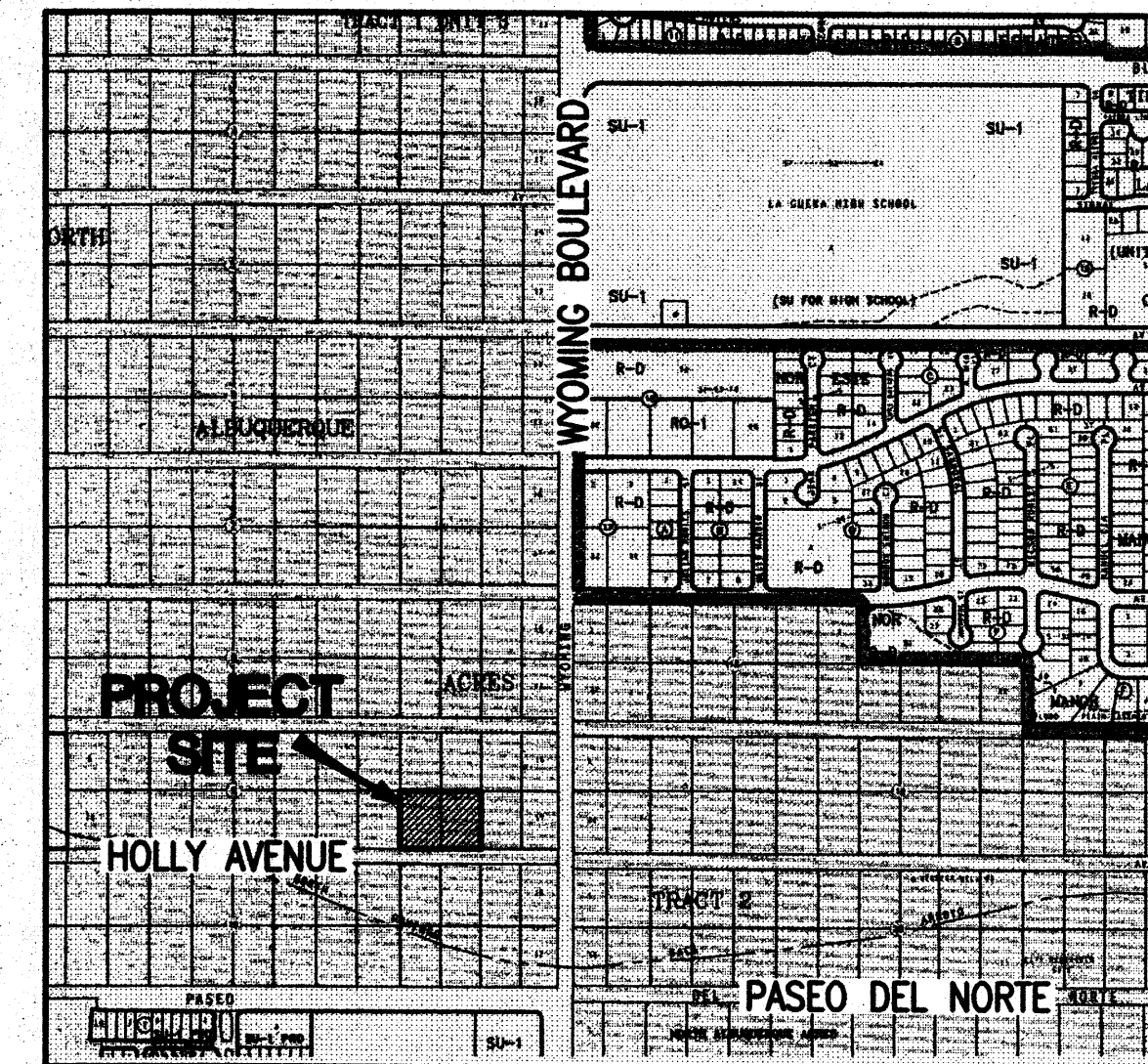
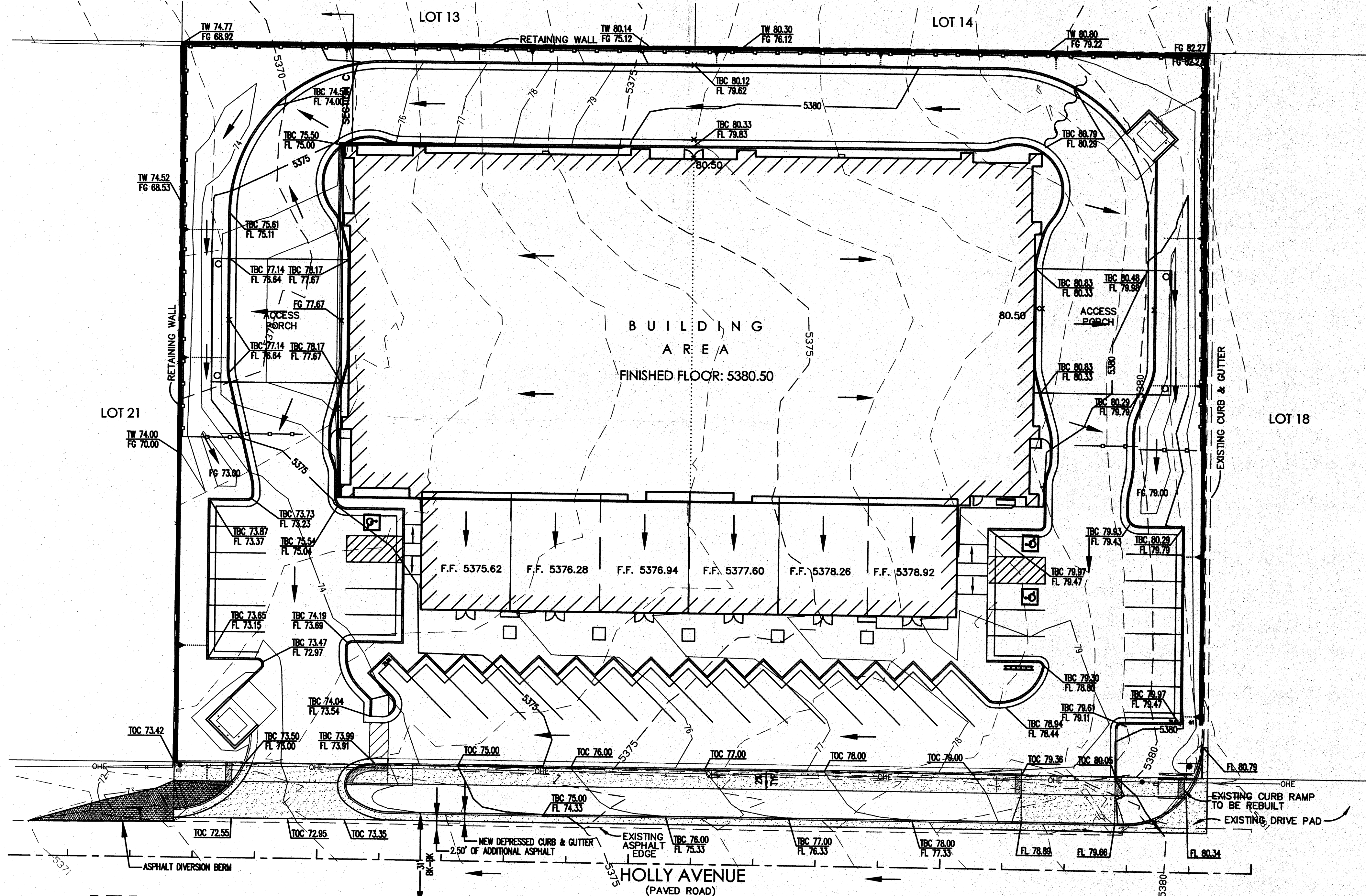


