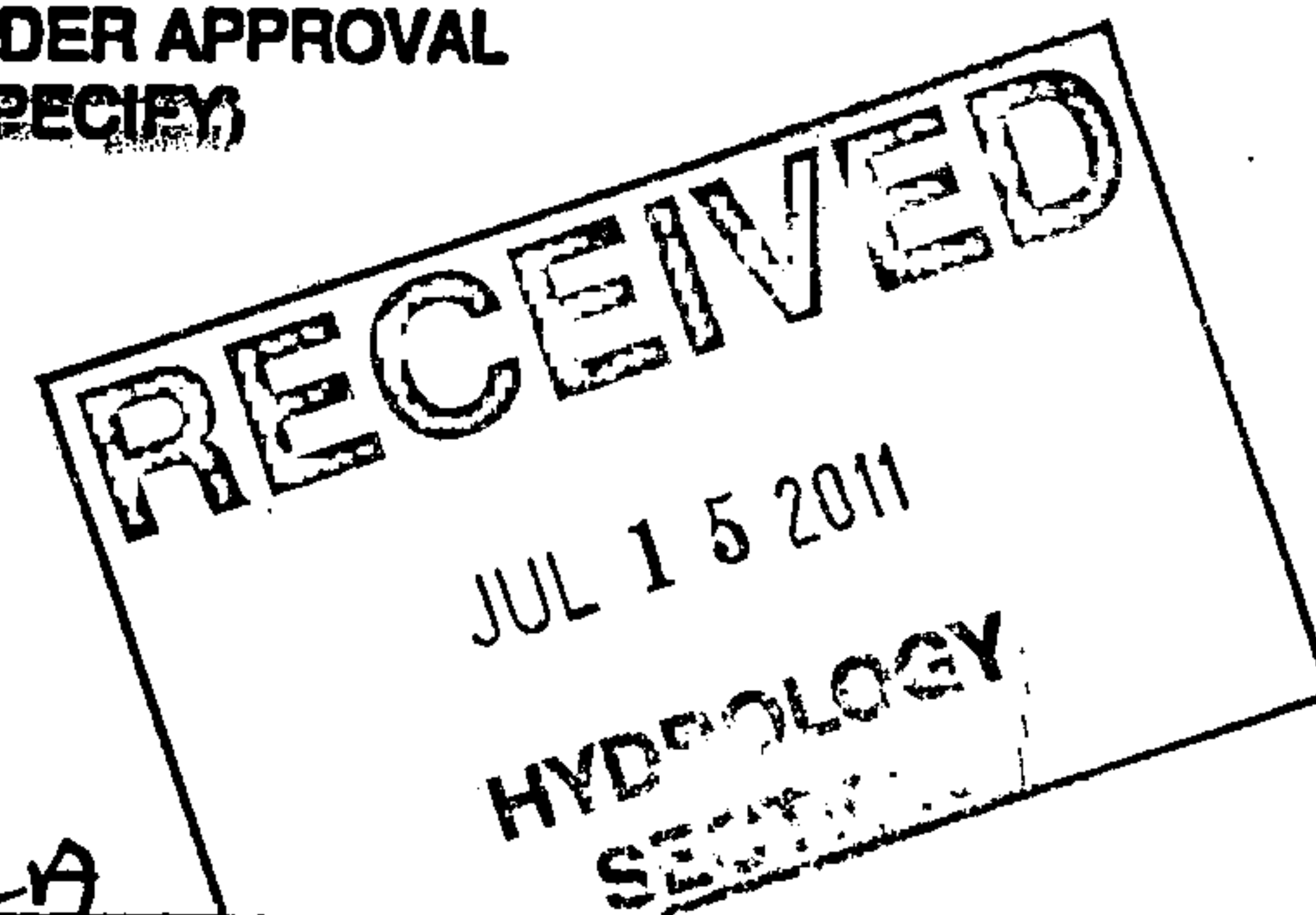
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

