

DRAINAGE REPORT

For

**Twisters
Wyoming and Holly
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
PO Box 67305
Albuquerque, New Mexico 87193

January 2011



David Soule P.E. No. 14522

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PURPOSE

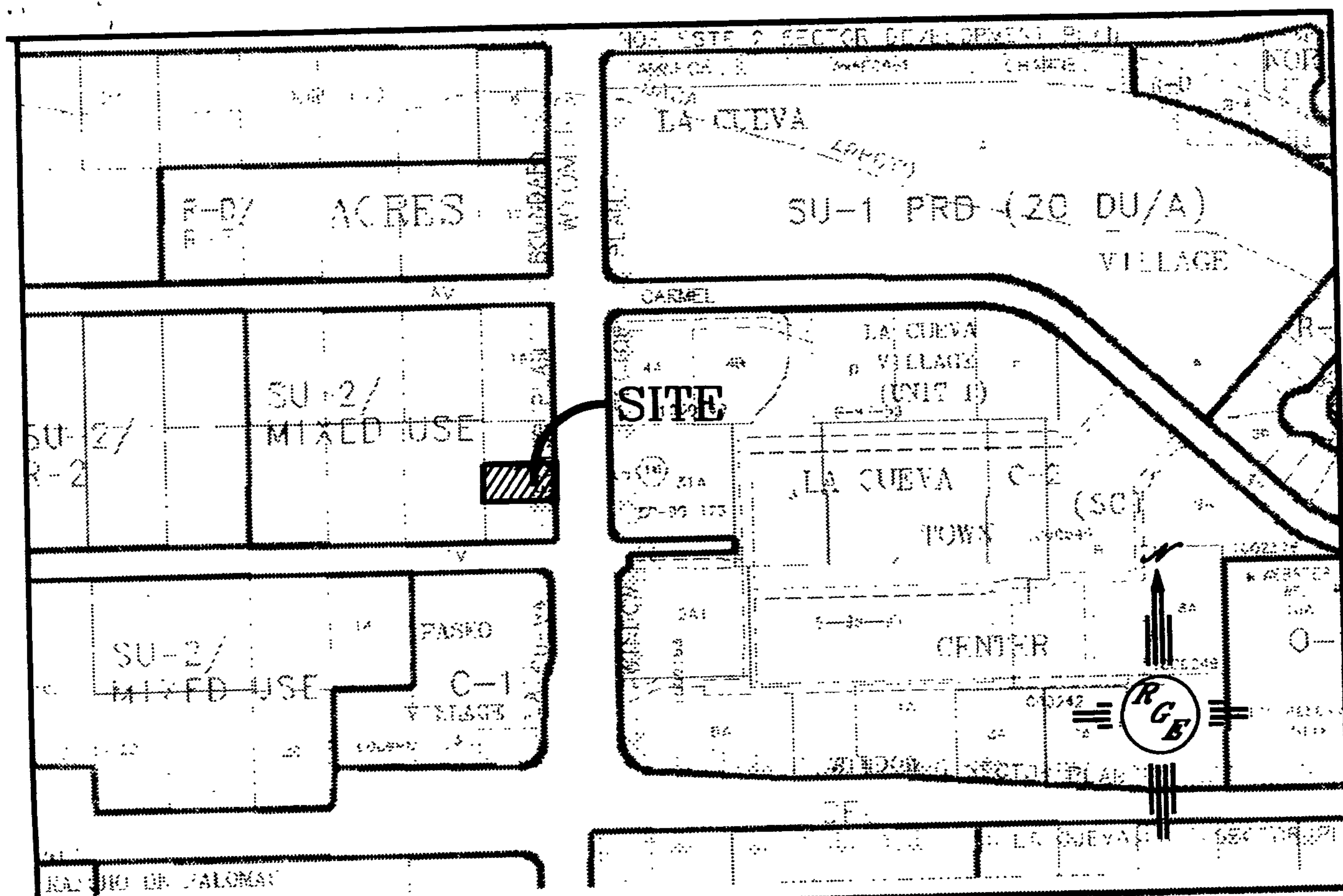
The purpose of this report is to provide the Drainage Management Plan for an approximately 2500 square foot drive thru restaurant the west side of Wyoming north of Holly. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a .57-acre parcel of land located on the west side of Wyoming north of Holly in north east Albuquerque. The legal description of this site is the north half of lots 17 and 18, block2 unit 3, NAA. The site is in the process of being subdivided. The southerly half is being developed as a gas station. As shown on FIRM map35001C0137F, the entire property is located within Flood Zone X. This site is located upstream of the Kinney dam. An informal pre-design meeting was held with Curtis Cherne, PE. Based on the proximity of the Dam and the assumptions made with the grading of the adjacent gas station, the site will be allowed free discharge to the Holly, with a small portion draining to the north