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VICINITY MAP
ZONE ATLAS MAP C-19-Z

DRAINAGE PLAN

THE SUBJECT PROPERTY IS LOCATED ON HOLLY AVENUE BETWEEN WYOMING BLVD. AND LOUISIANA BLVD. ON LOTS 19 AND 20, BLOCK 9, OF NORTH ALBUQUERQUE ACRES, ON ZONE ATLAS PAGE C-19-Z. THE PLANNED IMPROVEMENTS TO THE PROPERTY INCLUDE THE CONSTRUCTION OF A NEW CLIMATE CONTROLLED STORAGE FACILITY. AS SHOWN ON PANEL 35001C0141G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, DATED SEPTEMBER 26, 2008, THIS SITE DOES NOT LIE WITHIN THE DESIGNATED 100 YEAR FLOOD HAZARD AREA.

THIS SITE IS LOCATED WITHIN THE DOMINGO BACA DRAINAGE AREA AND NORTH ALBUQUERQUE ACRES DRAINAGE MANAGEMENT PLAN. THE SITE GENERALLY FLOWS FROM THE EAST TO THE WEST. THERE ARE NO OFFSITE FLOWS THAT ENTER THIS SITE FROM THE EAST DUE TO THE CONSTRUCTION OF A DEVELOPMENT DIRECTLY TO THE EAST.

THE SITE IS COMMERCIAL TOTALING 1.77 ACRES. THE SITE IS 87% LAND TREATMENT 'D' (1.54 AC) AND 13% 'C' (0.23 AC). USING THE RATIONAL METHOD FOR SMALL WATERSHEDS THE SITE WILL DISCHARGE 8.5 CFS WITH A TOTAL VOLUME OF 0.33 AC-FT. CURB CUTS WILL BE PROVIDED TO ALLOW FOR WATER HARVESTING WITHIN THE LANDSCAPE AREAS. ANY STORM WATER THAT IS NOT HARVESTED WILL DISCHARGE ONTO HOLLY AVENUE AND SHOULD BE DIVERTED ACROSS HOLLY TO THE SOUTH SIDE OF THE ROADWAY.

LEGEND

- RETAINING WALL
- FENCE
- SIDEWALK
- CURB AND GUTTER
- FLOW DIRECTION ARROW
- WATERBLOCK (HIGH POINT)
- SLOPE INDICATOR (SLOPE VARIES)
- FF FINISHED FLOOR
- TOC TOP OF CONCRETE
- TBC TOP BACK OF CURB
- FG FINISHED GRADE
- FL FLOW LINE

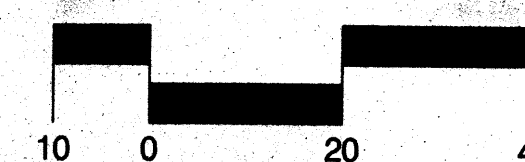
CONCEPTUAL GRADING AND DRAINAGE PLAN GUARDIAN SELF STORAGE

Prepared for:
Guardian Storage VI, LLC
9221 Eagle Ranch Rd NW
Albuquerque, NM 87114

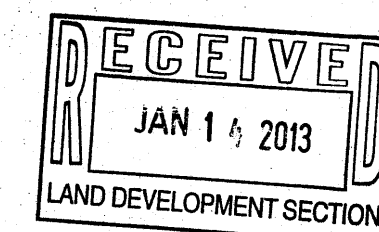
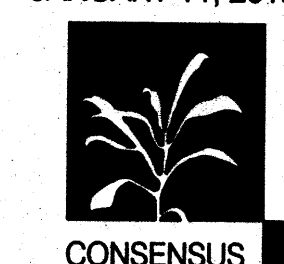
Prepared by:
HUNT-ZOLIARS
6501 Americas Parkway NE, Suite 550
Albuquerque, NM 87110



Scale: 1" = 20'



