

# CITY OF ALBUQUERQUE



September 13, 2011

Larry Reed, P.E.  
**Larry Read and Associates**  
2430 Midtown Pl NE  
Albuquerque, NM 87107

**Re: Goodwill Industries of New Mexico, 7120 Holly Ave. NE**  
**Request for C.O.—Approved**  
**Engineer's Stamp dated: 09/21/2010 (C-19/D053)**  
**Certification dated: 09-09-11**

Dear Mr. Read,

Based upon the information provided in your submittal received 09-12-11, the above referenced certification is approved for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims  
Plan Checker—Hydrology,  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Goodwill Industries of New Mexico  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: C-19/D053  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 6, Block 10, Tract 2, Unit 3, NAA  
CITY ADDRESS: 6500 Wyoming Blvd., NE

ENGINEERING FIRM: Larry Read & Associates, Inc.  
ADDRESS: 2430 Midtown Place NE Suite C  
CITY, STATE: Albuquerque, New Mexico

CONTACT: Larry Read  
PHONE: 237-8421  
ZIP CODE: 87107

OWNER: Goodwill Industries of New Mexico  
ADDRESS: 5000 San Mateo Blvd. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mary  
PHONE: 881-6612  
ZIP CODE: 87109

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

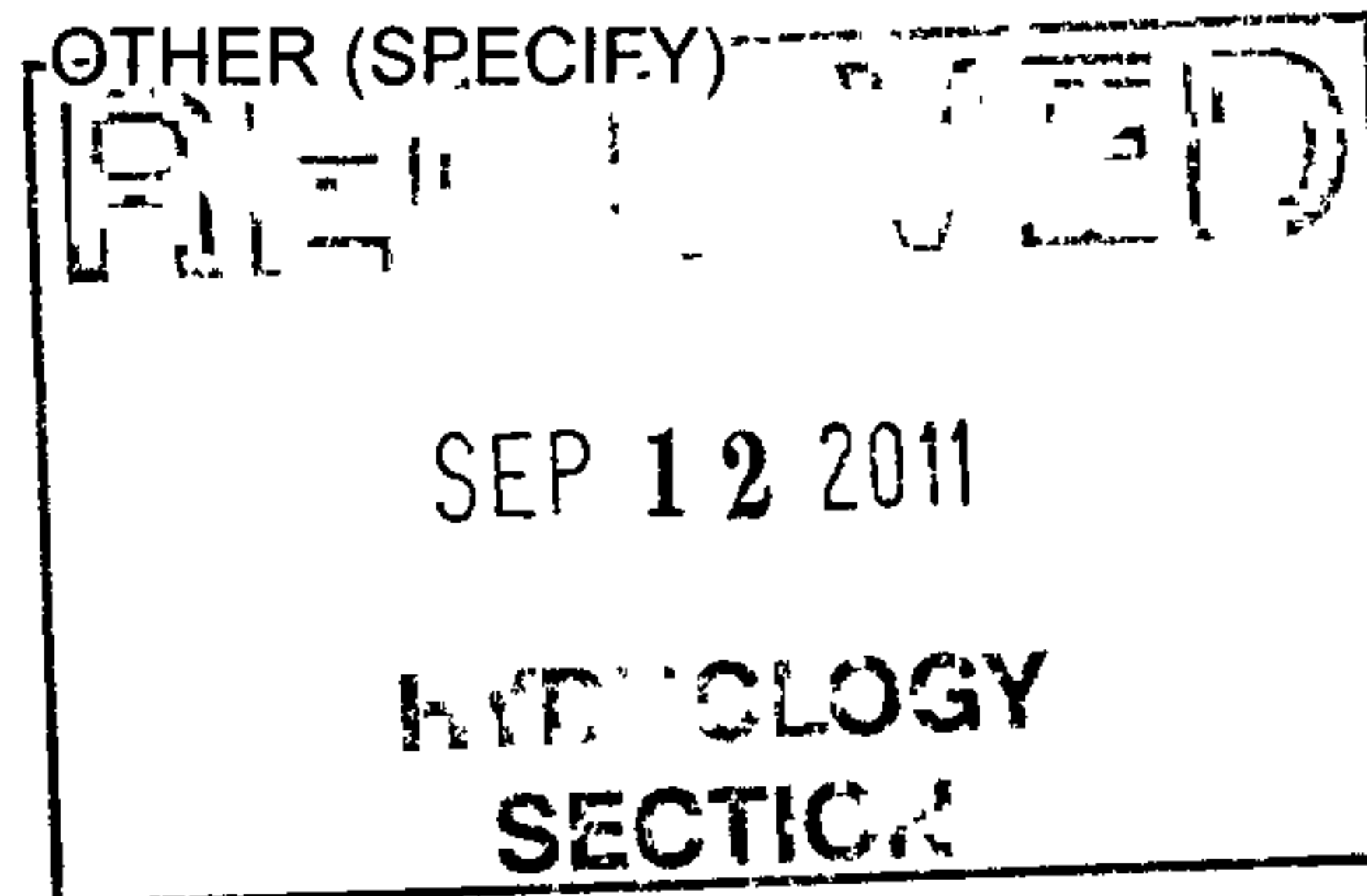
- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: September 9, 2011

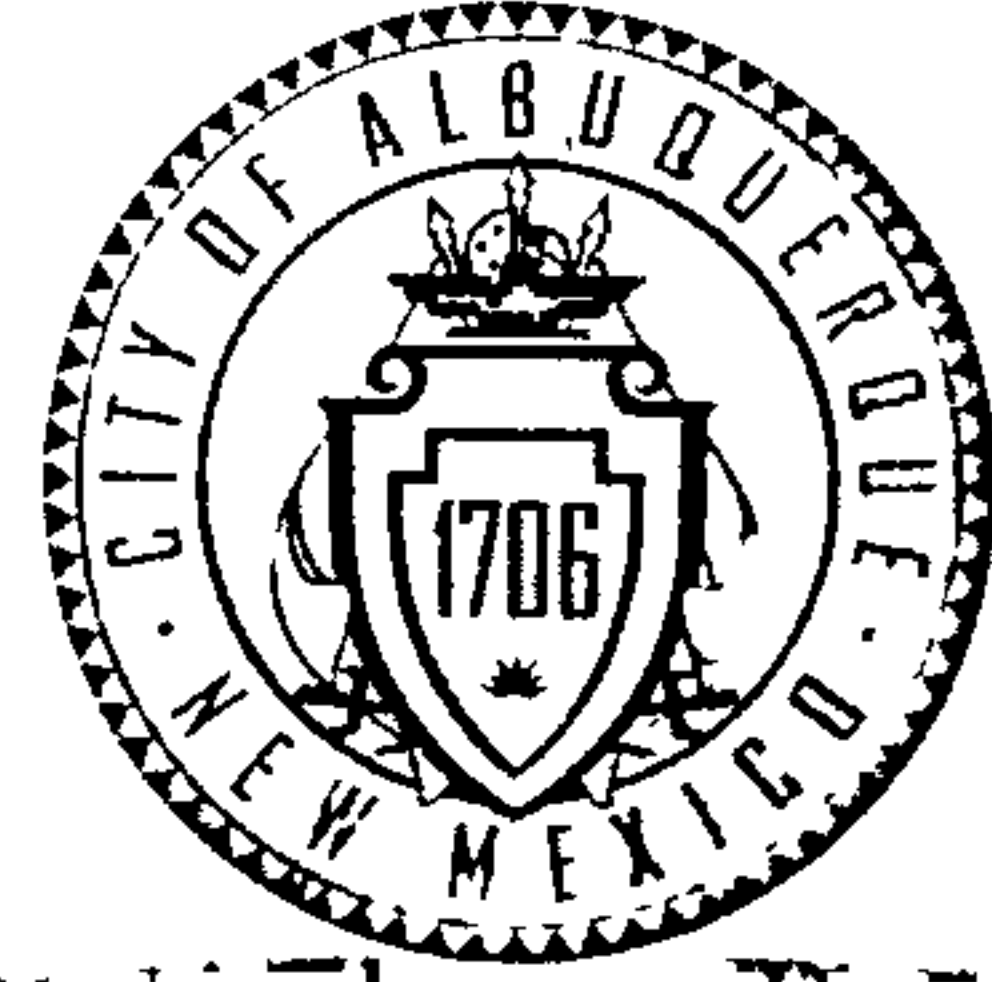
BY: Larry D. Read, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 16, 2011

Robert McElheney, Registered Architect.  
McElheney Architects  
2001 Carlisle NE, Ste. B  
Albuquerque, NM 87110

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)  
for Goodwill Industries of NM, [C-19 / D053]  
7120 Holly NE  
Engineer's Stamp Dated 08/15/11

Dear Mr. McElheney:

Based upon the information provided in your submittal received 08-15-11,  
Transportation Development has no objection to the issuance of a Permanent Certificate  
of Occupancy. This letter serves as a "green tag" from Transportation Development for a  
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

cc: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

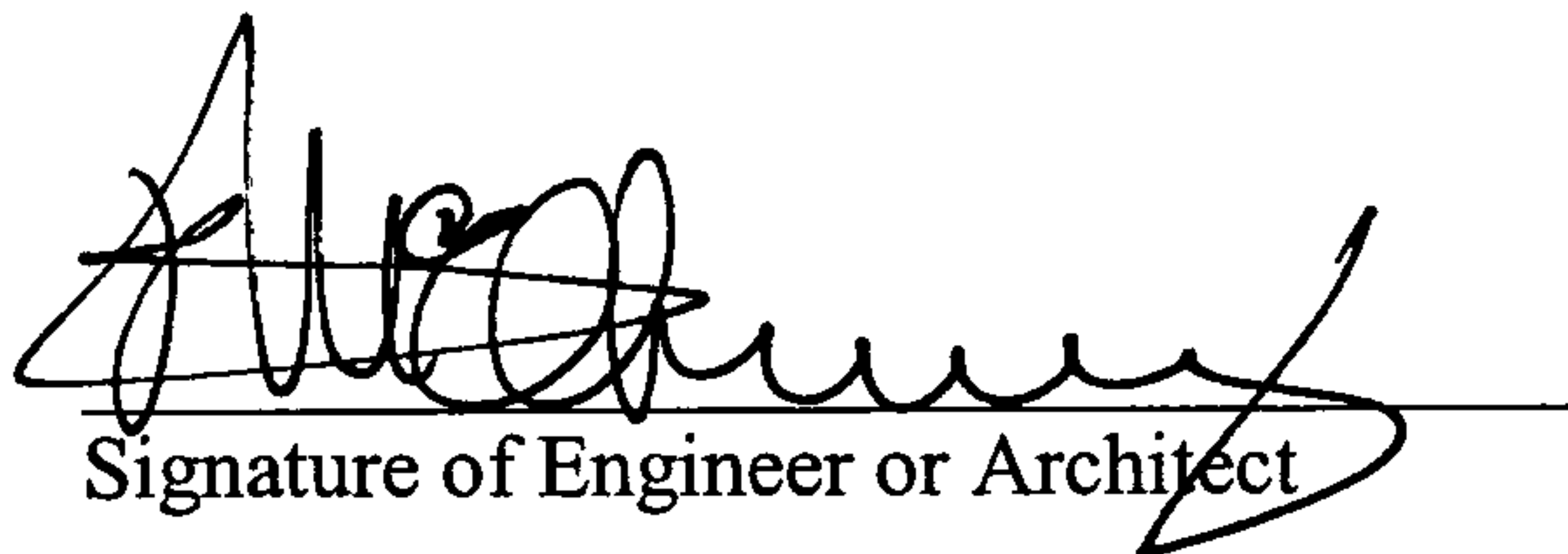
[www.cabq.gov](http://www.cabq.gov)