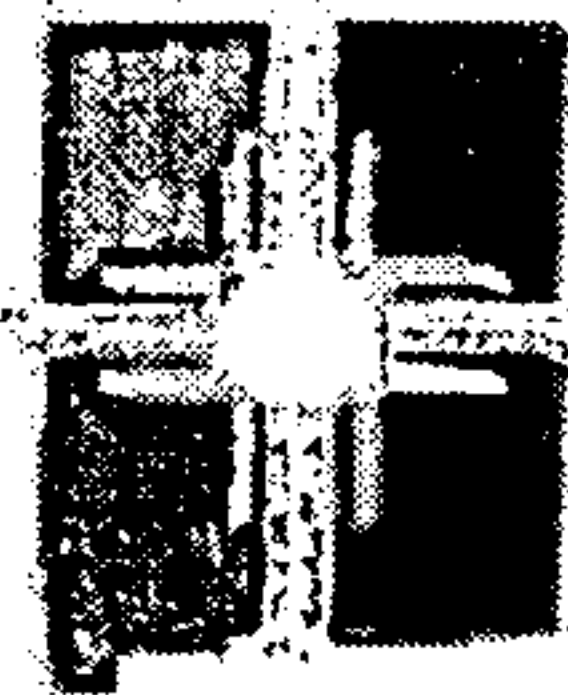
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 7-15-11 BY: MIKE WALLA

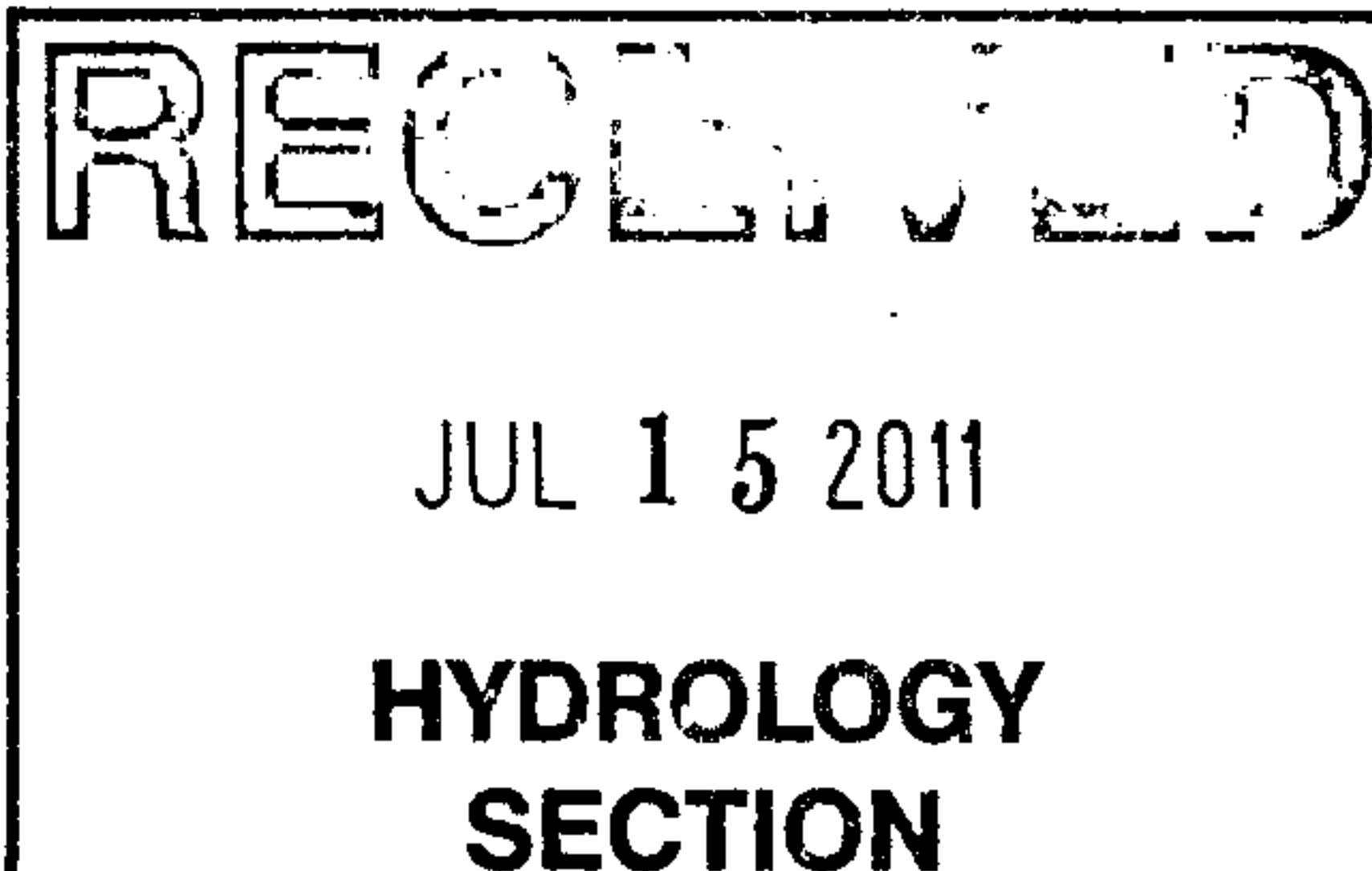


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



NEW MEXICO DEPARTMENT OF
TRANSPORTATION



Mr. Mike Walla
Walla Engineering LTD
6100 Indian School Rd. NE, Suite 210
Albuquerque, NM 87110