JANUARY 11, 2013



SHEET 4 OF 6

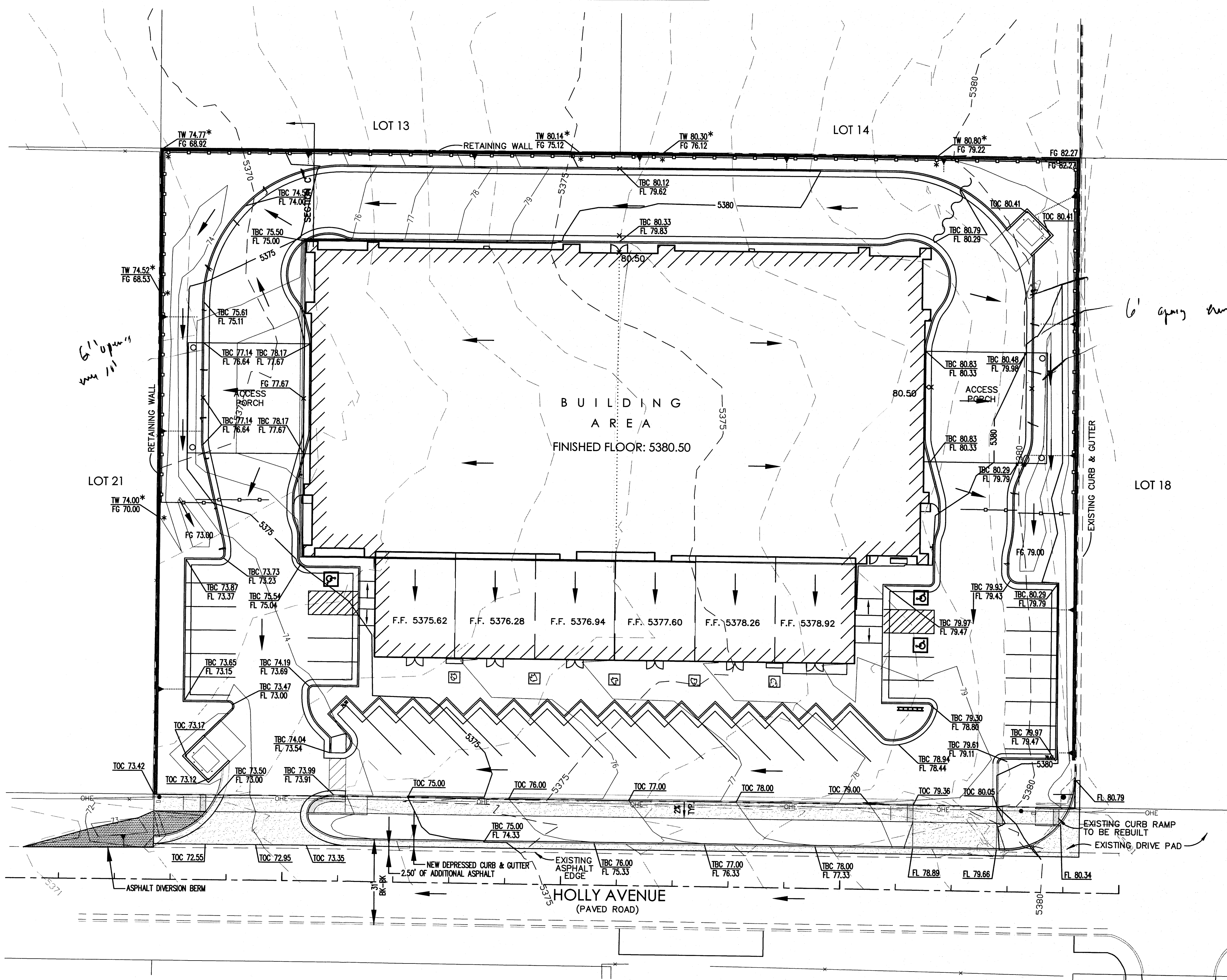
STORM Drain
Stamped & Dated
Signed

Pond Volumes
Water Harvesting
SWPP
Provide
Table
for Existing Flows
and Developed Flows

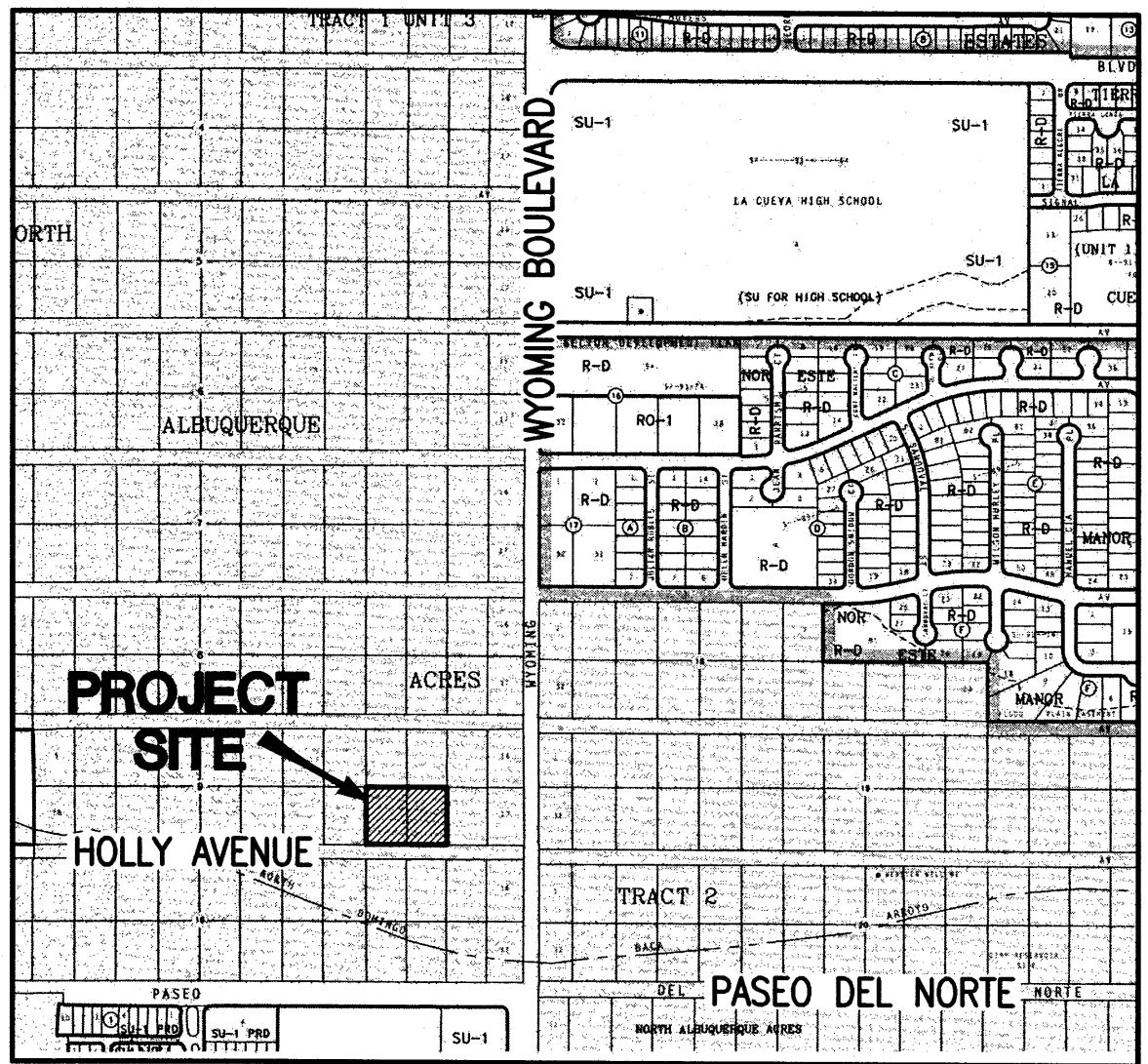
GRADING & DRAINAGE PLAN

RUNOFF CALCULATIONS				
ZONE 3				
LAND TREATMENT	EXISTING CONDITIONS			
	C - COEFFICIENT	I - IN/HR	A - AC	Q - CFS
A	0.35	5.38	1.77	3.33
	PROPOSED CONDITIONS			
	C	I	A	Q
C	0.64	5.38	0.23	0.79
D	0.93	5.38	1.54	7.71
			TOTAL	8.5
VOLUME CALCULATIONS				
LAND TREATMENT	EXISTING CONDITIONS			
	E - EXCESS PRECIPITATION	A - AC	V - AC-FT	
A	0.66	1.77	0.10	
	PROPOSED CONDITIONS			
	E	A	V	
C	1.29	0.23	0.03	
D	2.36	1.54	0.30	
		TOTAL	0.33	

RUNOFF CALCULATIONS



GRADING & DRAINAGE PLAN



VICINITY MAP
ZONE ATLAS MAP C-19-Z

DRAINAGE PLAN

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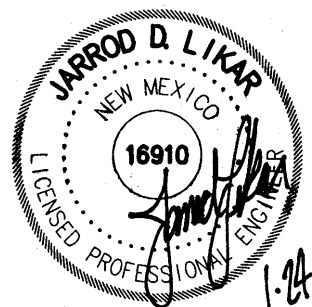
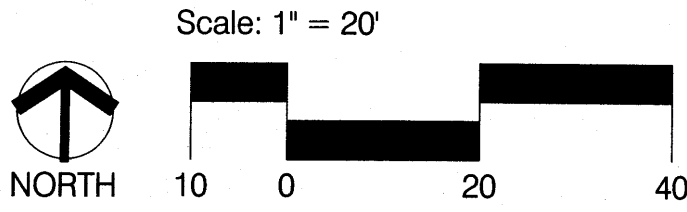
LEGEND