## TRAFFIC CERTIFICATION

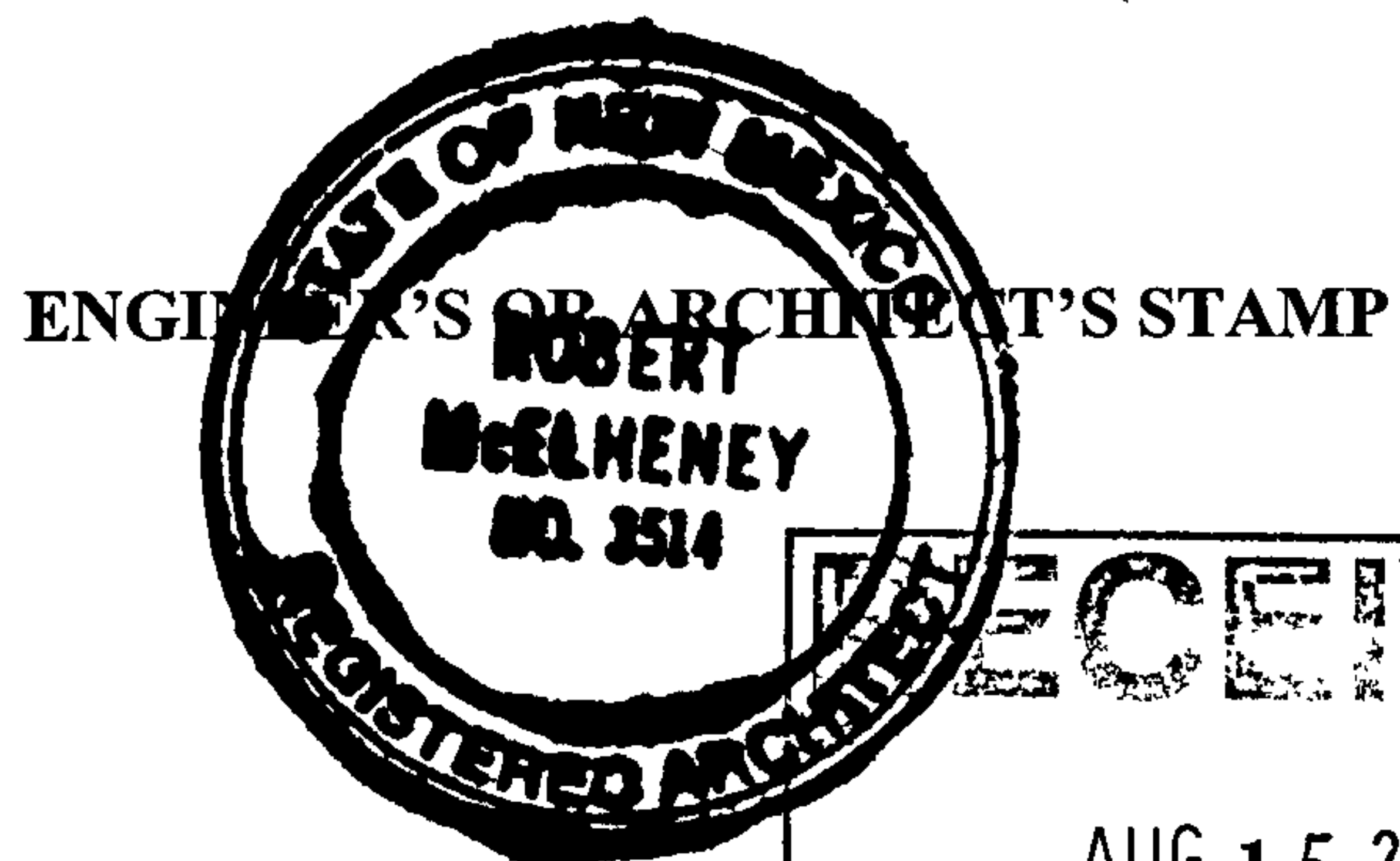
I, Robert McElheney, NMPE OR NMRA NMRA, OF THE FIRM McElheney Architects, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8.12.2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Aaron Wilson OF THE FIRM CCMI. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8.12.11 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certification of occupancy.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Signature of Engineer or Architect

8.15.11  
Date



THIS CERTIFICATION MUST BE SUBMITTED ON COMPANY LOGO LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Goodwill Industries of NM ZONE MAP: C-19-7 D053  
 DRB#: 1008086 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: lot 6 and portions of Lots 27 and 28 Block 10 North Abq. Acres  
 CITY ADDRESS: 7120 Holly Ave. NE 87107 Tract 2, Unit 3

ENGINEERING FIRM: Larry Reed & Associates CONTACT: Larry Reed  
 ADDRESS: 2430 Midtown Place NE St C PHONE: 237-8421  
 CITY, STATE: Alb. NM 87107 ZIP CODE: 87107

OWNER: Good Will Industries of NM CONTACT: Mary Best  
 ADDRESS: 5000 San Mateo NE PHONE: 881-6401  
 CITY, STATE: Alb. NM 87109 ZIP CODE: 87109

ARCHITECT: McElhenny Architects CONTACT: Robert McElhenny  
 ADDRESS: 2001 Carlisle NE St. B PHONE: 262-0193  
 CITY, STATE: Albuquerque NM ZIP CODE: 87110

SURVEYOR: Cartesian Surveys Inc. CONTACT: Will Plotter  
 ADDRESS: 44419 Rio Rancho NM (P.O. Box PHONE: 896-3050  
 CITY, STATE: Rio Rancho NM ZIP CODE: 87174

CONTRACTOR: CCMI Construction LLC CONTACT: Arnon Wilson  
 ADDRESS: 2703 Broad bent Pkwy NE PHONE: 792-0656  
 CITY, STATE: Alb. NM ZIP CODE: 87107

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

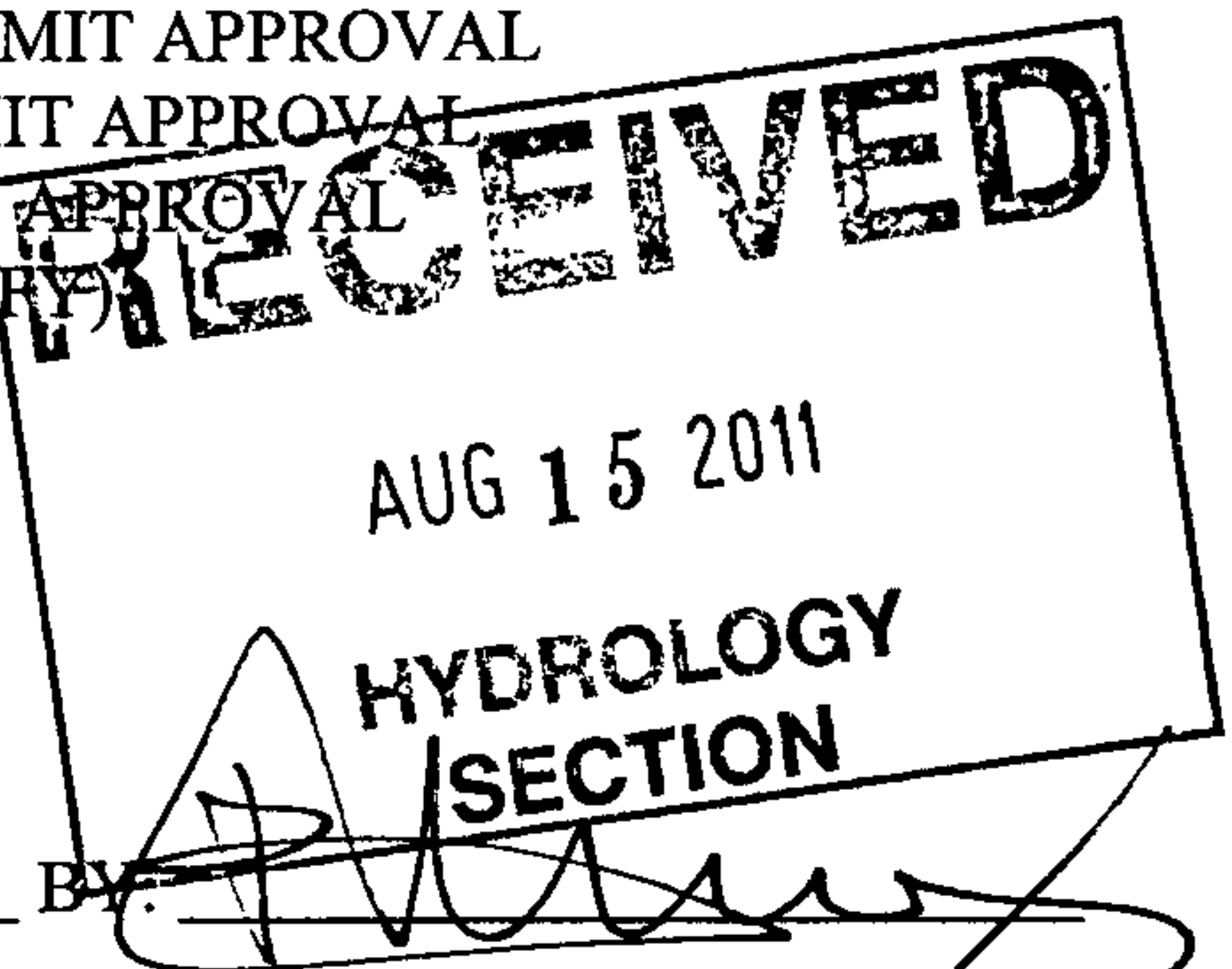
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 8-15-2011



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

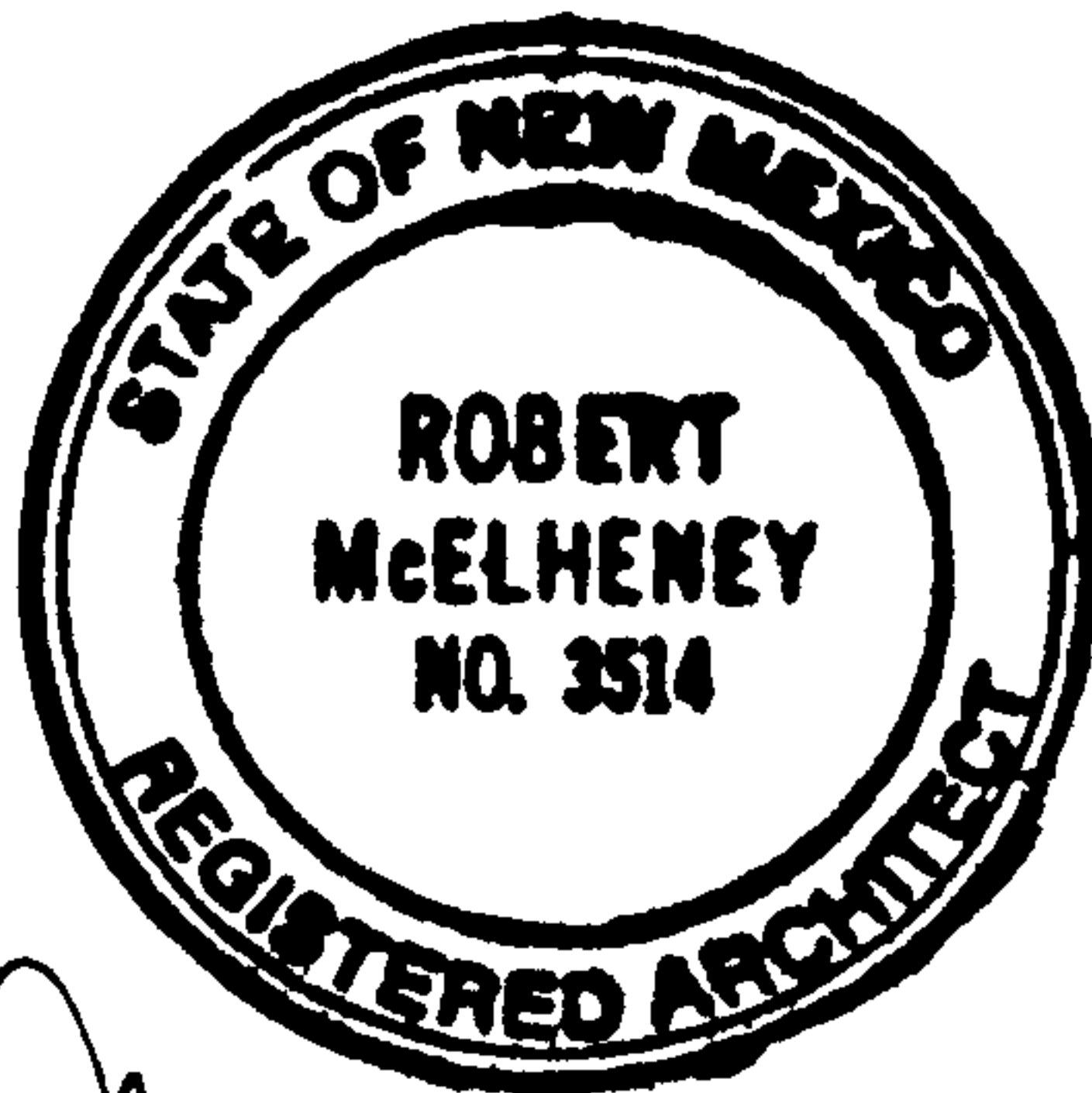
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# McELHENEY Architects p.c.