July 14, 2011

Susana Martinez
Governor

Alvin C. Domínguez, P.E.
Cabinet Secretary

Subject: Authorization to Proceed for Mario's Restaurant

Ref: Utility Permit # 3-16561

To Install: Concrete drainage Outfall; sidewalk culvert

Location: NM 423 Mile Marker 6.4 in Bernalillo County, NM

*****Mario's Restaurant or their contractor shall submit a Certificate of Insurance in the amount of \$1,000,000 per occurrence for the life of the project 5 days in advance of work performed within NMDOT right of way; certificate may be submitted with the Traffic Control/Roadway work permit and the traffic control plan.*****

Commissioners

Pete Rahn
Chairman
District 3

Debra Hicks
Vice Chairman
District 2

Dr. Kenneth White
Secretary
District 1

Ronald Schmeits
Commissioner
District 4

Butch Mathews
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

Dear Mr. Walla,

We have reviewed the subject utility installation and find it satisfies State utility regulations as proposed. ***This correspondence is your authority to proceed with the construction of your facility installation in accordance with the drawings provided to us by your company.*** This authorization applies only to fee owned State highway right of way; if other lands are involved (Indian, Federal, State, etc.) it is your responsibility to have secured their approval of your installation as well.

Please note that the fully executed utility permit will be returned to you as soon as we receive the required As-Built Plans and the Electronic File. These items are required within 30-thirty days of completion of your installation.

You are required to notify Christina Bahl via fax at (505) 841-2790 or email: christina.bahl@state.nm.us by completing the attached Traffic Control Plan Form at least five (5) days in advance of construction. Upon receipt of an approved Traffic Control Permit you will have permission to enter the NMDOT Right of Way.

Should you find it necessary to deviate from the proposed installation or approved TCP, any such deviation must have written approval by the District Three Office prior to proceeding with construction. All work performed must meet or exceed the NMDOT's Standard Specifications for Highway and Bridge Construction, 2000 Edition.

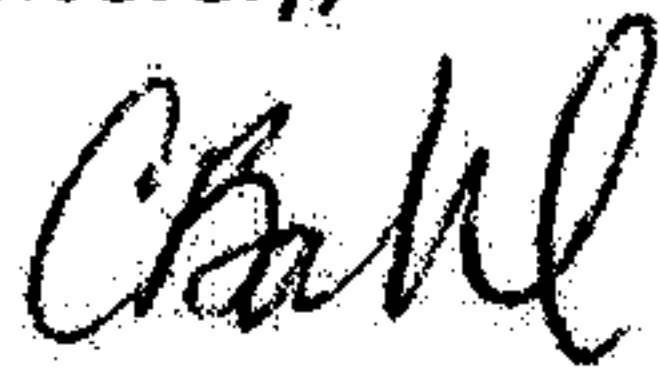
In addition to the above requirements:

- 1) The Traffic Control Plan and all traffic control devices used by the owner and contractor must comply with Part VI of the Manual on Uniform Traffic Control Devices (MUTCD) 2009.
- 2) The utility owner and contractor shall abide by Section 12.0 through 12.5 of the NMSH&TD Utilities Manual under General Utility Construction Requirements.

- 3) All above-ground utilities shall be marked in accordance with Section 18.0 of the NMSH&TD Utilities Manual under General Utility Construction Requirements.
- 4) Should the roadside disturbance in conjunction with this permit application be less than one acre, a National Pollution Discharge Elimination System (NPDES) will not be required. If the roadside disturbance in conjunction with this permit application is greater than one acre, a National Pollution Discharge Elimination System (NPDES) will be required. The applicant shall maintain the required NPDES measures in accordance with the NMDOT's NPDES Specifications and/or the requirements listed in the NMDOT's Drainage Section's approval letter.