- RETAINING WALL
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- WATERBLOCK (HIGH POINT)
- SLOPE INDICATOR (SLOPE VARIES)
- FF FINISHED FLOOR
- TOC TOP OF CONCRETE
- TBC TOP BACK OF CURB
- FG FINISHED GRADE
- FL FLOW LINE

GRADING AND DRAINAGE PLAN GUARDIAN SELF STORAGE

Prepared for:
Guardian Storage VI, LLC
9221 Eagle Ranch Rd NW
Albuquerque, NM 87114

Prepared by:
HUITT-ZOLIARS
6501 Americas Parkway NE, Suite 550
Albuquerque, NM 87110



GENERAL NOTE:

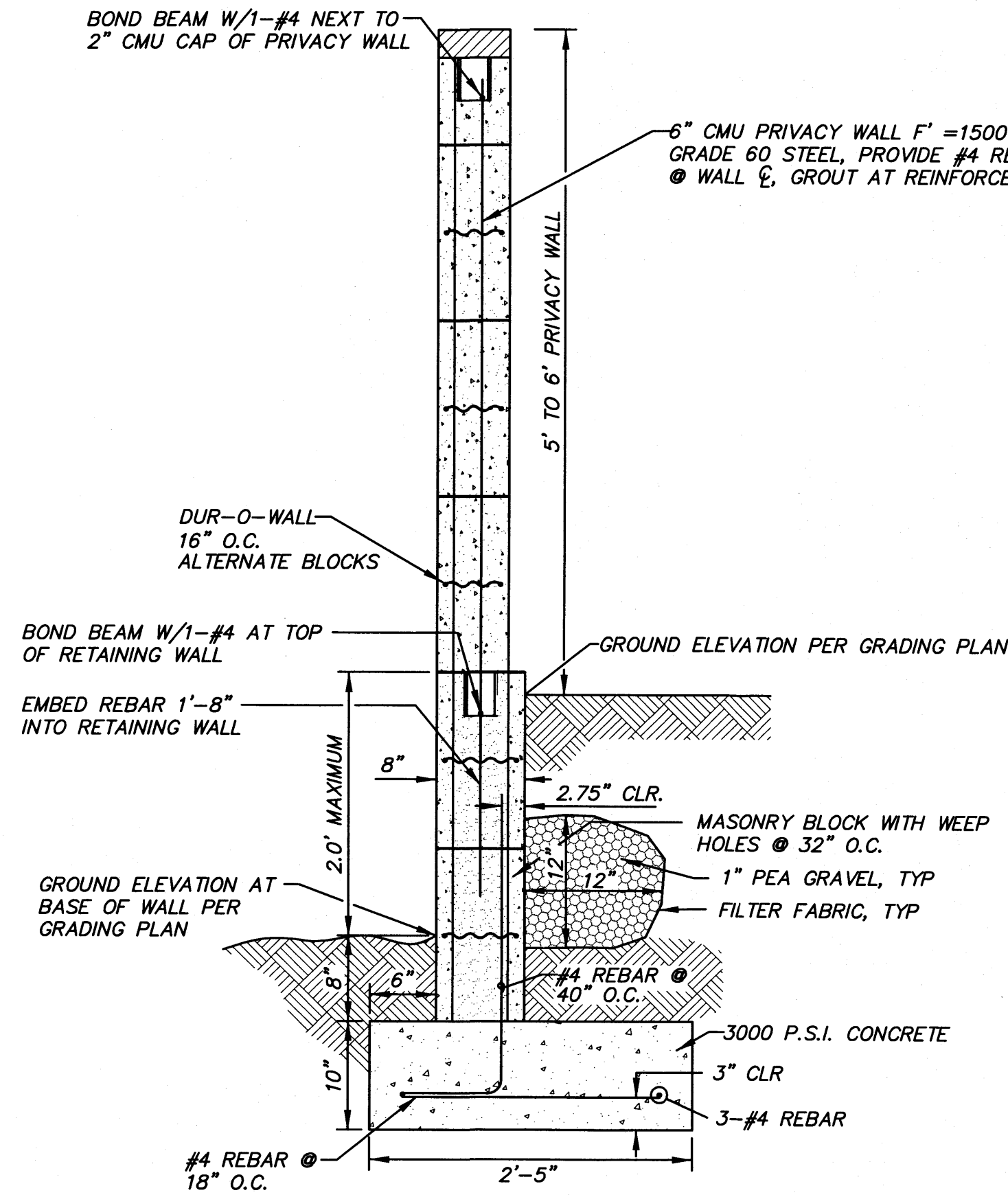
WHERE C.M.U. PRIVACY WALLS OR RETAINING WALLS ARE INSTALLED, WEEP HOLES SHALL BE PROVIDED IN THE PORTION OF THE WALL BELOW GRADE, TO RELIEVE POTENTIAL HYDROSTATIC PRESSURE, BY ELIMINATING THE MORTAR FROM ALTERNATING VERTICAL JOINTS IN EVERY OTHER COURSE OF BLOCK BELOW GRADE. NO TURNED BLOCKS WILL BE ALLOWED.

MASONRY WALL CONSTRUCTION NOTES:

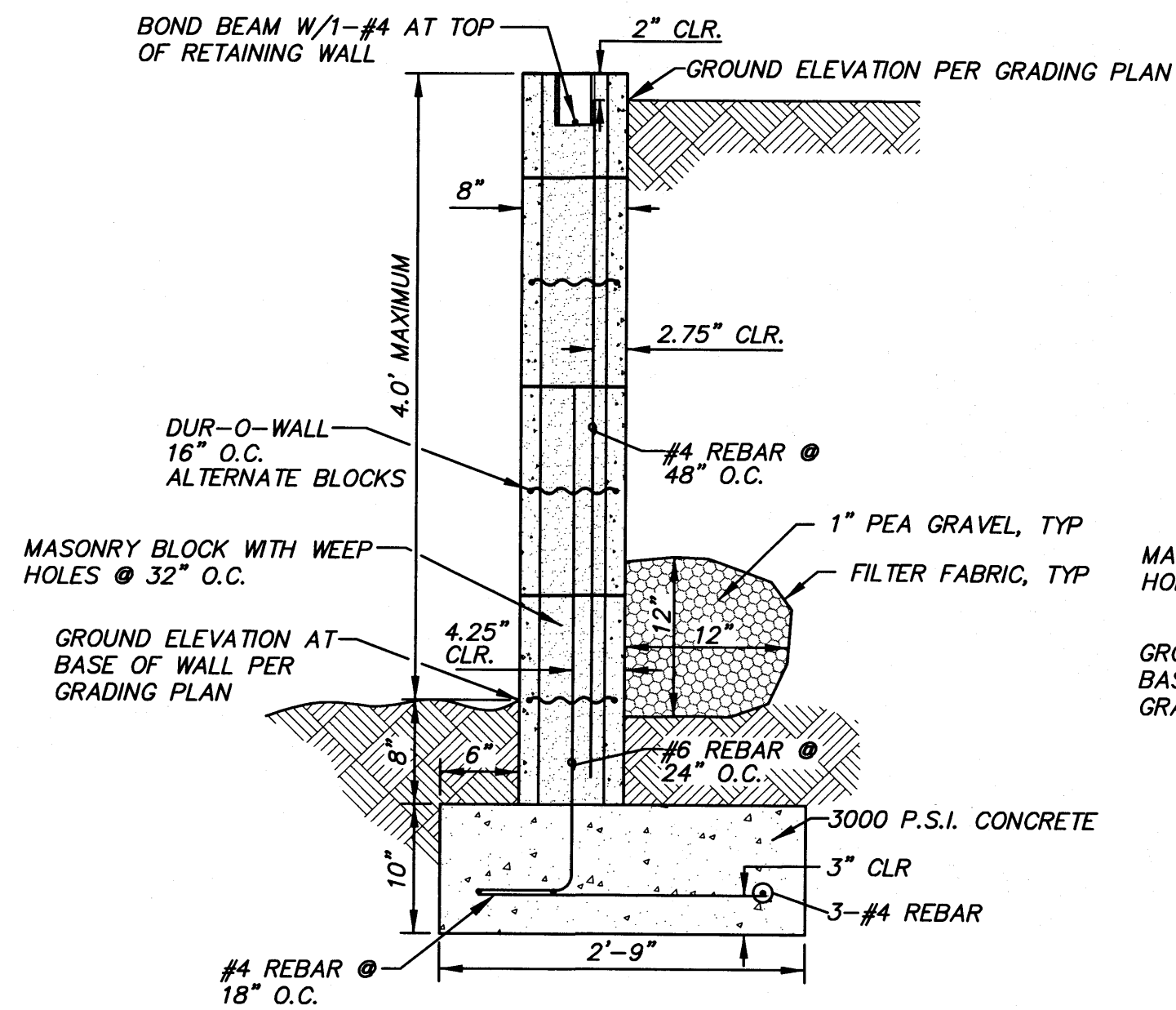
1. RETAINING WALLS ARE REQUIRED WHENEVER THE DIFFERENCE IN SURFACE ELEVATIONS EXCEED 1.50 FEET (2 EXPOSED CMU COURSES)
2. ALL MASONRY UNITS SHALL BE TYPE 1, GRADE N WITH A COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA). $F'_m=1500$ PSI
3. MORTAR SHALL BE TYPE S.
4. GROUT - $F'_c=2000$ PSI
5. CELLS CONTAINING REBAR SHALL BE GROUTED SOLID FROM THE BOTTOM TO THE TOP OF THE WALL IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.
6. PROVIDE PILASTERS AT 12' O.C. MAXIMUM, OR IF NO PILASTERS ARE USED, PROVIDE EXPANSION JOINTS AT 20' O.C.

7. THE BACK OF WALLS BELOW GRADE SHALL BE WATERPROOFED PRIOR TO BACKFILLING.
8. ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID.
9. LAP ALL REBAR 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.
10. ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND A LAP OF 48 BAR DIAMETERS OR 24" MINIMUM. VERTICAL STEEL SHALL CONTINUE THROUGH BOND BEAMS.
11. PROVIDE STANDARD TRUSS TYPE JOINT REINFORCING AT 16" O.C. (ALTERNATE COURSES). USE PREFABRICATED CORNERS AND TEES AT ALL WALL CORNERS AND INTERSECTIONS RESPECTIVELY.
12. MIN. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI.

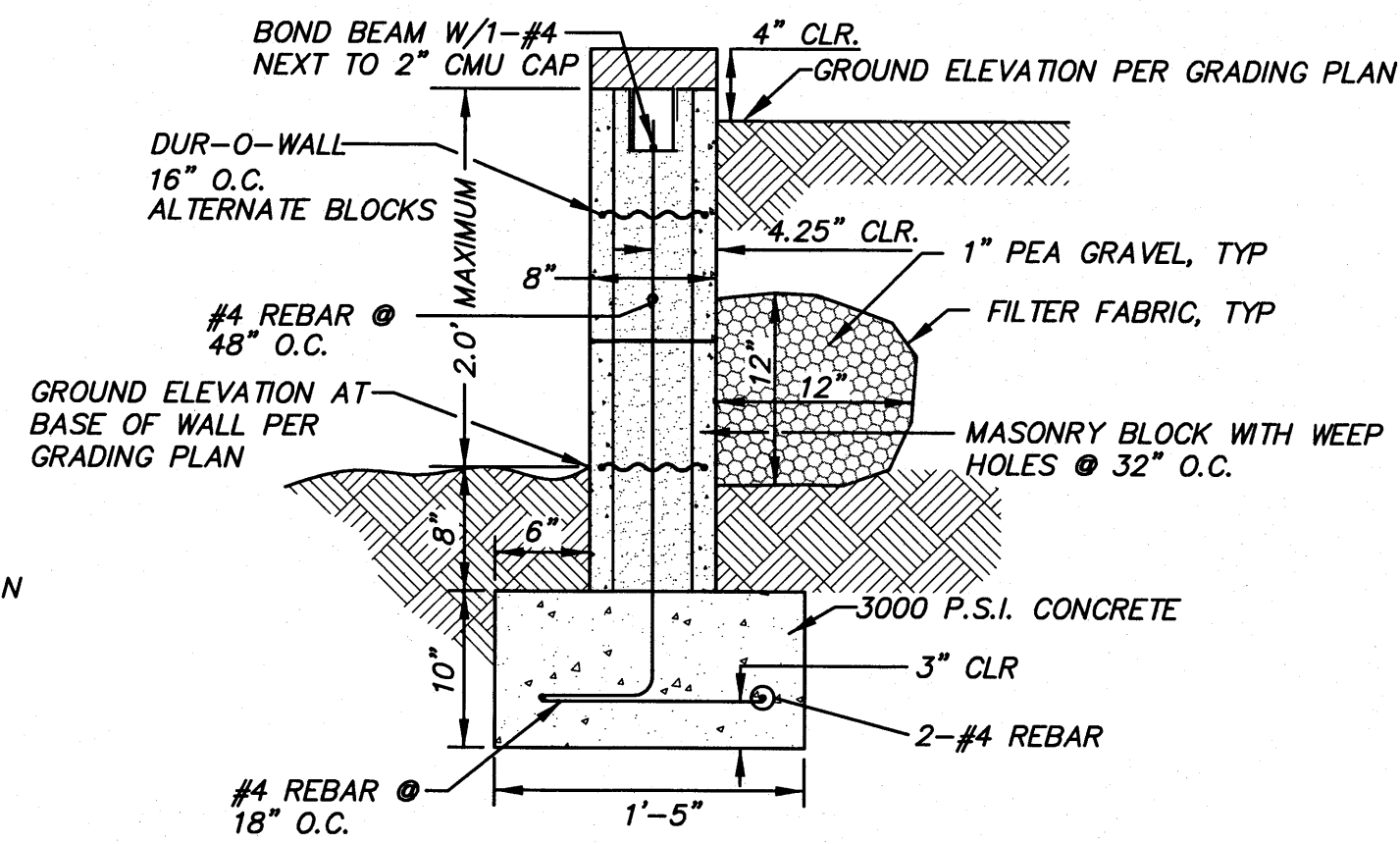
13. WEEPHOLES MAY BE PROVIDED BY ELIMINATING THE MORTAR BETWEEN EVERY OTHER JOINT OF THE SECOND COURSE OF BLOCK.
14. UNLESS OTHERWISE SPECIFIED ON THESE PLANS OR WITHIN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE, THE SUBGRADE UNDER FOOTING SHALL BE COMPACTED TO 95% ASTM D-1557, AND ALL BACKFILL SHALL BE COMPACTED TO 90% ASTM D-1557 IN NON-PAVED AREAS, AND 95% ASTM D-1557 IN PAVED AREAS.
15. REINFORCING STEEL SHALL COMFORM TO ASTM A-615, GRADE 60.
16. ALL RETAINING WALLS REPRESENTED ON THIS SHEET HAVE BEEN DESIGNED TO ACCEPT A 5' TO 6' PRIVACY WALL.
17. THE TOP COURSE OF RETAINING WALL SHOULD BE A 2" THICK SOLID MASONRY CAP UNLESS A PRIVACY WALL IS TO BE CONSTRUCTED ON TOP.