## TRAFFIC CERTIFICATION

I, ROBERT MCELHENY, NMRA #3514, OF THE FIRM MCELHENEY ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8 /12 /2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY AARON WILLSON OF THE FIRM CCM CONSTRUCTION. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/12/2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



A handwritten signature in black ink, appearing to read "Robert McElheny", written over a horizontal line.

August 15, 2011

15

# CITY OF ALBUQUERQUE



August 10, 2011

Lawerance D. Read, P.E.  
**Larry Read & Associates, Inc.**  
2430 Midtown Place, NE Ste. C  
Albuquerque, NM 87107

**Re: Goodwill Industries of New Mexico, 7120 Holly Ave. NE,  
Request for 90-Day Temporary C.O.—Approved  
Engineer's Stamp dated: 09/21/10 (C-19/D053)  
Certification dated: 08-10-11**

Dear Mr. Read,

PO Box 1293

Based upon the information provided in your submittal received 08-10-11, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

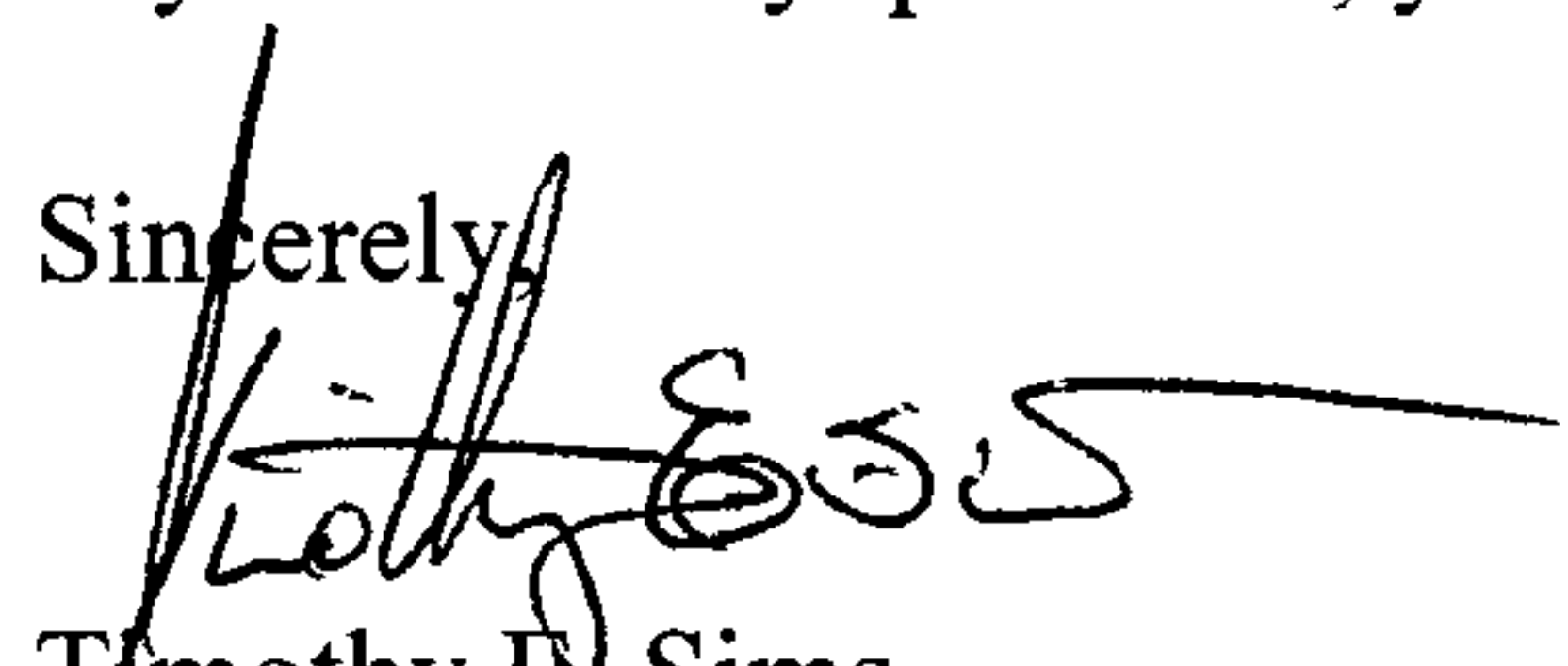
Prior to Permanent Certificate of Occupancy the landscaping will need to be completed on the east side of the building and all inlets will need to be operational. All inlet protection onsite and offsite will need to be removed.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

  
Timothy E. Sims  
Plan Checker—Hydrology,  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Goodwill Industries of New Mexico  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: C-19/D053  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 6, Block 10, Tract 2, Unit 3, NAA  
CITY ADDRESS: ~~5500 Wyoming Blvd., NE~~

7120 Holly.  
ENGINEERING FIRM: Larry Read & Associates, Inc.  
ADDRESS: 2430 Midtown Place NE Suite C  
CITY, STATE: Albuquerque, New Mexico

CONTACT: Larry Read  
PHONE: 237-8421  
ZIP CODE: 87107

OWNER: Goodwill Industries of New Mexico  
ADDRESS: 5000 San Mateo Blvd. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mary  
PHONE: 881-6612  
ZIP CODE: 87109

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

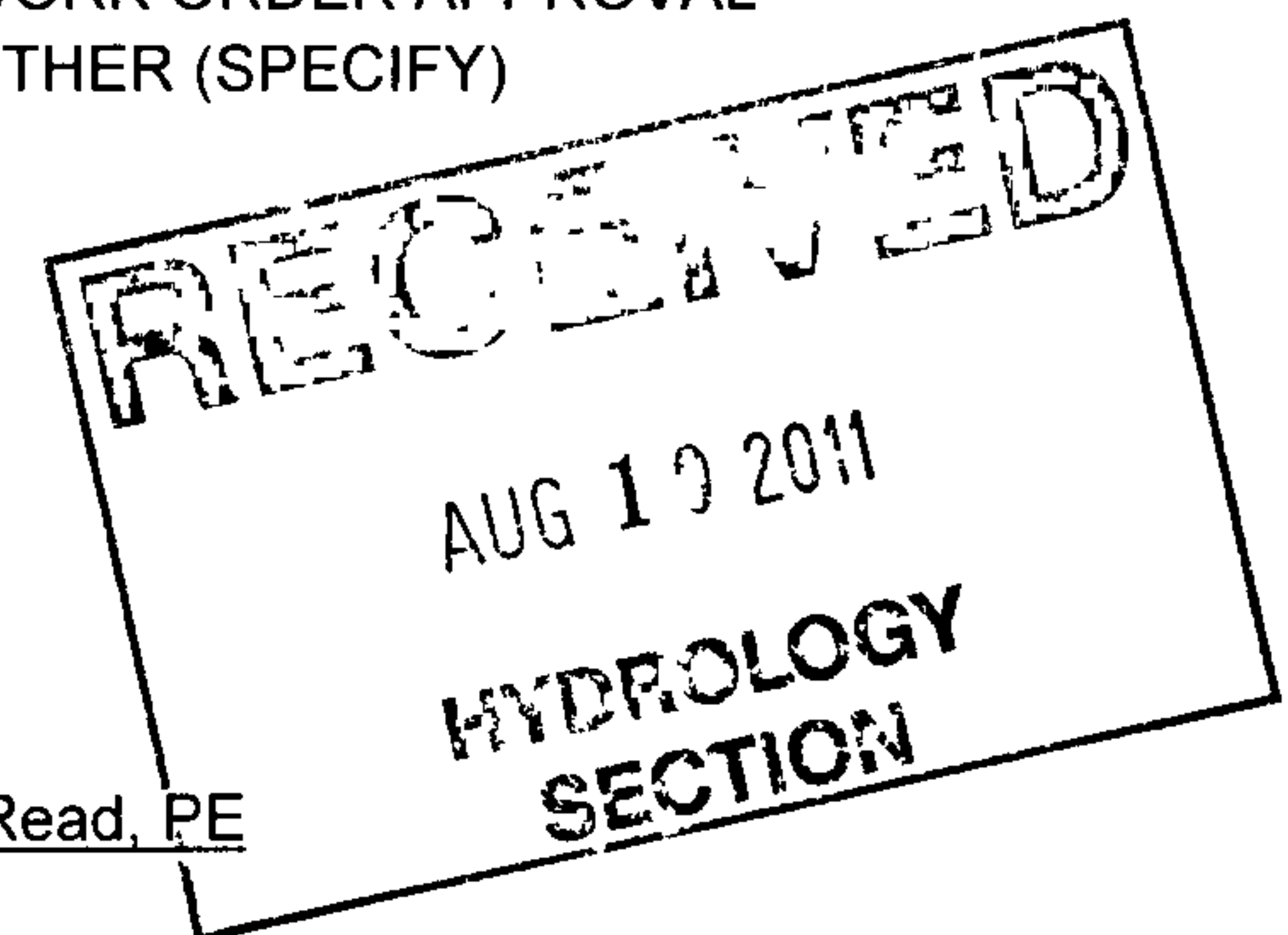
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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: August 10, 2011

BY: Larry D. Read, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.



**DRAINAGE COVENANT**

Goodwill Industries of New Mexico—Paseo del Norte Infrastructure  
City of Albuquerque Project No. 664484

This Drainage Covenant ("Covenant"), between **Goodwill Industries of New Mexico** ("Permittee"), whose address is **5000 San Mateo Blvd, NE, Albuquerque, NM, 87109**, and the City of Albuquerque, New Mexico, a municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Permittee signs this Covenant.

1. Recital. New Mexico Department of Transportation ("NMDOT") is the owner of certain real property described as: Paseo del Norte right-of-way ("Paseo del Norte ROW") fronting property owned by Permittee described as: **Lot 6A, Block 10, North Albuquerque Acres, Tract 2, Unit 3**, in Bernalillo County, New Mexico (the "Permittee's Property") filed **April 9, 2010, in Plat book 2010C, Folio 42**. (Give legal description and filing information).