If you have any questions please call me at (505)841-2778 or you can reach me by email: christina.bahl@state.nm.us

Sincerely,

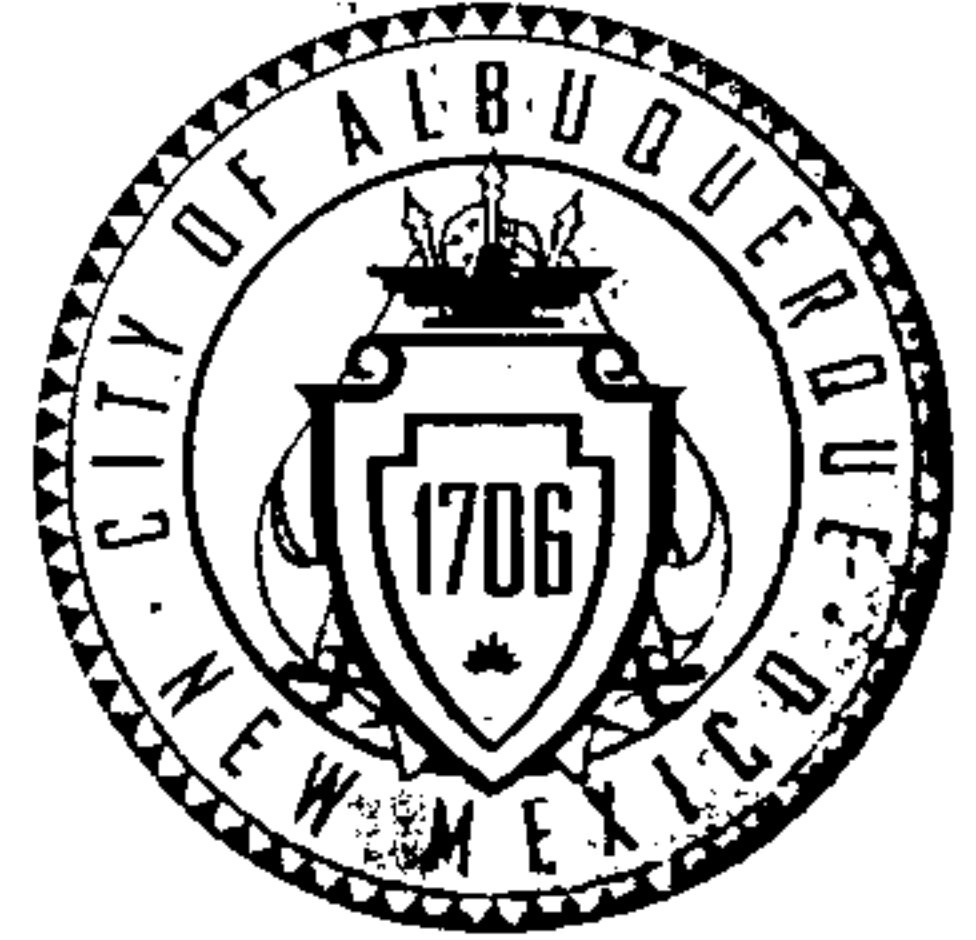


Christina Bahl

District Three Permit Agent

xc: Tony Abbo, P.E. – Assistant District Engineer, Engineering Support

CITY OF ALBUQUERQUE



April 12, 2011

Mike J. Walla, P.E.
Walla Engineering, LTD
6100 Indian School NE, Suite 105
Albuquerque, NM 87110

Re: 7441 & 7501 Paseo Del Norte NE
Grading and Drainage Plan
Engineer's Stamp dated 3-2-11 (C19/D052)

Dear Mr. Walla,

Based upon the information provided in your submittal received 3-22-11, the above referenced plan can not be approved for Building Permit until the following comments are addressed.

- A letter of approval or an email from the NMDOT is needed to drain into Paseo Del Norte.
- It appears that the system shown for the roof runoff from the western building conveyed to the parking lot will not function properly. When crossing the parking lot the pipe does not have enough cover over it. Detail 11/C2-1 needs more detail. Is this a trench curb or the concrete channel?
- The landscape Islands in the southwest corner of the parking lot needs to call out the curb cut and the landscape Island just east of this location needs a curb cut also. There is a low spot at this location.
- Please use Precipitation Zone 3 for calculations.

If you have any questions, you can contact me at 924-3421 or Rudy E. Rael at 924-3977.