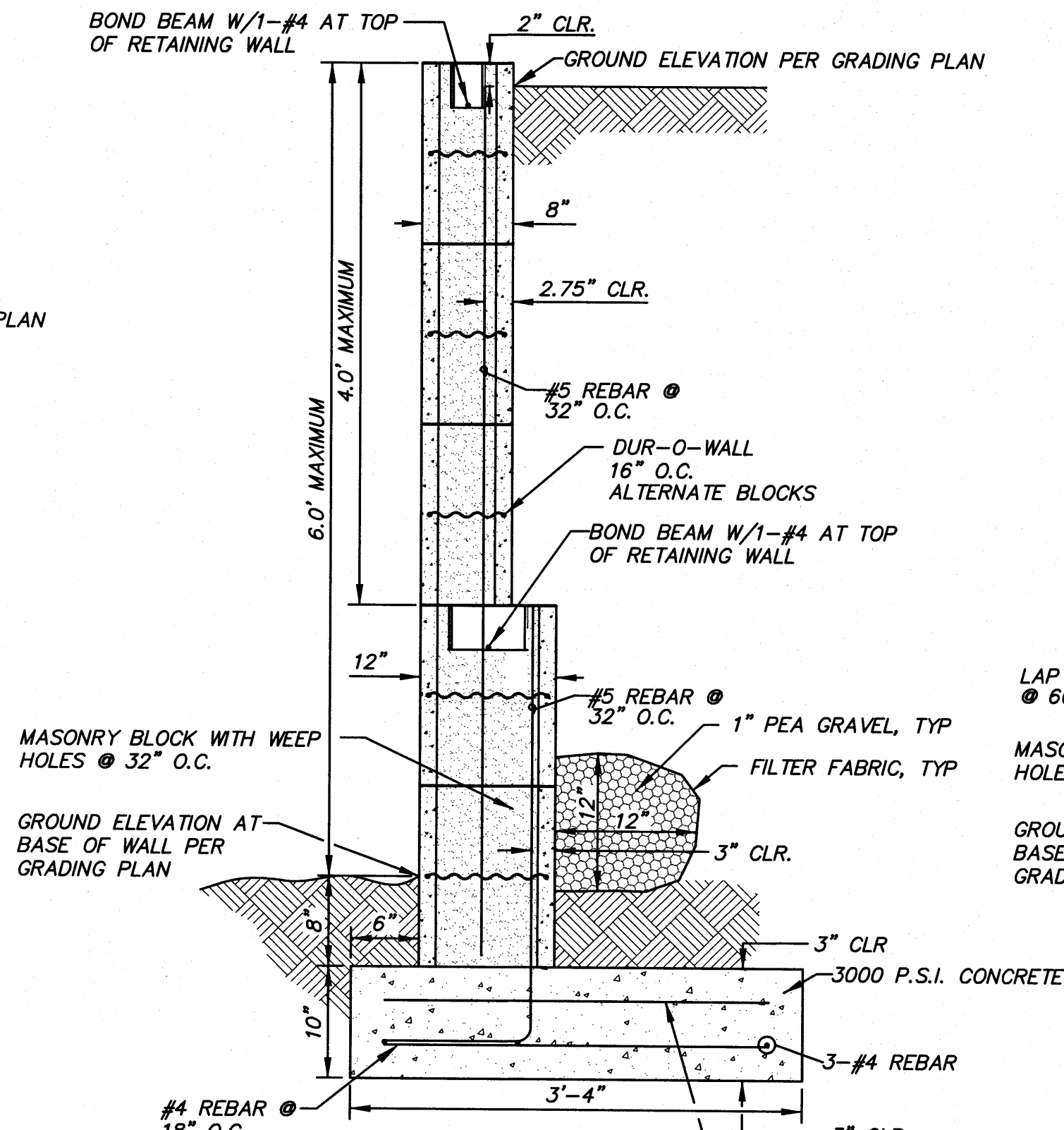
TYPE A & X RETAINING WALL W/PRIVACY WALL
UP TO 2'
TYPE X WALL - H < 1.5'
TYPE A WALL - H = 1.5' TO 2.0'