Pursuant to City ordinances, regulations and other applicable laws, the Permittee is required to construct and maintain certain drainage facilities ("Drainage Facility") on the Paseo del Norte ROW, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Permittee shall construct the following Drainage Facility within the Paseo del Norte ROW at Permittee's sole expense in accordance with the standard plans and specifications approved by the City pursuant to Drainage File No. **C-19/D053**.

**Drainage Facility : 18" storm drain pipe.**

The Drainage Facility is more particularly described in the attached Exhibit A. The Permittee will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Permittee will maintain the Drainage Facility at the Permittee's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Permittee's Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate without liability to the Permittee.

5. NMDOT License Agreement. Per the NMDOT license Agreement # **3-16571**, the City has the right to enter upon the Paseo del Norte ROW at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate.

Doc# 2011065955

07/20/2011 11:51 AM Page 1 of 5  
COV R-\$25.00 M Toulouse Oliver, Bernalillo County



*Curtis*  
*for your records*

6. Demand for Construction or Repair. The City may send written notice (“Notice”) to the Permittee requiring the Permittee to construct or repair the Drainage Facility within thirty (30) days (“Deadline”) of receipt of the Notice, as provided in Section 11, and the Permittee will comply promptly with the requirements of the Notice. The Permittee will perform all required work by the Deadline at Permittee’s sole expense.

7. Failure to Perform by Permittee and Emergency Work by City. If the Permittee fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Permittee for the cost of the work and for any other expenses or damages, which result from Permittee’s failure to perform. The Permittee agrees promptly to pay the City the amount assessed. If the Permittee fails to pay the City within thirty (30) days after the City gives the Permittee written notice of the amount due, the City may impose a lien against Permittee’s Property for the total resulting amount.

8. Liability of City for Repair after Notice or as a Result of Emergency. The City shall not be liable to the Permittee for any damages resulting from the City’s maintenance or repair following Notice to the Permittee as required in this Covenant or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City

9. Indemnification. The Permittee agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of, or resulting from the Permittee’s negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys’ fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the Permittee or its agents or employees; or (2) the giving of or the failure to give directions or instructions by the Permittee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

10. Cancellation of Agreement and Release of Covenant. This Covenant may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a “Notice of Release” with the Bernalillo County Clerk. The Notice of Release must be signed by the City’s Chief Administrative Officer or his designee, and the approval of the City Hydrologist must be endorsed thereon.

11. Assessment. Nothing in this Covenant shall be construed to relieve the Permittee, its heirs, assigns and successors from an assessment against the Permittee’s Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

12. Notice. For purposes of giving formal written notice to the Permittee, Permittee's address is:

Goodwill Industries of New Mexico  
Attn: Mary Best, President and CEO  
5000 San Mateo Blvd. NE  
Albuquerque, New Mexico 87109  
(505) 314-1820

Notice may be given to the Permittee either in person or by mailing the Notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Permittee within three (3) days after the Notice is mailed if there is no actual evidence of receipt. The Permittee may change Permittee's address by giving written notice of the change by Certified Mail-Return Receipt Requested, to City Hydrologist, P.O. Box 1293, Albuquerque, New Mexico 87103.

13. Term. This Covenant shall continue until terminated by the City pursuant to Section 10 above.

14. Binding on Permittee's Property. The covenants and obligations of the Permittee set forth herein shall be binding on Permittee, its heirs, personal representatives, assigns and successors and on Permittee's Property and shall constitute covenants running with the Permittee's Property until released by the City.

15. Entire Agreement. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

16. Changes to Agreement. Changes to this Covenant are not binding unless made in writing, signed by both parties.

17. Construction and Severability. If any part of this Covenant is held to be invalid or unenforceable, the remainder of the Covenant will remain valid and enforceable if the remainder is reasonably capable of completion.

18. Captions. The captions to the sections or paragraphs of this Covenant are not part of this Covenant and will not affect the meaning of construction of any of its provisions.

CITY OF ALBUQUERQUE:

By: [Signature]  
Rob Perry,  
Chief Administrative Officer  
Dated: 5-24-11

PERMITTEE:

By: Mary Best  
[print name]  
Its: President / CEO  
Dated: 4-4-11

APPROVED:

[Signature]  
Richard Dourte, City Engineer

4-6-11

4/13/11



CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO )

) ss

COUNTY OF BERNALILLO )

This instrument was acknowledged before me this 24<sup>th</sup> day of May, 2011, <sup>for</sup> ~~by~~ Rob Perry Chief Administrative Officer for the City of Albuquerque, a New Mexico municipal corporation, on behalf of the corporation. By Richard Dourte

Linda C. Evans  
Notary Public

My Commission Expires:

10-07-12



PERMITTEE'S ACKNOWLEDGMENT

STATE OF New Mexico )

) ss

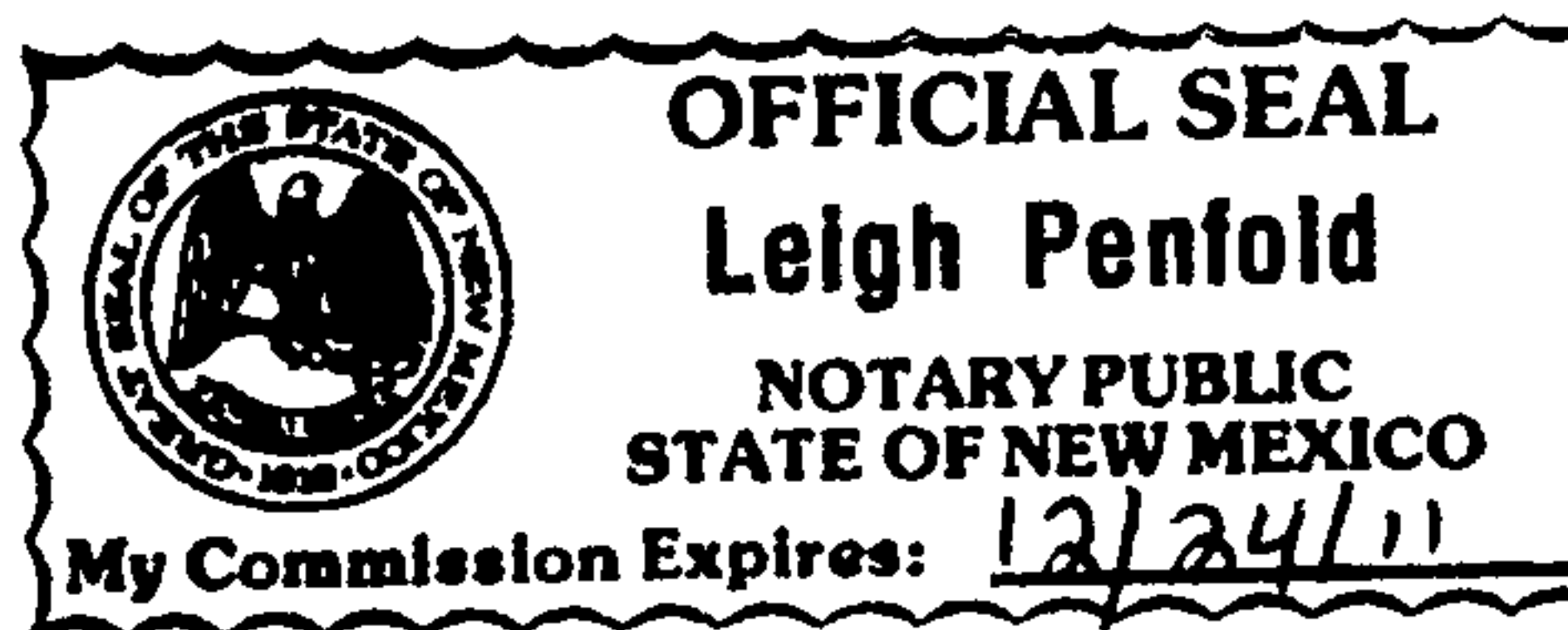
COUNTY OF Bernalillo

This instrument was acknowledged before me this 4 day of April, 2011, by Mary Best (name of person signing), President/CEO (title of person signing), on behalf of Goodwill Ind. of NM (company or entity).

Leigh Penfold  
Notary Public

My Commission Expires:

12/24/11



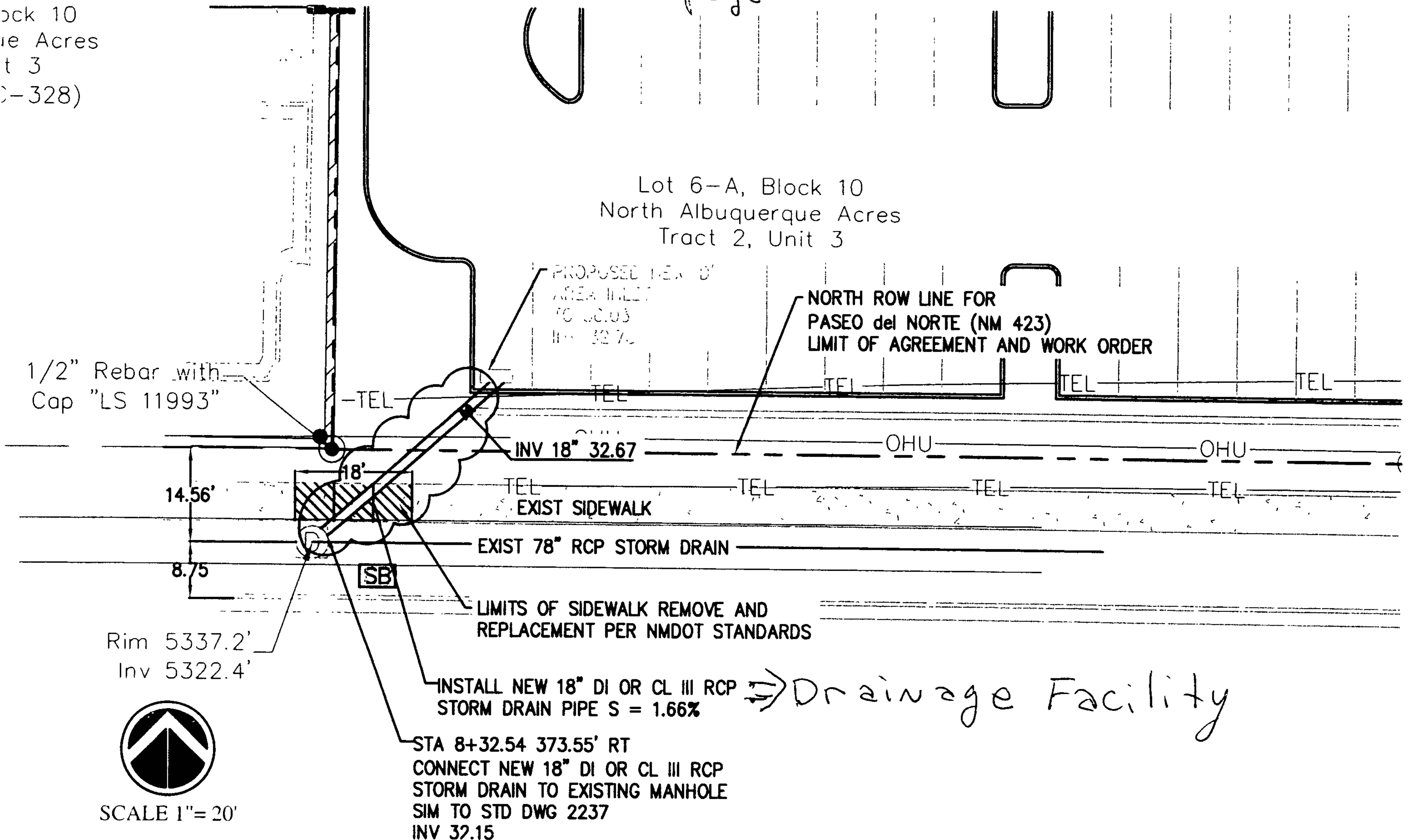
(EXHIBIT A ATTACHED)