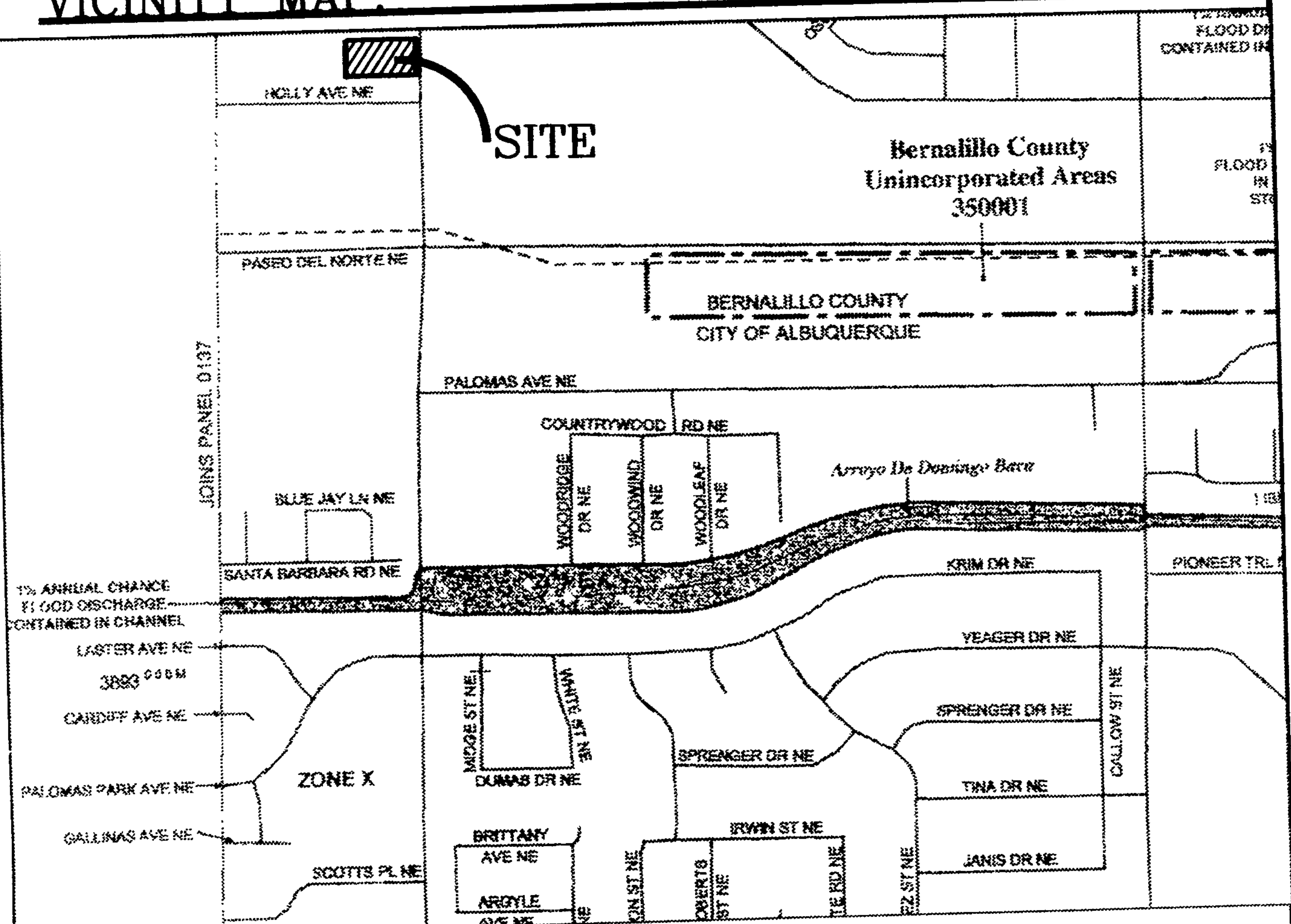
EXISTING CONDITIONS

The site is currently undeveloped.. The site slopes from east to west. The site currently has a 4% general east to west grade. The site is not impacted by offsite flow due to the construction of Wyoming As shown in Appendix A, the site currently discharges 0.9 cfs onto the adjacent parcel to the west during a 100-year, 6-hour event. .



C-19-Z

VICINITY MAP:



PROPOSED CONDITIONS

The proposed improvements consist of a 2,500 square foot restaurant. Due the location of the Kinney Dam, the site will free discharge. As shown the site discharges to the south across the Smiths gas station. The adjacent sites grading plan was utilized for this design. The site will drain across the drainage and access easement. The grades for both site match at the interface. The entire site will generate a peak flow rate of 2.38 cfs to Holly. Due to an existing road on the north a minor portion of this site will discharge .01 cfs to the north

SUMMARY AND RECOMMENDATIONS

This project is located upstream of the Kinney dam. The site is not impacted by upland flow. The free discharge design of this site conforms to the assumptions made on the adjacent parcel. The free discharge solution was discussed with the City Hydrologist prior to developing the plan.