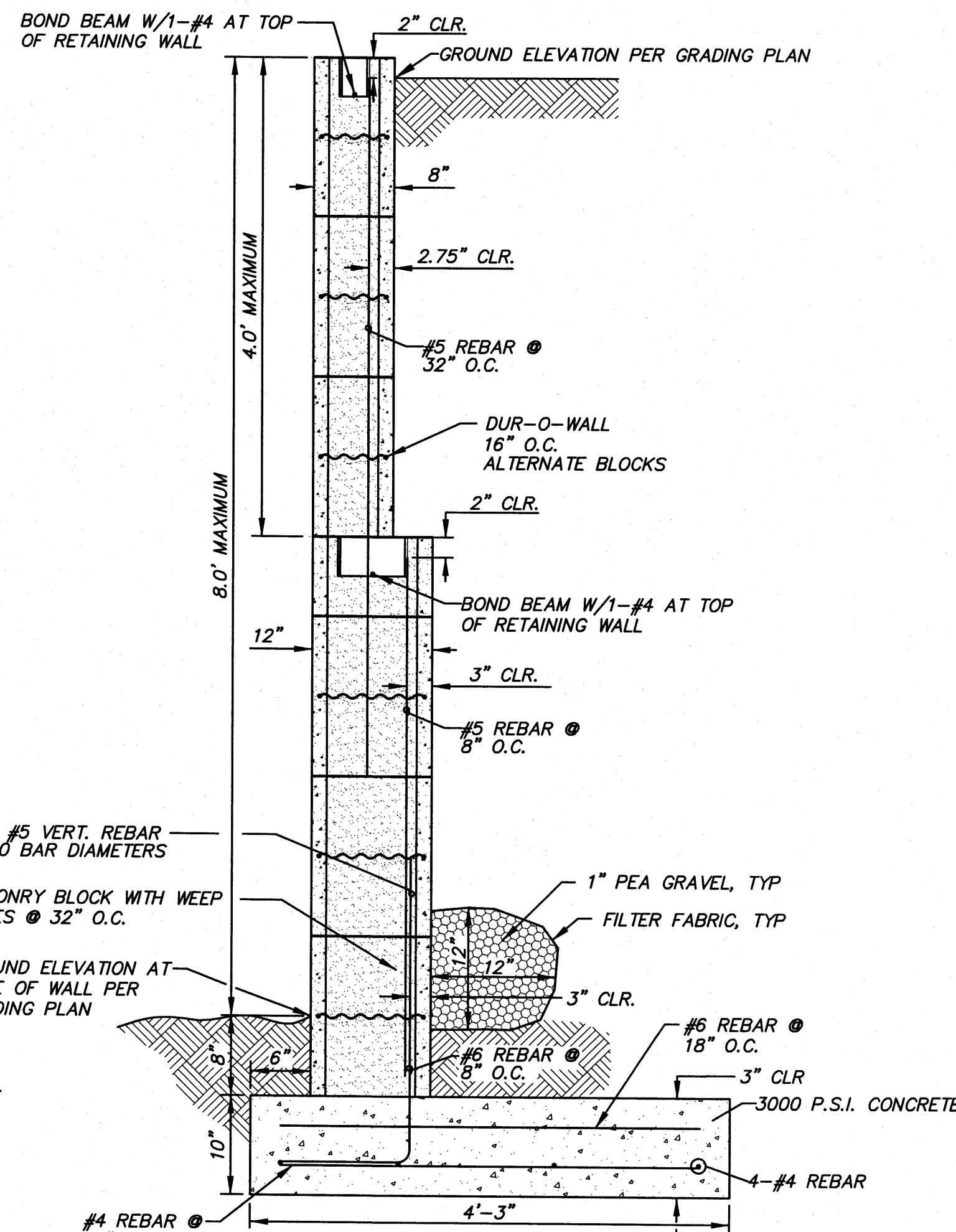
TYPE B-RETAINING WALL
2' TO 4'



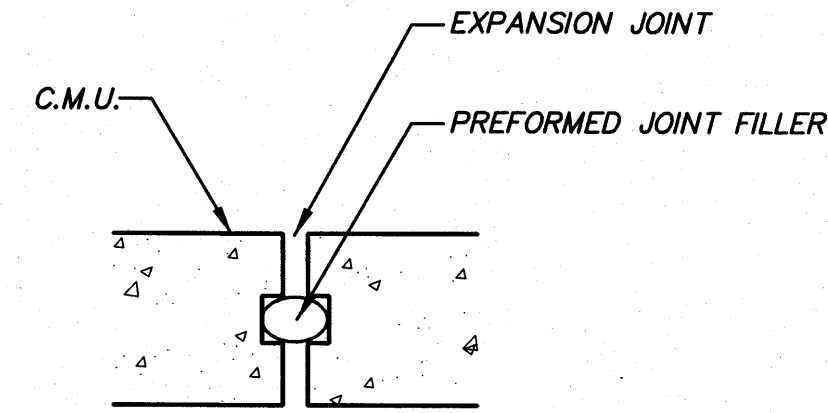
TYPE A & X RETAINING WALL
UP TO 2'
TYPE X WALL - H < 1.5'
TYPE A WALL - H = 1.5' TO 2.0'



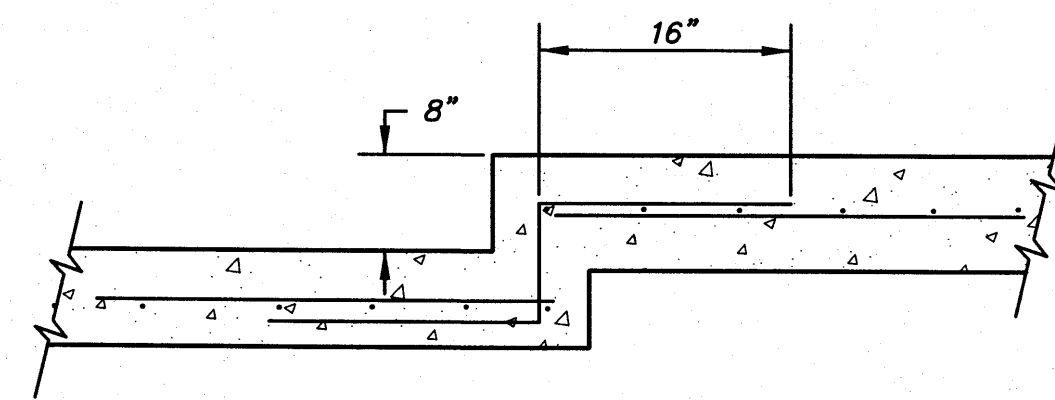
TYPE C-RETAINING WALL
4' TO 6'



TYPE D-RETAINING WALL
6' TO 8'



EXPANSION JOINT DETAIL
N.T.S.

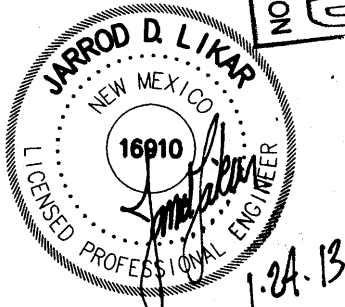


FOOTING STEP DETAIL
N.T.S.

RETAINING WALL DETAILS
GUARDIAN SELF STORAGE

Prepared for:
Guardian Storage VI, LLC
9221 Eagle Ranch Rd NW
Albuquerque, NM 87114

Prepared by:
HUITT-ZOLIARS
6501 Americas Parkway NE, Suite 550
Albuquerque, NM 87110



RUNOFF CALCULATIONS



Scale: 1" = 20'