# EXHIBIT A

page 1 of 1

Block 10  
North Acres  
Tract 3  
(-328)



PLAN - STORM DRAIN CONNECTION @ EXIST MANHOLE  
PASEO DEL NORTE - BERNALILLO COUNTY (MILE POST 6.3 +/-)



# CERTIFICATE OF LIABILITY INSURANCE

OP ID: MT

DATE (MM/DD/YYYY)

05/20/11

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Cress Insurance Consultants 6101 Moon St. NE Suite 1000 Albuquerque, NM 87111 Cara Cress		505-822-8114 505-822-0341	<b>CONTACT NAME:</b> Melissa Thompson <b>PHONE (A/C, No, Ext):</b> 505-822-8114 <b>FAX (A/C, No):</b> 505-822-0341 <b>E-MAIL ADDRESS:</b> mthompson@cressinsurance.com <b>PRODUCER CUSTOMER ID #:</b> CCMIC-1	
<b>INSURED</b> CCMI Construction LLC PO Box 66389 Albuquerque, NM 87193		<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
		<b>INSURER A:</b> Mountain States Mutual		18298
		<b>INSURER B:</b>		
		<b>INSURER C:</b>		
		<b>INSURER D:</b>		
		<b>INSURER E:</b>		
		<b>INSURER F:</b>		

**COVERAGES****CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<b>GENERAL LIABILITY</b>	X		CPP0129469	03/19/11	03/19/12	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person)	\$ 5,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
							GEN'L AGGREGATE LIMIT APPLIES PER	
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC							
A	<b>AUTOMOBILE LIABILITY</b>			BAP0129469	03/19/11	03/19/12	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident)	\$
	<input checked="" type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (Per accident)	\$
	<input checked="" type="checkbox"/> HIRED AUTOS							\$
	<input checked="" type="checkbox"/> NON-OWNED AUTOS							\$
								\$
								\$
	<b>UMBRELLA LIAB</b>						EACH OCCURRENCE	\$
	<b>EXCESS LIAB</b>						AGGREGATE	\$
								\$
								\$
	<b>DEDUCTIBLE</b>							\$
	<b>RETENTION \$</b>							\$
								\$
								\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>						WC STATUTORY LIMITS	OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)							
	If yes, describe under DESCRIPTION OF OPERATIONS below							
A				CPP0129469	03/19/11	03/19/12	Rented Equipment	210,000 500 Ded.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

CDA Project No. 6644.84. The City of Albuquerque, Albuquerque Bernalillo County Water Utility Authority, its agents, employees and elected officials are additional insured per UND618 03 11

**CERTIFICATE HOLDER****CANCELLATION**

<b>MISCEL1</b>  City of Albuquerque PO Box 1293 Albuquerque, NM 87103	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE  

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# CITY OF ALBUQUERQUE



September 29, 2010

Lawrence D. Read, P.E.  
Larry Read & Associates, Inc  
2430 Midtown Suite C  
Albuquerque, NM 87107

**Re: Goodwill Industries of New Mexico Grading and Drainage Plan**  
**Engineer's Stamp date 9-21-10 (C19/D053)**

Dear Mr. Read,

Based upon the information provided in your submittal received 9-23-10, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing  $\frac{3}{4}$  of an acre or more.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

The NMDOT access permit will be required for Work Order approval.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

Copy: File  
Kathy Verhage, DMD



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Goodwill Industries of New Mexico  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: C-19/D053  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 6, Block 10, Tract 2, Unit 3, NAA  
CITY ADDRESS: 6500 Wyoming Blvd., NE

ENGINEERING FIRM: Larry Read & Associates, Inc.  
ADDRESS: 2430 Midtown Place NE Suite C  
CITY, STATE: Albuquerque, New Mexico

CONTACT: Larry Read  
PHONE: 237-8421  
ZIP CODE: 87107

OWNER: Goodwill Industries of New Mexico  
ADDRESS: 5000 San Mateo Blvd. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mary  
PHONE: 881-6612  
ZIP CODE: 87109

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

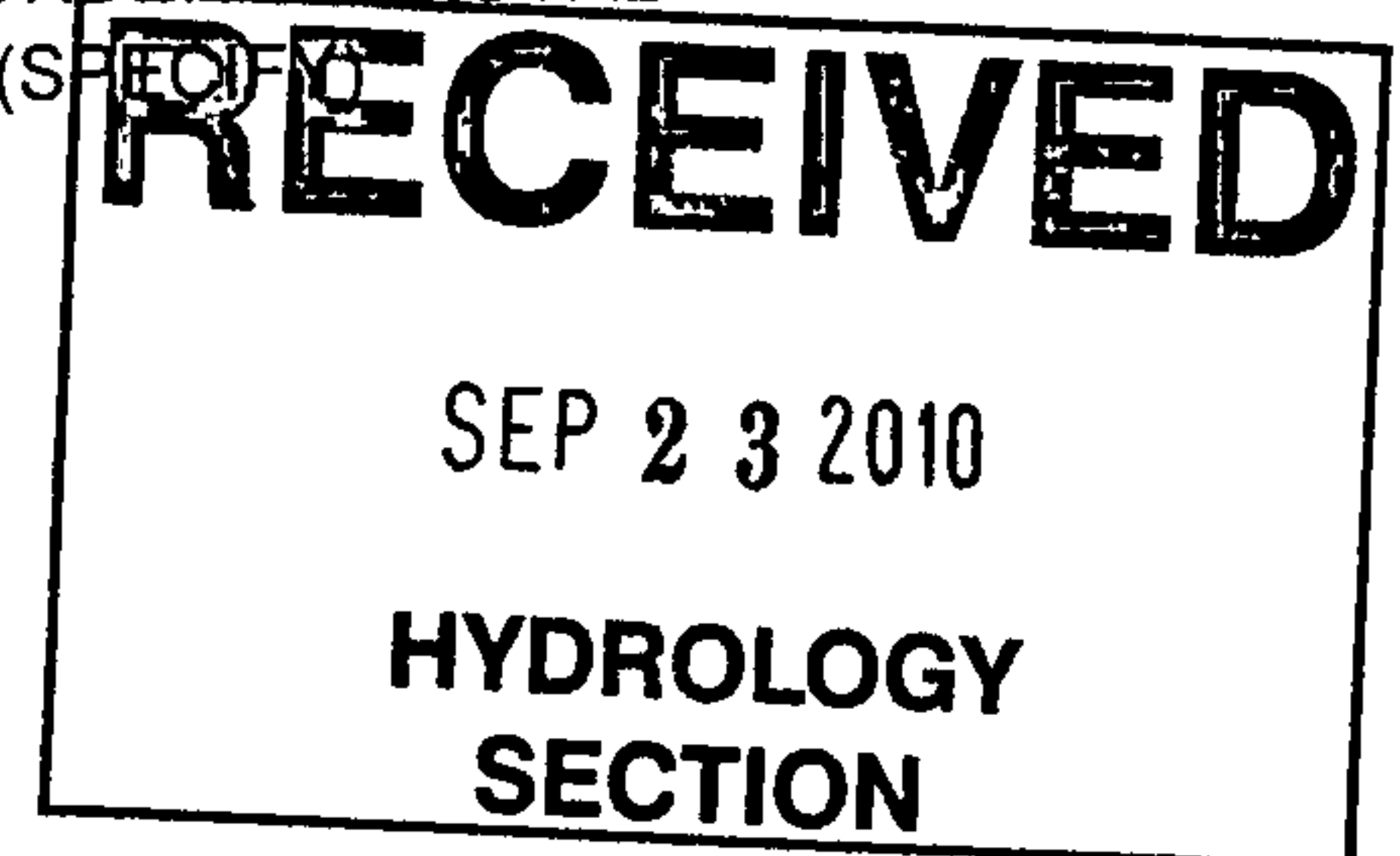
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY \_\_\_\_\_)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: May 20, 2010

BY: Larry D. Read, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.



**LARRY READ & ASSOCIATES, Inc.**

*Civil Engineers*  
*Site • Drainage • Utility Design*

May 21, 2010

Mr. Curtis Cherne, PE  
City of Albuquerque Public Works Division - Hydrology Department  
600 2<sup>nd</sup> Street NM  
Albuquerque, New Mexico 87102

RE: Goodwill industries of New Mexico  
Hydrology File # C19/D053

Dear Mr. Cherne:

Thank you for your previous comments on the referenced project. I have revised the plans to address your comments.

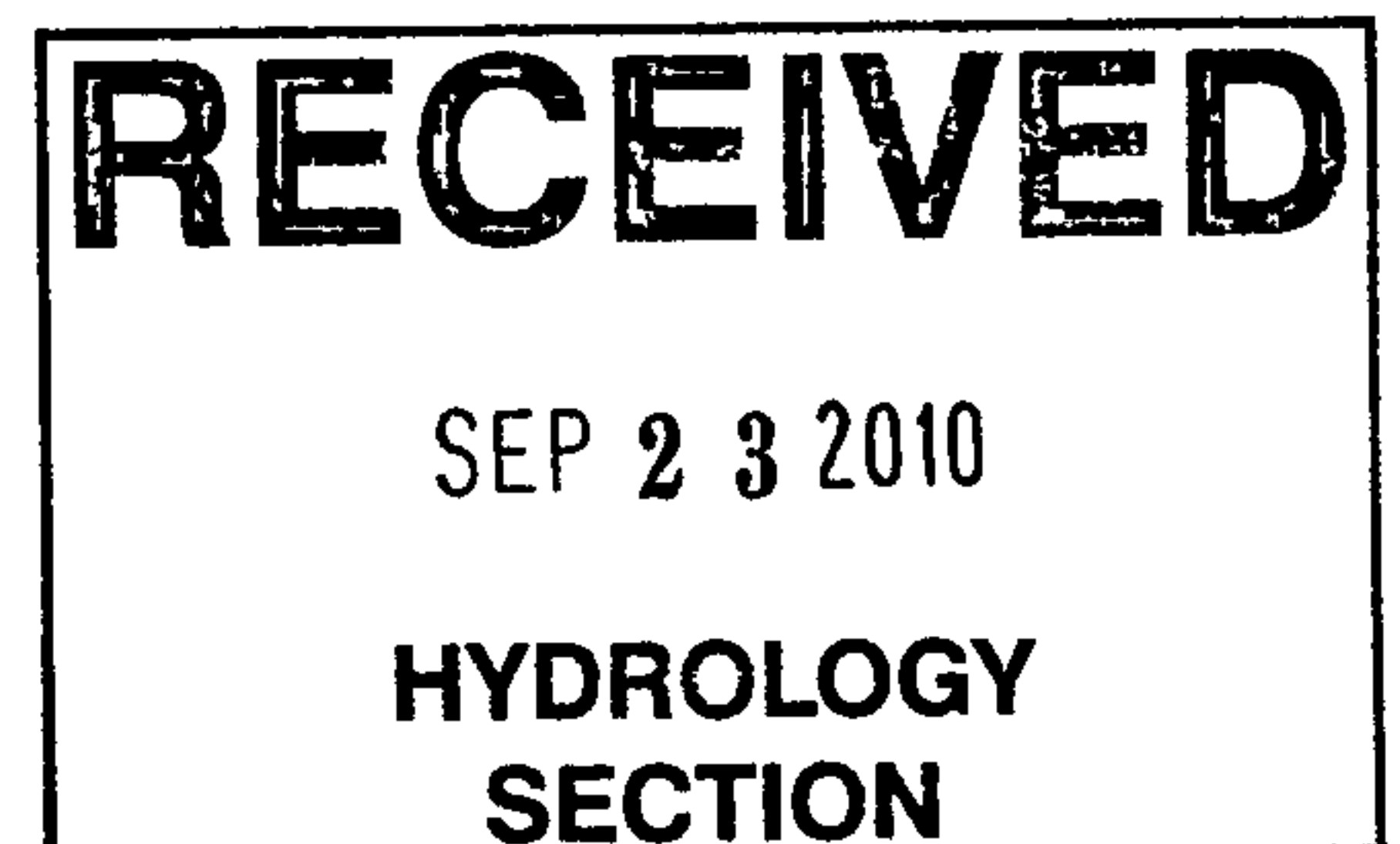
The attached revised plans have been submitted to the New Mexico Department of Transportation for their review and I am awaiting the results of their review. I am also submitting a set of the revised plans to you. If you would please review this set of plans to assure I have addressed your comments adequate that would be very much appreciated.