The proposed site development does not adversely affect the upstream or downstream facilities. The site was designed in conformance to City of Albuquerque Drainage design policy utilizing the City of Albuquerque DPM criterion. Therefore, we request approval of the site-grading plan. Since this site encompasses less 1 acre, a NPDES permit might not be required prior to construction activity.

APPENDIX A
SITE HYDROLOGY

Weighted E Method

Existing Basins

Existing Basins											100-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
ONSITE	25202.00	0.579	100%	0.5785583	0%	0.000	0%	0	0%	0.000	0.530	0.026	0.90

Proposed Developed Basins

Proposed Developed Basins											100-Year, 6-hr.			10-day
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
TO HOLLY	24929.00	0.572	0%	0	16%	0.092	10%	0.05723	74%	0.423	1.807	0.086	2.38	0.143
TO NORTH	273.00	0.006	100%	0.0062672	0%	0.000	0%	0	0%	0.000	0.530	0.000	0.01	0.000
Total	25202.00	0.579		0.0062672		0.092		0.05723		0.423		0.086	2.39	0.14

Equations:

$$\text{Weighted E} = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$$

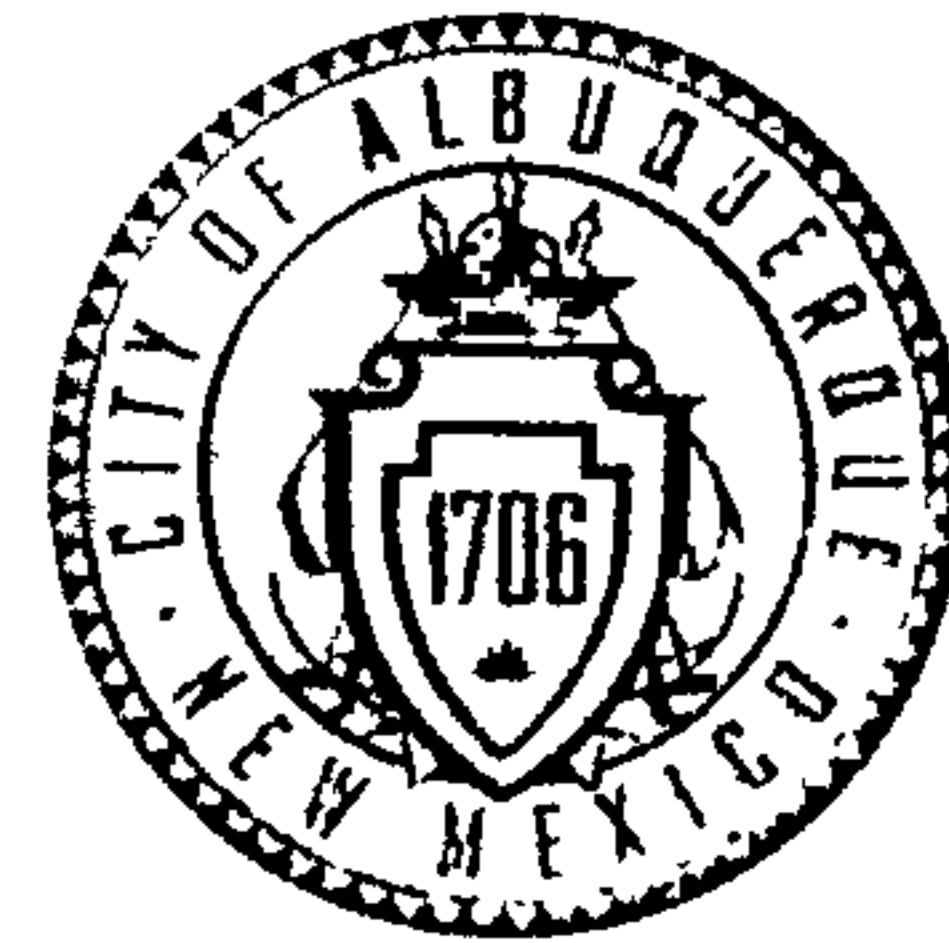
$$\text{Volume} = \text{Weighted D} \cdot \text{Total Area}$$

$$\text{Flow} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$$

Where for 100-year, 6-hour storm

Ea= 0.53	Qa= 1.56
Eb= 0.78	Qb= 2.28
Ec= 1.13	Qc= 3.14
Ed= 2.12	Qd= 4.7

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 6, 2011

Peter Butterfield, Registered Architect
Peter Butterfield Architect.
13013 Glenwood Hills Ct. NE
Albuquerque, NM 87111

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for **Twisters**, [C-19 / D054A]
8111 Wyoming Blvd. NE
Architect's Stamp Dated 12/13/11

Dear Mr. Butterfield:

Based upon the information provided in your submittal received 12-14-11,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: TWISTERS RESTAURANT ZONE MAP: C19 / D054A
DRB#: 1003532 EPC#: 1003532 WORK ORDER# _____