Sincerely,

Paul Olson, PE, CFM.
Senior Engineer, Planning Dept.
Development and Building Services

C: PLO/RER
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: MARIO'S RESTAURANT & SHOPS ZONE MAP/DRG. FILE #: C-19-7D052
DRB #: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: LOTS 13, 20 AND 21, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE
CITY ADDRESS: ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ENGINEERING FIRM: WALLA ENGINEERING
ADDRESS: 6100 INDIAN SCHOOL NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIKE WALLA
PHONE: 881-3008
ZIP CODE: 87110

OWNER: MARIO'S PIZZERIA
ADDRESS: 2401 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOE BURGARELLO
PHONE: 883-4414
ZIP CODE: 87110

ARCHITECT: MODULUS ARCHITECTS
ADDRESS: 2325 SAN PEDRO NE SUITE 2-B
CITY, STATE: ALBUQUERQUE, NM

CONTACT: STEPHEN DUNBAR
PHONE: 338-1499
ZIP CODE: 87110

SURVEYOR: ANTHONY L. HARRIS
ADDRESS: 2412-D MONROE ST NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: ANTHONY HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
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- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

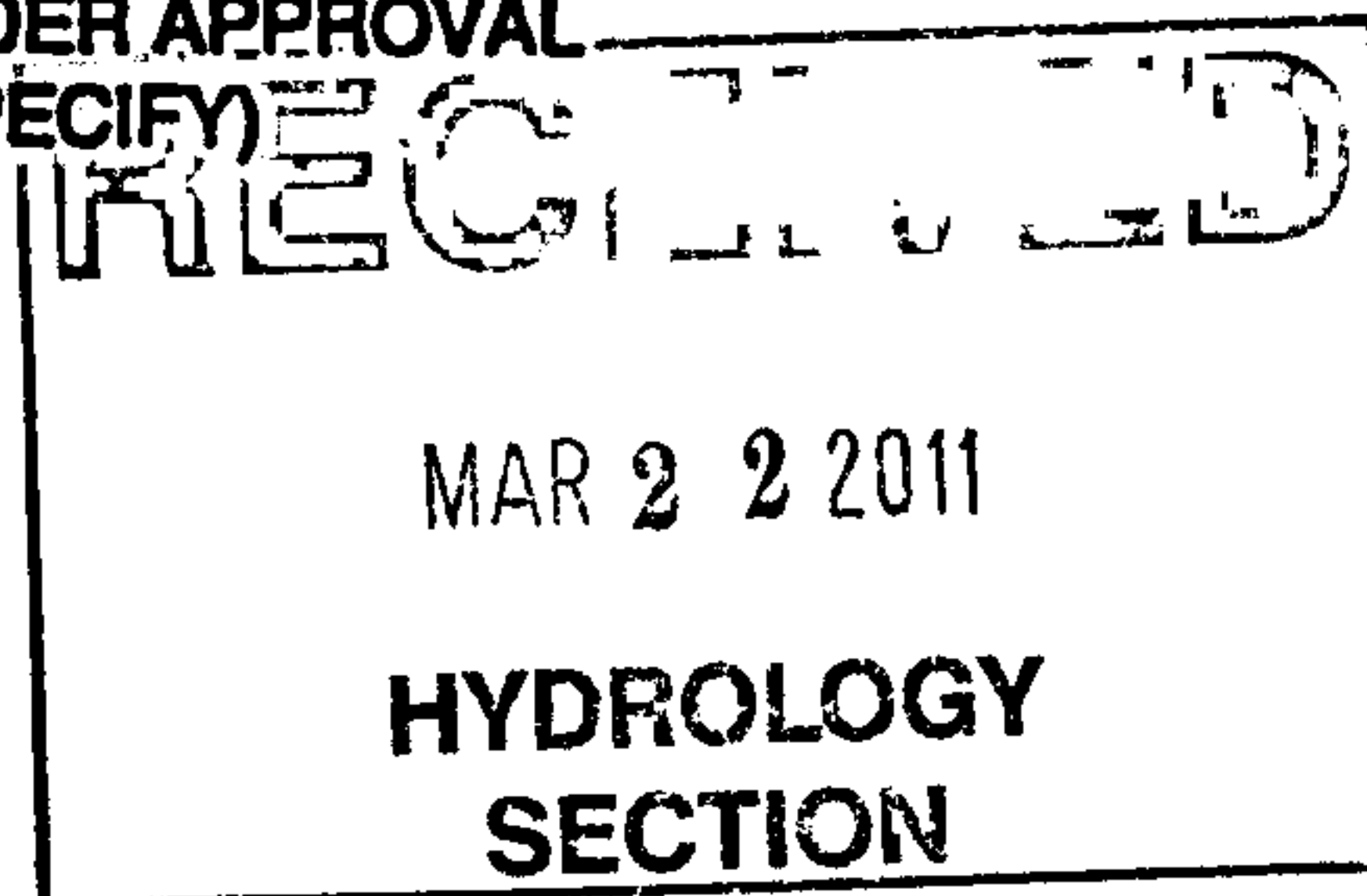
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

3/22/11

DATE SUBMITTED: 1-28-11

BY: MIKE WALLA



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.