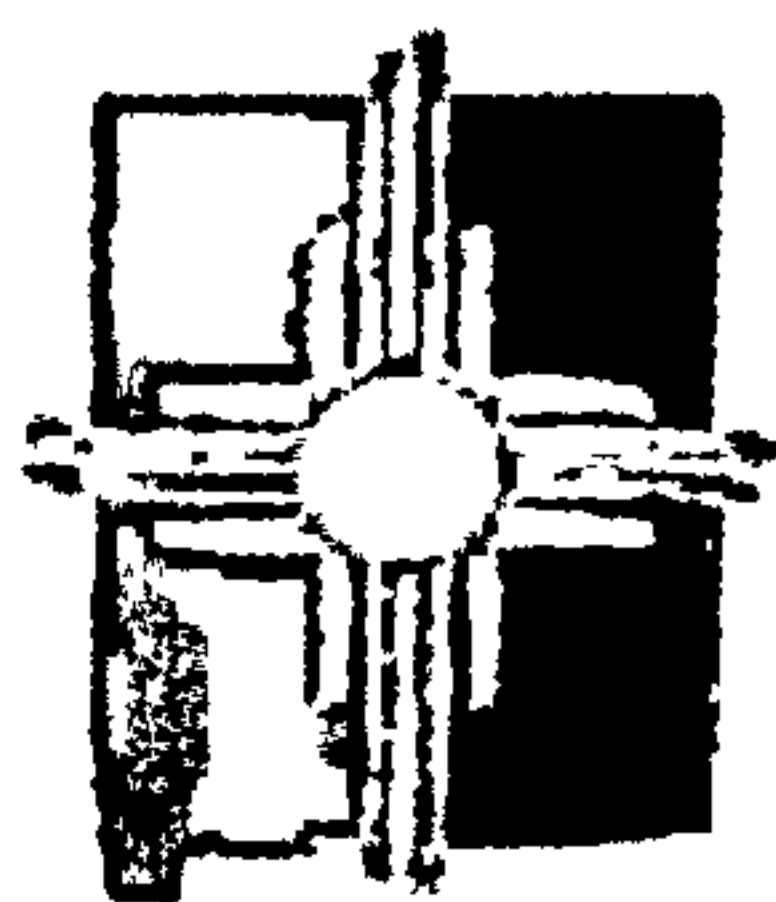
If you have any questions or comments, please call me at 237-8421.

Sincerely,  
LARRY READ & ASSOCIATES, Inc.



Larry D. Read, P.E.





*New Mexico* DEPARTMENT OF  
**TRANSPORTATION**  
MOBILITY FOR EVERYONE

September 29, 2010

Mr. Larry Read, P.E.  
LARRY READ & ASSOCIATES, INC.  
2430 Midtown Place, NE, Suite C  
Albuquerque  
New Mexico 87107

SUBJECT: Goodwill Industries, 7120 Holly Ave., Albuquerque, NM 87113  
NM 423, MP 6.3± (Paseo del Norte and east of Louisiana Blvd.)

Dear Mr. Read:

Your transmittal of plans dated September 21, 2010 requesting a drainage review of the proposed commercial development at the subject location has been received and reviewed. This review was limited to the proposed site discharge into the storm drain system within the NM 423 (Paseo del Norte) right-of-way (ROW) as presented on the three sheets (C-1, C-2, & C-3) which are hereinafter noted as the Drainage Plan or "DP".

Within major metropolitan areas having defined stormwater management policies, the general approach by the NMDOT is to follow the local practice of stormwater management. The subject storm drain system is located within the NMDOT ROW between the back of curb and sidewalk; a location that precludes NMDOT maintenance responsibilities per Kathy Trujillo, NMDOT's District 3 Assistant District Engineer. Leland Riley, NMDOT's Area Maintenance Supervisor suggested that the County has maintenance storm drain responsibilities for this section of NM 423. Discussion with Hugh O'Neill, Bernalillo County Storm Drain Manager resulted in the understanding that the subject storm drain system is the responsibility of the City of Albuquerque since the annexation of the property location some five years ago.

Mr. Roland Penttila, P.E., manager of the Stormwater Management Section stated that regulation of stormwater system with respect to development lies with Brad Bingham, P.E. in the Planning Department. Mr. Bingham stated that when any proposed development is considering connecting to a storm drain system within the NMDOT ROW, it is the practice of the City to make the NMDOT aware of the situation.

**Bill Richardson**  
Governor

**Gary L. J. Giron**  
Cabinet Secretary

**Commission**

**Johnny Cope**  
Chairman  
District 2

**Jim Franken**  
Vice Chairman  
District 4

**Norman Assed**  
Secretary  
District 3

**Roman Maes III**  
Commissioner  
District 5

**Jackson Gibson**  
Commissioner  
District 6

**John Hummer**  
Commissioner  
District 1

Mr. Larry Read, P.E., con't.  
September 29, 2010

Neither Mr. Penttila nor Mr. Bingham were aware of who physically maintained the storm drain system, Mr. Penttila stating that current design criteria for private development consists of an evaluation of storm drain system capacity with no increased runoff control requirements. It was the opinion of Mr. Bingham that the proposed runoff from the subject development could be discharged into the storm drain system as presented in the reviewed documents.

In summary, the storm drain system management is outside the scope of the NMDOT. It is recommended that you contact Mr. Bingham for direction as to the acceptability of your proposed stormwater runoff process. Any work within the NMDOT ROW is subject to the requirements of an access permit issued by District 3 (Christina Bahl, Permit Agent, 505.841.2778).

If you have any questions, or if I may be of any further assistance, please call me at 505.827.5326.

Sincerely,



Ellery Biathrow, P.E.  
Drainage Development Engineer

cc: Bradley L. Bingham, P.E., C.F.M. (BBingham@cabq.gov)  
Roland Penttila, P.E. (rpenttila@cabq.gov)  
Hugh O'Neill (Honeall@bernco.gov)  
Kathy Trujillo, P.E., NMDOT District 3 ADE  
Leland Riley, NMDOT District 2 AMS  
Christina Bahl, NMDOT Permit Agent  
Jimmy D. Camp, P.E., Division Director, Engineering Support Division  
Parviz Eftekhari, P.E., Drainage Development Engineer  
Daily File  
Property Review File – District 3

**Cherne, Curtis**

---

**From:** Bahl, Christina K., NMDOT [Christina.Bahl@state.nm.us]  
**Sent:** Wednesday, March 09, 2011 1:07 PM  
**To:** Cherne, Curtis  
**Cc:** lread@readengineering.com; Murphy, Kenneth W., NMDOT  
**Subject:** RE: permit for Storm Drain in NMDOT r/w

Curtis,  
 The Traffic Engineer will require that the permit be in the name of the City of Albuquerque. The City is welcome to enter into any agreement they would like.  
 Thanks.

Christina Bahl  
 District 3 Permit Agent  
 7500 Pan American Frwy NE  
 PO Box 91750  
 Albuquerque, NM 87199-1750  
 Phone: (505) 841-2778  
 Fax: (505) 841-9180  
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**From:** Cherne, Curtis [mailto:CCherne@cabq.gov]  
**Sent:** Monday, March 07, 2011 9:17 AM  
**To:** Bahl, Christina K., NMDOT  
**Cc:** lread@readengineering.com  
**Subject:** RE: permit for Storm Drain in NMDOT r/w

Christina,  
 Good morning.  
 The City has agreed to enter into an agreement with Goodwill Industries to perform the maintenance on this section. Industries or their agent would be applying for the permit.  
 Once the City and Goodwill have signed the agreement and have it recorded, is this acceptable for Goodwill to approve the permit?

Curtis Cherne, P.E.  
 Senior Engineer  
 Development and Building Services  
 Planning Department, COA  
 924-3695

---

**From:** Bahl, Christina K., NMDOT [mailto:Christina.Bahl@state.nm.us]  
**Sent:** Tuesday, February 22, 2011 8:25 AM  
**To:** Cherne, Curtis  
**Cc:** lread@readengineering.com; Murphy, Kenneth W., NMDOT  
**Subject:** RE: permit for Storm Drain in NMDOT r/w

3/11/2011



Mr. Read,

The request for the agreement is denied. NMDOT will not depend on a private entity to maintain the installation within the public right of way. We recommend Goodwill retain the storm water run off on site, or access the storm drain through City right of way.

Thanks

Christina Bahl

District 3 Permit Agent

7500 Pan American Frwy NE

PO Box 91750

Albuquerque, NM 87199-1750

Phone: (505) 841-2778

Fax: (505) 841-9180

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**From:** Cherne, Curtis [mailto:CCherne@cabq.gov]

**Sent:** Thursday, February 17, 2011 12:47 PM

**To:** Bahl, Christina K., NMDOT

**Cc:** lread@readengineering.com

**Subject:** FW: permit for Storm Drain in NMDOT r/w

Christina,

Would the City require a permit from NMDOT to perform this maintenance?

Curtis

---

**From:** Larry Read [mailto:lread@readengineering.com]

**Sent:** Thursday, February 17, 2011 10:53 AM

**To:** 'Bahl, Christina K., NMDOT'; Cherne, Curtis

**Cc:** 'BiathrowJr, Ellery, NMDOT'; 'Abbo, Tony S., NMDOT'

**Subject:** RE: permit for Storm Drain in NMDOT r/w

Ms. Bahl

I have attached a City Agreement and Covenant form for review. I we were to execute this agreement with Goodwill and the City, would that alleviate your concerns about maintenance?

Thank you

Larry D. Read, P.E.

Larry Read & Associates, Inc.

2430 Midtown Place, N.E.

Suite C

Albuquerque, New Mexico

Voice (505) 237-8421

Fax (505) 237-8422

---

**From:** Bahl, Christina K., NMDOT [mailto:Christina.Bahl@state.nm.us]

**Sent:** Tuesday, February 15, 2011 3:08 PM

**To:** Cherne, Curtis ; Larry Read

**Cc:** BiathrowJr, Ellery, NMDOT; Abbo, Tony S., NMDOT

**Subject:** RE: permit for Storm Drain in NMDOT r/w

3/11/2011

All,

I have consulted with Tony Abbo, Asst. District Engineer in regard to this installation. We are concerned with protecting NMDOT right of way. With this in mind, who will maintain the storm drain if Goodwill Industries chooses not to maintain this facility, or if Goodwill sells their property and the new owner does not maintain the storm drain connection within the public right of way? NMDOT will require the City of Albuquerque to provide a statement that the City will maintain this utility within NMDOT right of way should the private property owner fail to do so.

Christina Bahl  
District 3 Permit Agent  
7500 Pan American Frwy NE  
PO Box 91750  
Albuquerque, NM 87199-1750  
Phone: (505) 841-2778  
Fax: (505)841-9180  
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**From:** Cherne, Curtis [mailto:CCherne@cabq.gov]  
**Sent:** Tuesday, February 15, 2011 2:48 PM  
**To:** Larry Read; Bahl, Christina K., NMDOT  
**Cc:** BiathrowJr, Ellery, NMDOT  
**Subject:** RE: permit for Storm Drain in NMDOT r/w

Christina,

I concur with Larry Read.