LEGAL DESCRIPTION: LOT 17A, PLAT OF LOTS 17A, 17B & 17C BLK 9, UNIT 3 N. ABQ
CITY ADDRESS: 8111 WYOMING BLVD NE ACRES _____

ENGINEERING FIRM: RIO GRANDE ENGINEERING CONTACT: DAVID SOULE
ADDRESS: PO BOX 67305 PHONE: 872 0999
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87193

OWNER: TWISTERS INC CONTACT: RAY UBIETA
ADDRESS: SUITE J 1311 CUESTA ABAJO NE PHONE: 250 1295
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87113

ARCHITECT: Peter Butterfield Architect CONTACT: PETER BUTTERFIELD
ADDRESS: 13013 Glenwood Hills Ct NE PHONE: 3329323
CITY, STATE: Albuquerque NM ZIP CODE: 87111

SURVEYOR: SURV-TEK, INC. CONTACT: JOE ORLOSKI, PS
ADDRESS: 9384 VALLEY VIEW DRIVE PHONE: 897-3366
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87114

CONTRACTOR: SUNDANCE DEVELOPMENT, INC. CONTACT: HANS EGENES
ADDRESS: 8219 DESERT PLUME LANE NE PHONE: 450-7008
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87122

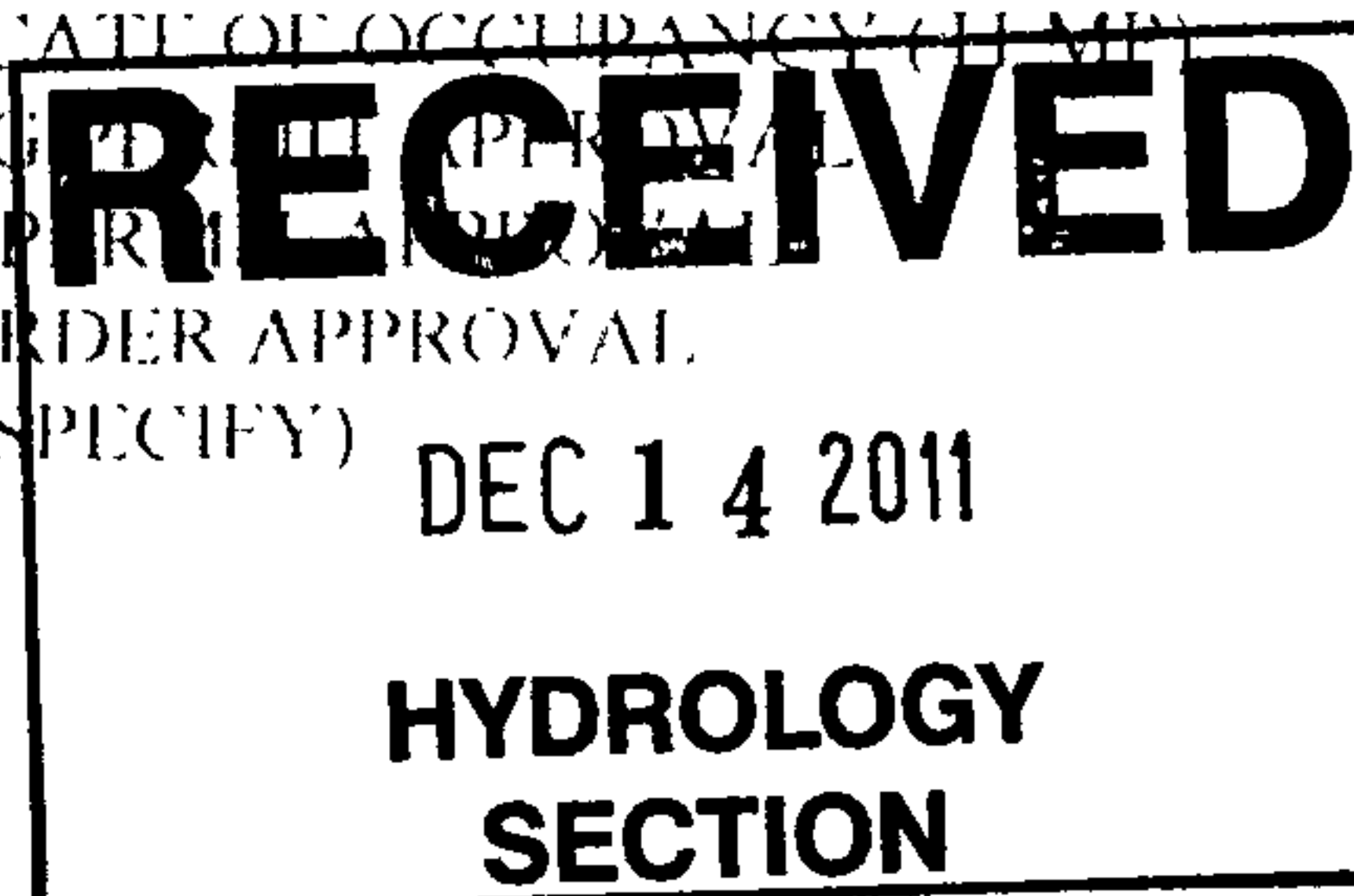
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (ICL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY) _____	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 12-13-11 BY: Hans Egenes

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** - Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans** - Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report** - Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more




peter butterfield architect

• 505 332 9323 • fax 212 0901 • 13013 Glenwood Hills Ct NE • Albuquerque New Mexico 87111 •

TRAFFIC CERTIFICATION

I, PETER BUTTERFIELD, NMRA 3850, OF THE FIRM PETER BUTTERFIELD ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JANUARY 5, 2011. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 23, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

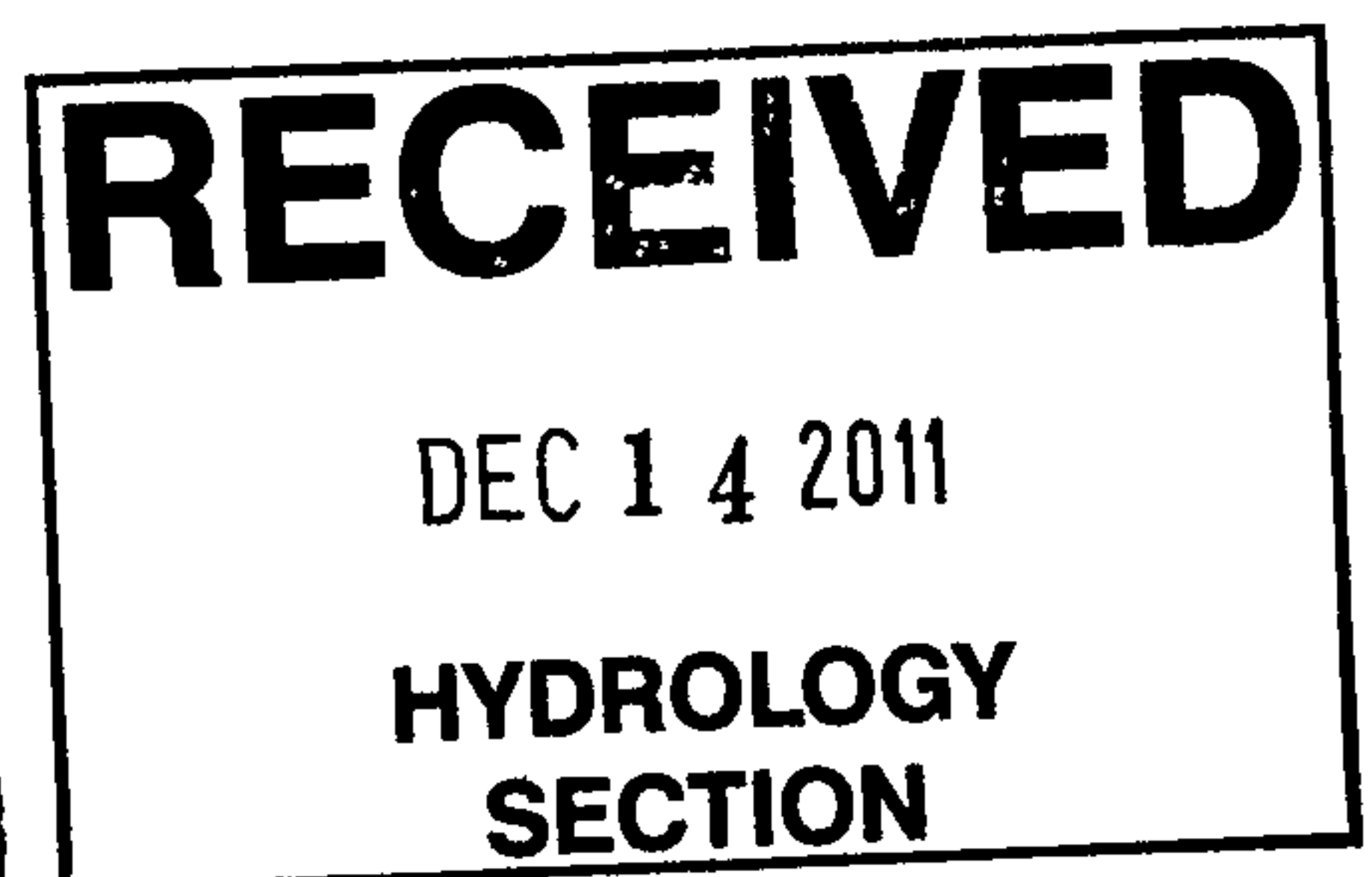
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