Curtis Cherne, P.E.  
Senior Engineer  
Development and Building Services  
Planning Department, COA  
924-3695

---

**From:** Larry Read [mailto:lread@readengineering.com]  
**Sent:** Tuesday, February 15, 2011 1:35 PM  
**To:** 'Bahl, Christina K., NMDOT'  
**Cc:** Cherne, Curtis ; 'Biathrow Jr, Ellery, NMDOT'  
**Subject:** RE: permit for Storm Drain in NMDOT r/w

Ms. Bahl:

During the preparation of this package I had conversations with Mr. Brad Bingham, City of Albuquerque. The City views the construction and maintenance responsibility of the proposed storm drain lateral to be provided by the user. In this case Goodwill Industries. Mr. Bingham maintains that the City's responsibility begins at the existing manhole.

Attached is a pdf of the Insurance certificate for the contractor, CCMI Construction.

Please let me know if you have any comments or questions.

3/11/2011

Larry D. Read, P.E.  
Larry Read & Associates, Inc.  
2430 Midtown Place, N.E.  
Suite C  
Albuquerque, New Mexico

Voice (505) 237-8421  
Fax (505) 237-8422

---

**From:** Bahl, Christina K., NMDOT [mailto:Christina.Bahl@state.nm.us]  
**Sent:** Tuesday, February 15, 2011 12:03 PM  
**To:** Larry Read; Murphy, Kenneth W., NMDOT  
**Subject:** permit for Storm Drain in NMDOT r/w

Mr. Read,

I can not process the request submitted by your office at this time.

1. As per the letter from Ellery Biathrow, the storm drain will be maintained by the City of Alb. The permit should be in the name of the City of Alb. with their authorized representative signing the permit.
2. The insurance document submitted is unreadable. Please provide a clear copy.

Thanks

Christina Bahl  
District 3 Permit Agent  
7500 Pan American Frwy NE  
PO Box 91750  
Albuquerque, NM 87199-1750  
Phone: (505) 841-2778  
Fax: (505) 841-9180  
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3/11/2011

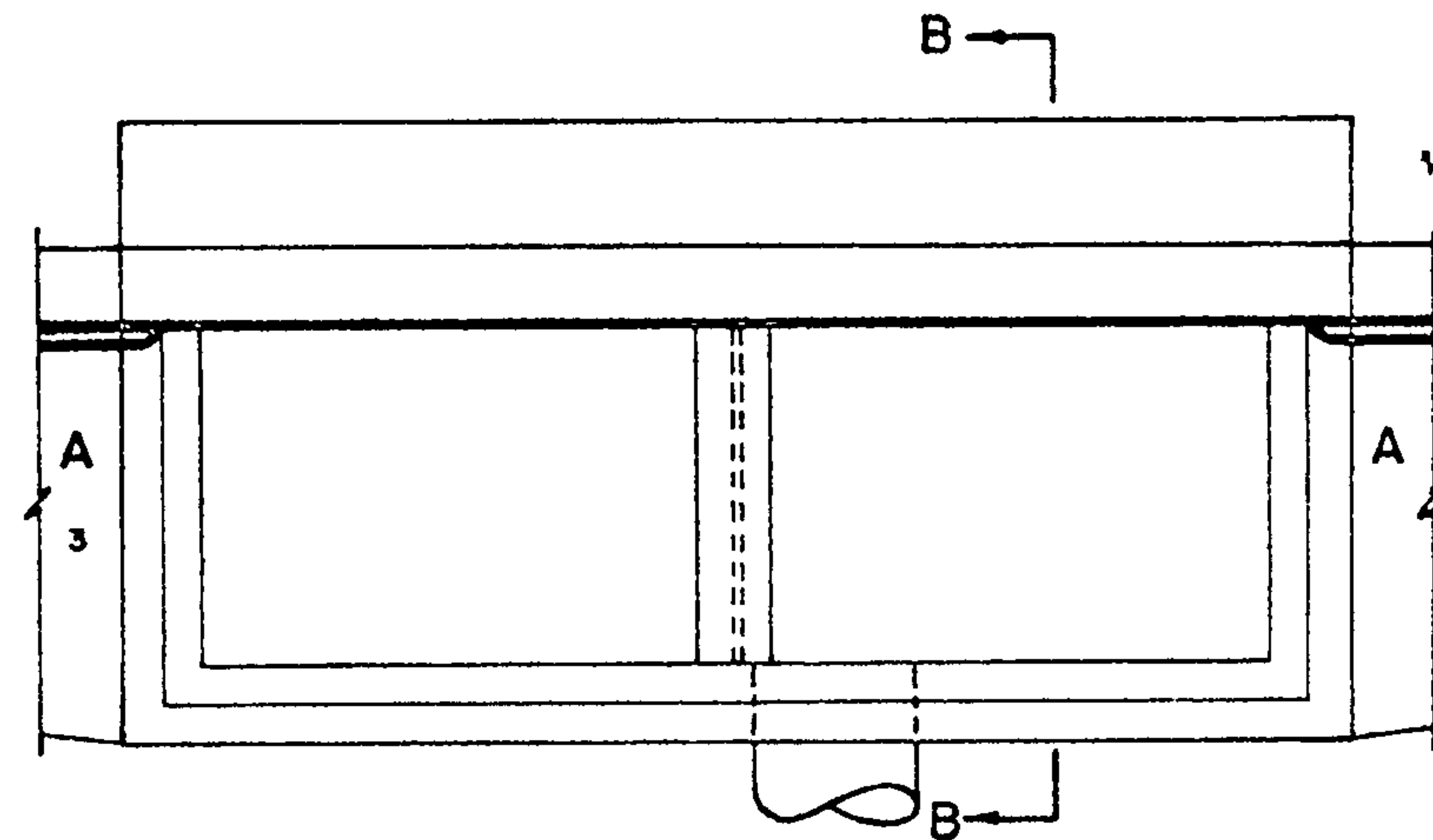
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face of curb

# GENERAL NOTES:

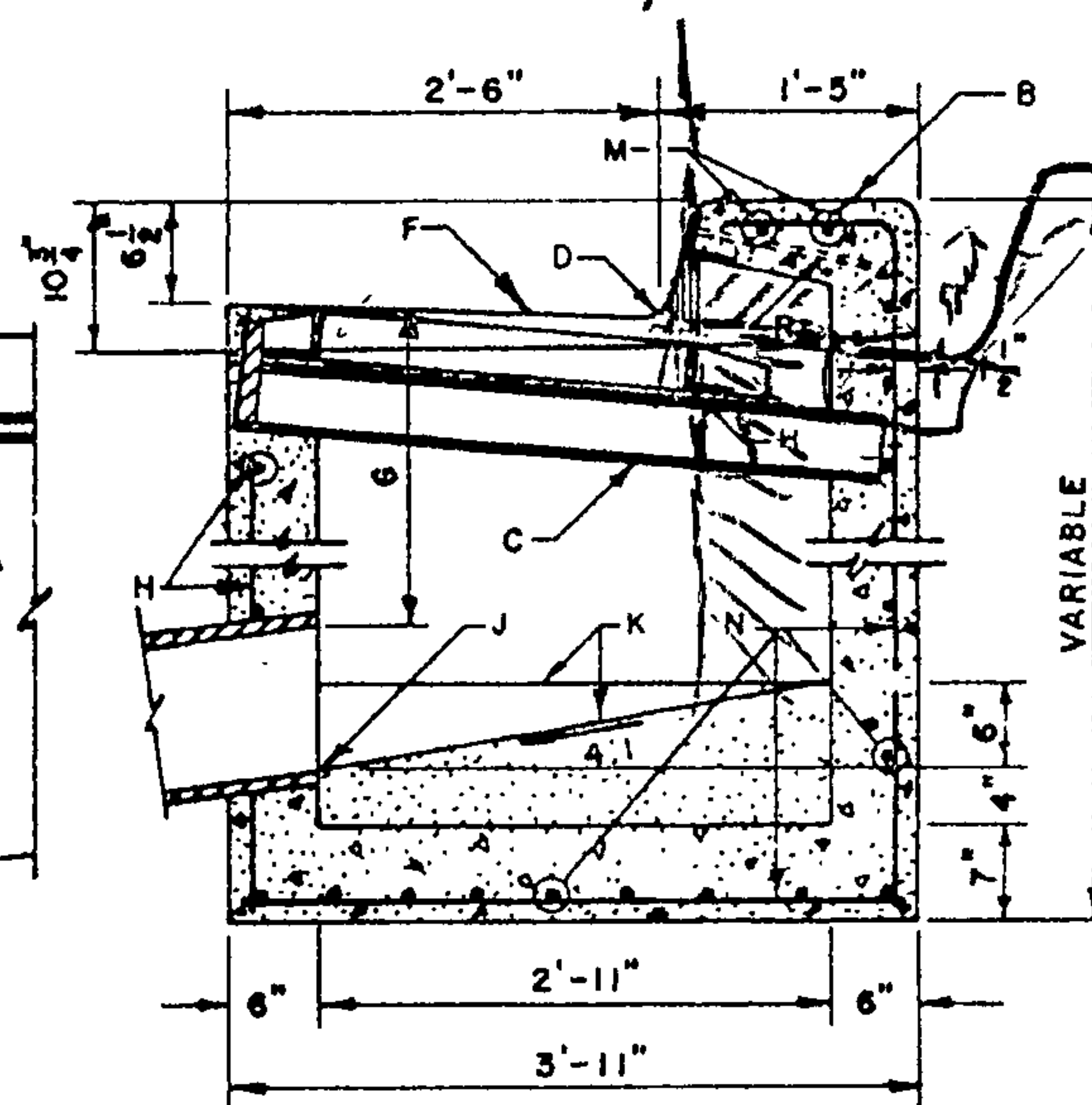
1. FOR SINGLE GRATE TYPE STORM INLET DELETE CENTER SUPPORT AND MOVE ONE END WALL TO FORM NEW SINGLE GRATE INLET
2. FOR STORM INLET GUTTER TRANSITION, SEE DWG 2207.
3. OUTLET PIPE SIZE, PER DESIGN REQUIREMENT.
4. FOR FRAME & GRATING, SEE DWG 2216, 2220 & 2221.
5. FOR ANCHOR SEE DETAIL
6. FOR CENTER SUPPORT ASSEMBLY, SEE DWG 2215.