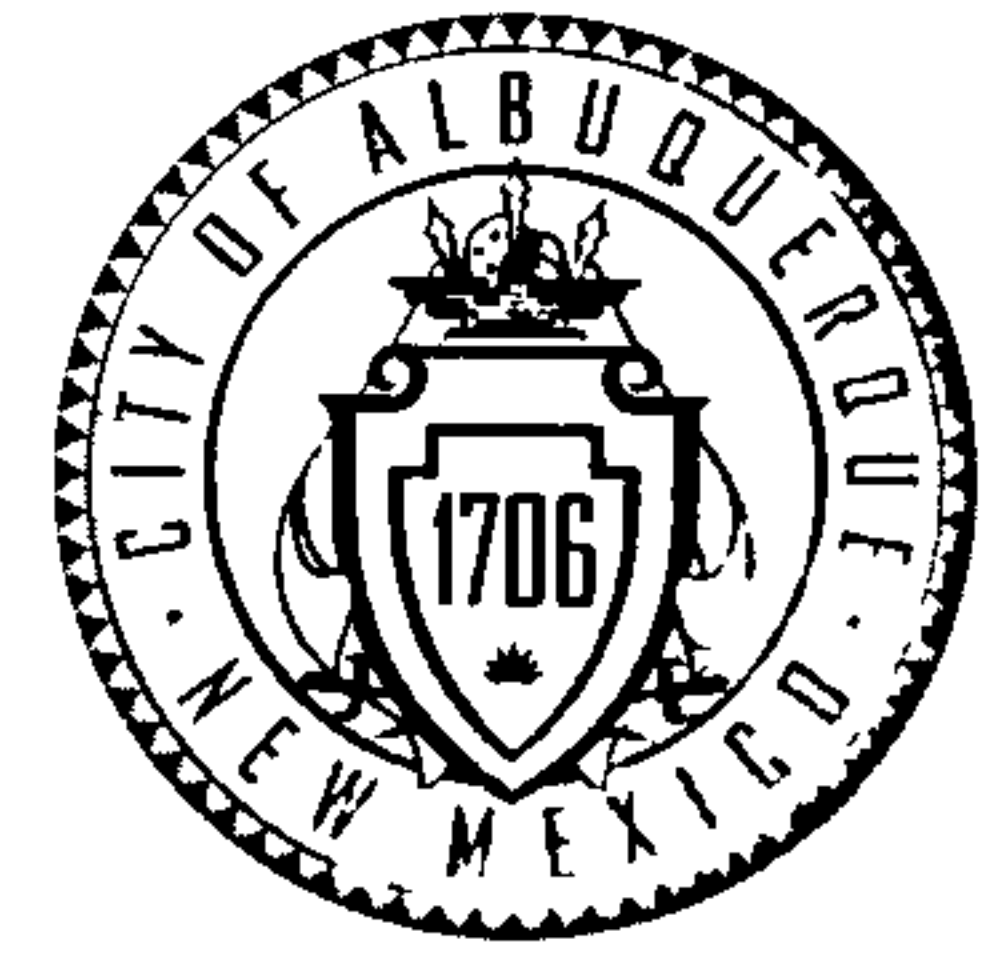
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

12/13/11
Date



CITY OF ALBUQUERQUE



December 12, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

Re: Twisters, 8111 Wyoming Blvd NE,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 01-25-11 (C-19/D054A)
Certification dated: 12-09-11

Dear Mr. Soule,

Based upon the information provided in the Certification received 12-09-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: TWISTERS-WYOMING
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C19-D054a
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract C-1-A, Lands of Grevey(formerly tracts C1 &C2)
CITY ADDRESS: Lomas west of Eubankd

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87199

OWNER: Lomas Jack, llc
ADDRESS: PO Box 67305
CITY, STATE: alv

CONTACT: _____
PHONE: _____
ZIP CODE: 87199

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: survteck
ADDRESS: _____
CITY, STATE: _____

CONTACT: russ hugg
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED.

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

read
12-9-11 ~ 5pm
a

DATE SUBMITTED 2/17/2010 BY. David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more

CITY OF ALBUQUERQUE



January 27, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Rio Rancho, NM 87193

**Re: Twisters – Wyoming, Grading and Drainage Plan
Engineer's Stamp date 1-25-11 (C19/D054A)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 1-25-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

NM 87103

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Twisters-Wyoming
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C19 / D054H
WORK ORDER #: _____

LEGAL DESCRIPTION: Northly portion of LT 17&18 BLK 9 NORTH ALBUQUERQUE ACRES UNIT 3 TRACT 2
CITY ADDRESS: Wyoming and Holly

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: PO BOX 67305
CITY, STATE: Alb

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87193

OWNER: V-mod llc
ADDRESS: 12904 CAI
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Peter Butterfield
ADDRESS: _____
CITY, STATE: _____

CONTACT: Peter
PHONE: _____
ZIP CODE: _____

SURVEYOR: Geo surv CO
ADDRESS: _____
CITY, STATE: _____

CONTACT: David Vigil
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANACIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
____ COPY PROVIDED