## CONSTRUCTION NOTES:

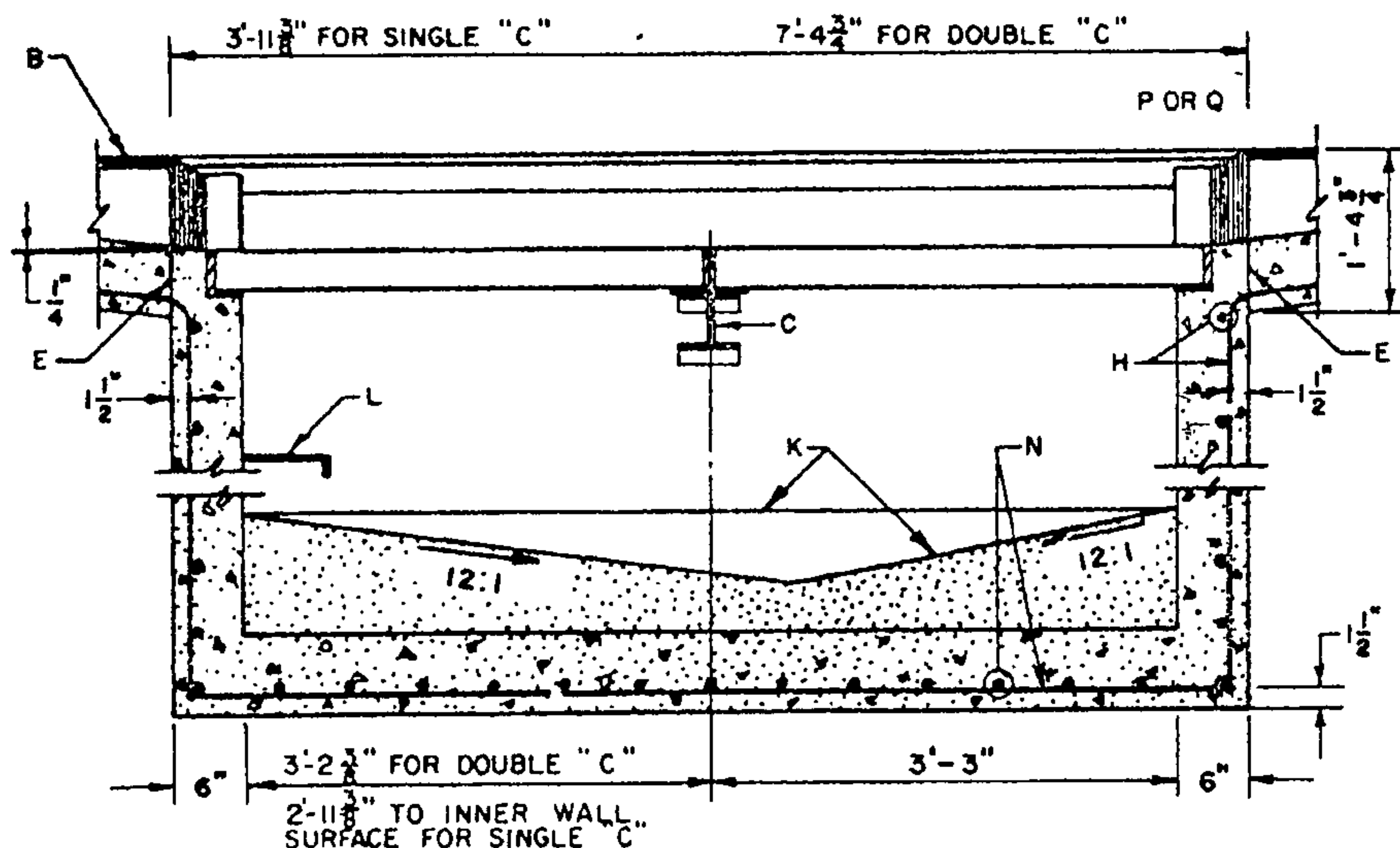
- A. GUTTER TRANSITION.
- B. TOP OF CURB
- C. CENTER SUPPORT ASSEMBLY
- D. FLOWLINE.
- E. CONSTRUCTION JOINT.
- F. NORMAL GUTTER LINE
- G. 1'-10" MIN, UNLESS OTHERWISE DIRECTED.
- H. FRAME AND GRATE.
- J. INVERT OF OUTLET PIPE.
- K. CONCRETE FILL, MINIMUM SLOPES AS SHOWN.
- L. FOR STORM INLET DEPTHS GREATER THAN 4' INSTALL STD STEPS. SEE DWG 2229, DOWNSTREAM FACE
- M. EXTEND NO 4 REBARS 18" INTO CURB ON EACH SIDE OF STORM INLET.
- N. NO. 4 BARS AT 6" O C
- P. 3 1/2" X 3 1/2" X 1/2" X 4' - 0" FOR SINGLE GRATE TYPE "C" STORM INLET.
- Q. 3 1/2" X 3 1/2" X 1/2" X 7' - 6" FOR DOUBLE GRATE TYPE "C" STORM INLET.
- R. ANCHOR



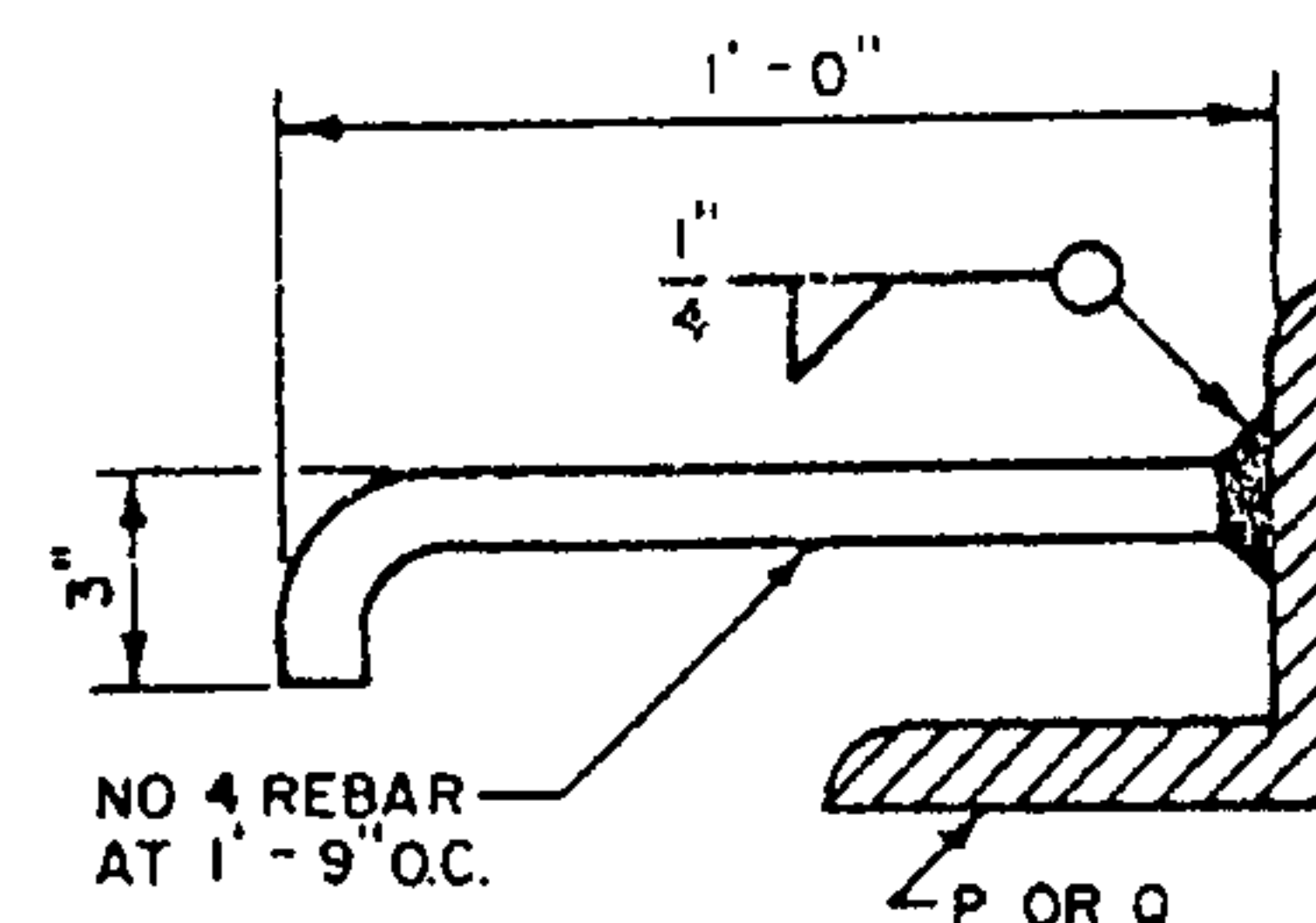
PLAN



SECTION B-B



SECTION A-A



ANCHOR DETAIL

REVISIONS
12-21-92

CITY OF ALBUQUERQUE

DRAINAGE

STORM INLET DOUBLE "C"

DWG. 2205

AUG 1985





# CITY OF ALBUQUERQUE



August 16, 2010

Lawrence D. Read, P.E.  
Larry Read & Associates, Inc  
2430 Midtown Suite C  
Albuquerque, NM 87107

**Re: Goodwill Industries of New Mexico Plan**

**Engineer's Stamp date 7-15-10 (C19/D053)**

Dear Mr. Read,

Based upon the information provided in your submittal received 8-10-10, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- The drainage calculations are for a 10-acre site. The site seems to be closer to 1.8 ac.
- The proposed percent impervious is too high (95%). Percent impervious cannot exceed 85%, with the remainder being Land Treatment Type B.
- Show the basin divide.
- Provide proposed grades in the landscape areas near Holly Ave.
- A curb or garden wall should extend from the north end of the retaining wall along the west boundary to prevent concentrated flows from crossing the property line.
- Label existing contours and provide proposed contours.
- NMDOT approval is required prior to the City of Albuquerque's approval since this plan proposed to drain to and tie into a storm drain in the NMDOT ROW.
- Show area inlets on the Utility Plan.
- It would be helpful to title sheets Grading Plan and Utility Plan.
- In numerous places "retaining wall" is spelled "retaining well".
- The furthest north TW grade along the east property line, ELXST (sp) TW is 49.4. Reviewing the church's as-built, the TW is 47.85. Is a second wall required?
- Per the DPM, "The number of catch basins to be connected in series should not exceed two". It appears with the changing of the Double-C to a D and building a new Double -C; this may put three inlets in series. I will require more information to evaluate this.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

## **Chapter 22 - Drainage, Flood Control and Erosion Control**

should be used in valley applications where main line pipe diameters are 24" or less or where quarter full pipe velocities are less than 2.5 f.p.s.

"Type A" basins should be used for single basin applications and as the first basin in a battery of basins. The "Type A" basin performs the function of sweeping debris of the street upstream of the grating and minimizing clogging. "Type A" basins are used with standard 8" curb and gutter.

"Type B" basins are generally placed downstream of and/or in conjunction with "Type A" basins on streets other than arterials and collectors. This type basin has potential to collect substantial runoff when the grating is clean. If "Type B" basins are used alone, without a "Type A" within 150 feet upstream, the capacity shown in Plate 22.3 D-7 should be reduced 15% due to clogging. "Type B" basins are used with standard 8" curb and gutter.

"Type C" basins are generally placed downstream of and/or in conjunction with "Type A" basins. If "Type C" basins are used without a "Type A" within 150 feet upstream, the capacity shown in Plates 22.3 D-5 and 22.3 D-6 should be reduced 15% for clogging. "Type C" basins are used with standard 8" curb and gutter.

"Type D" basins are generally used on streets with slope greater than 5%, in driveways and in certain valley areas as described above. "Type D" basins can be used with either standard 8" curb and gutter or with mountable curb.

The number of catch basins to be connected in series should not exceed two. If the connection of more than two catch basins in series is unavoidable, consideration should be given to designing a lateral drain.

### **c. Connector Pipe**

- (1) The minimum diameter of connector pipe is 18 inches.
- (2) The horizontal alignment of connector pipes must not contain angle points or bends, unless approved by the City Engineer.
- (3) Connector pipes outletting into a pipe from both sides of a street should be offset 8 feet or more at the main line. Exceptions to this criterion must be approved by the City Engineer. Connections at manholes or junction structures are preferred.
- (4) The catch basin spacing shall be a minimum of 25 feet between curb transitions.
- (5) Catch basin connector pipes shall outlet at the downstream end of the catch basins, unless prevented by field conditions. Downstream, in this paragraph, refers to the directions of the gutter slope at the catch basin in question.
- (6) Where feasible, connector pipes should be located so as to avoid, as much as possible, cutting into existing cross gutters and spandrels.
- (7) The conversions of type A's, B's or C's to D's basins will not be permitted. If the catch basin is in conflict with a driveway, the catch basin will be removed and replaced with another inlet outside of the driveway. To avoid conflicts with