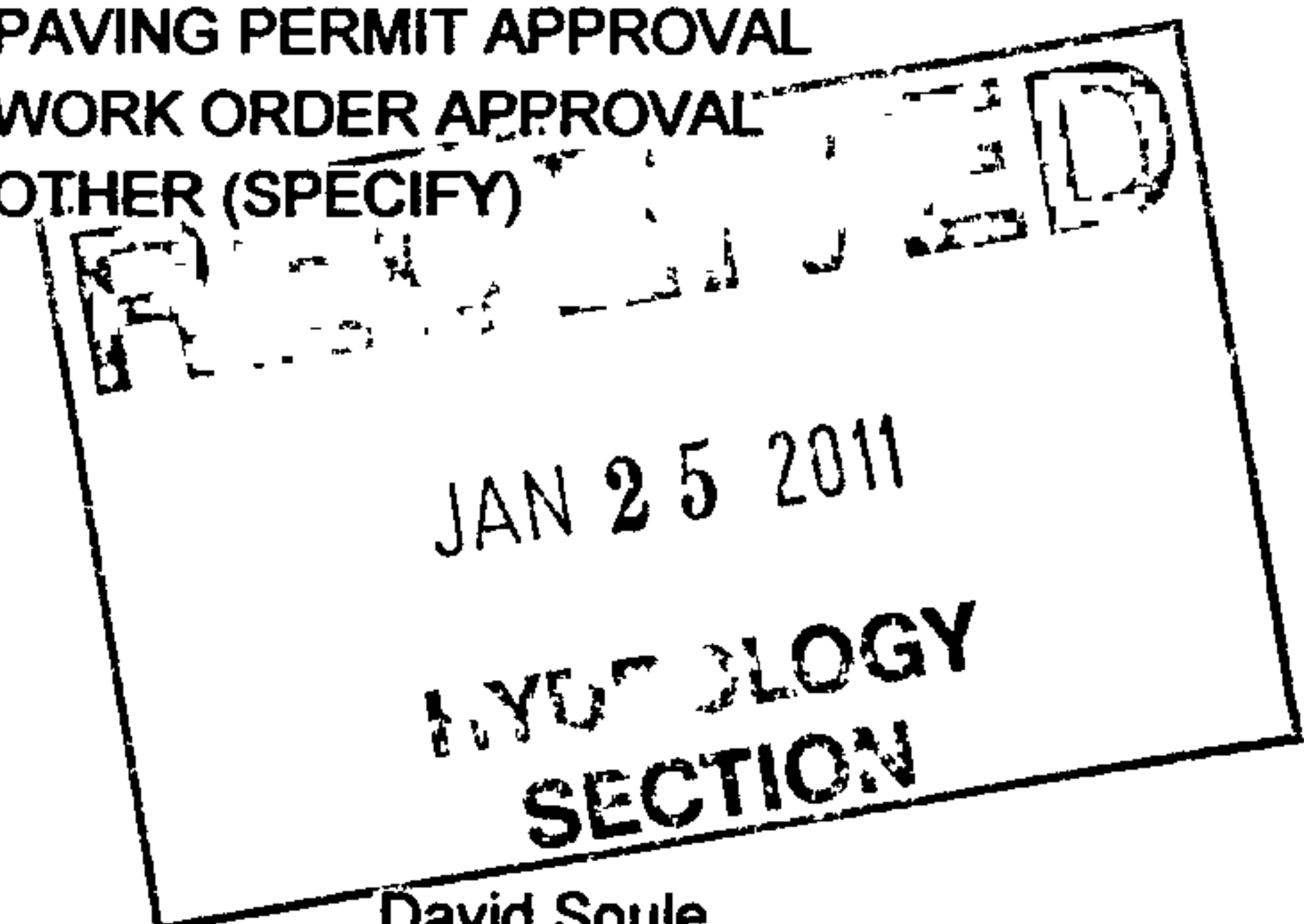
DATE SUBMITTED: 1/25/2011 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drange submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Called 1-24-11
he will fix me resubmit
no letter

January 24, 2011

David Soule, P.E.
Rio Grande Engineering
P.O. Box 67305
Albuquerque, NM 87193

**Re: Twisters, Wyoming and Holly, Grading and Drainage Plan
Engineer's Stamp date 1-18-11 (C19/D054A)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 1-18-11, the above referenced plan cannot be approve for Building Permit until the following comments are addressed:

- It does not appear that the drainage from the northern section of the site will drain south, but instead will continue west then north. It also appears that the Finished Floor of the building is too high. The building to the south is at 85.7 and the building to the north is at 87.5.
 - If the Finished Floor of the proposed building was lowered to 87.0 it would be easier for drainage to flow to the south. A rock or concrete channel could be built from upstream of the dumpster enclosure to the drive west of the building.
 - An elevation of 87.0 would also blend the buildings.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Twisters
 DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: C19 / D054A
 WORK ORDER #: _____

LEGAL DESCRIPTION: Northern half of lots 17&18, tract 2, unit 3, NAA
 CITY ADDRESS: Wyoming and Holly

ENGINEERING FIRM: Rio Grande Engineering
 ADDRESS: PO BOX 67305
 CITY, STATE: Alb

CONTACT: David Soule, PE
 PHONE: (505)321-9099
 ZIP CODE: 87193

OWNER: V-mod, llc
 ADDRESS: 12904 CALLE DE SANDIAS NE
 CITY, STATE: alb

CONTACT: _____
 PHONE: _____
 ZIP CODE: 87111

ARCHITECT: Peter Butterfield
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: Geosurv Co
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: John Gallegos
 PHONE: 917-8921
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERTIFICATION (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEERS CERTIFICATION (TCL)
- _____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- _____ OTHER

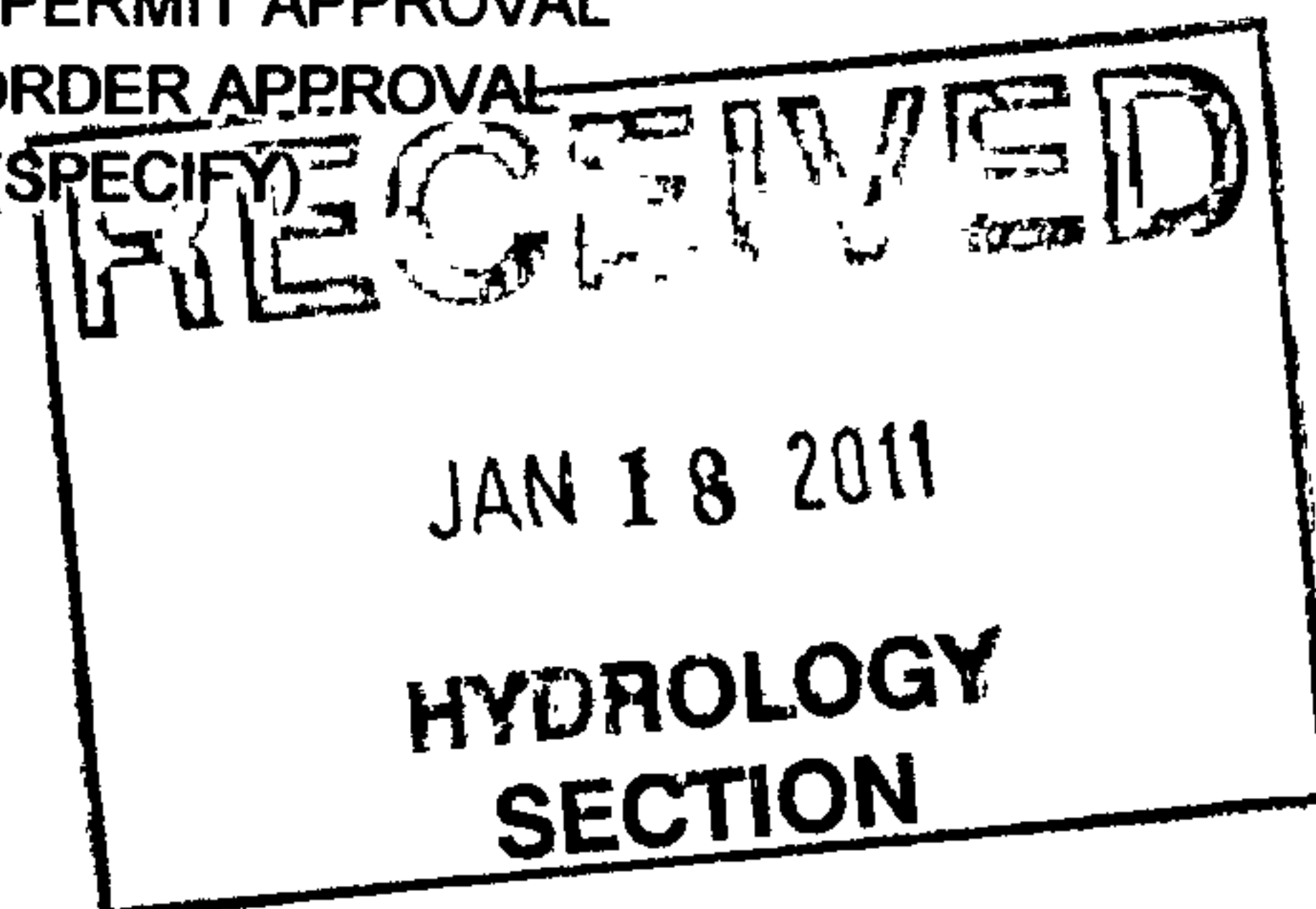
CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA / FINANACIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM.)
- _____ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- _____ NO
- _____ COPY PROVIDED

\$ 50⁰⁰



DATE SUBMITTED: 1/18/2011 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a dranlage submittal.
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