NORTH

10 0 20 40



SHEET 4 OF 6

RUNOFF CALCULATIONS



RECEIVED
DEC 13 2013
LAND DEVELOPMENT SECTION

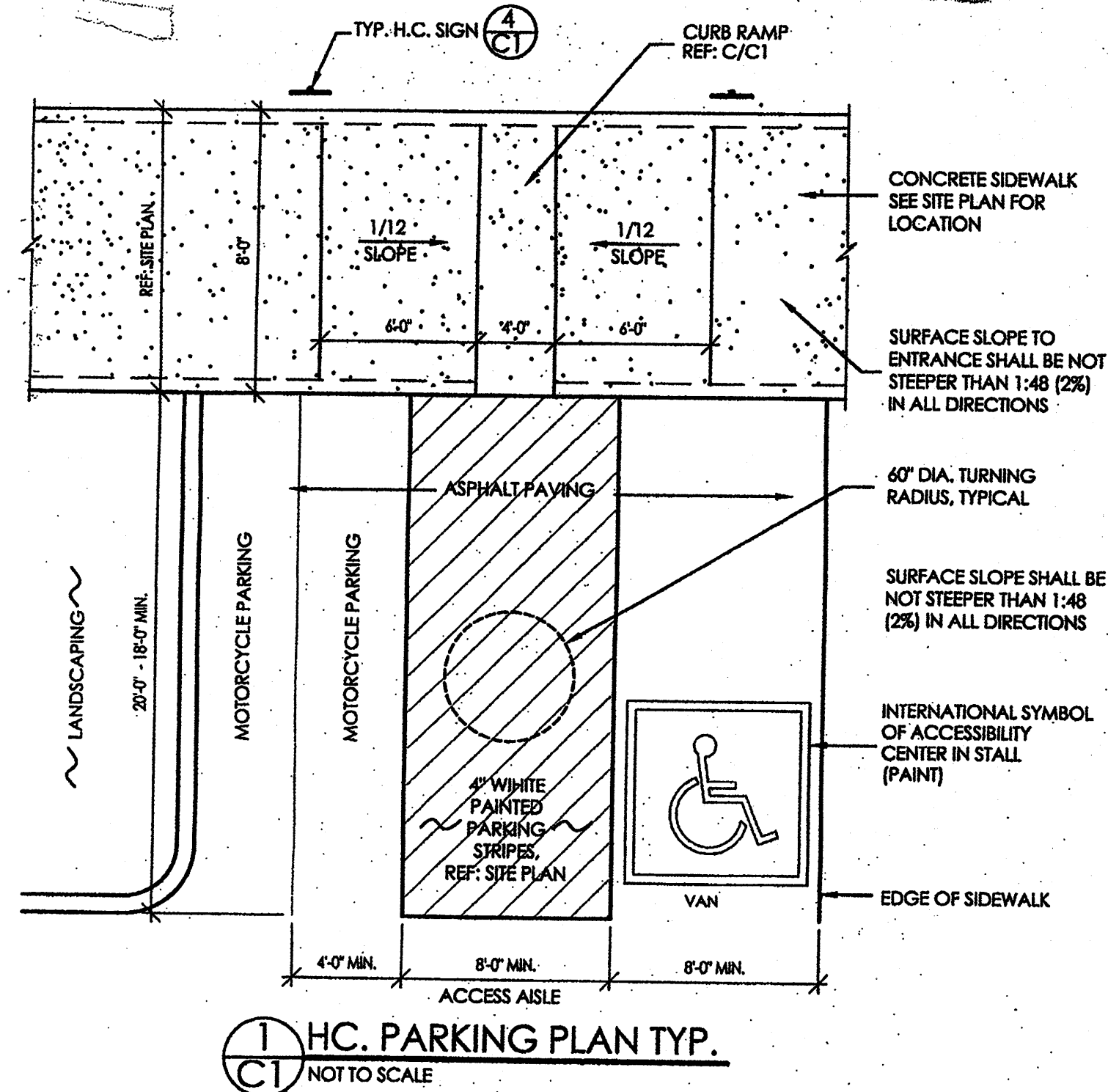
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NORTH

10 0 20 40



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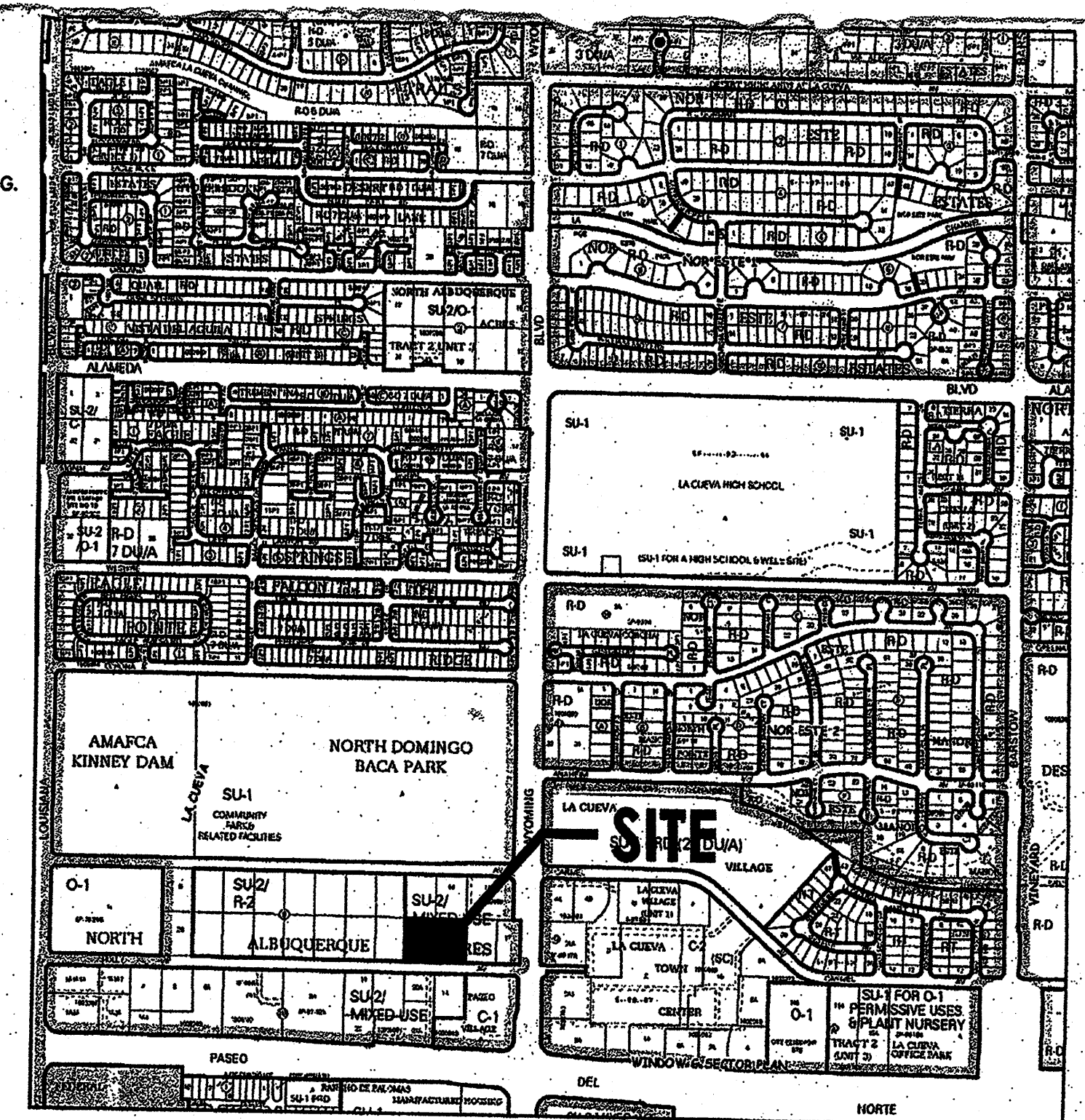
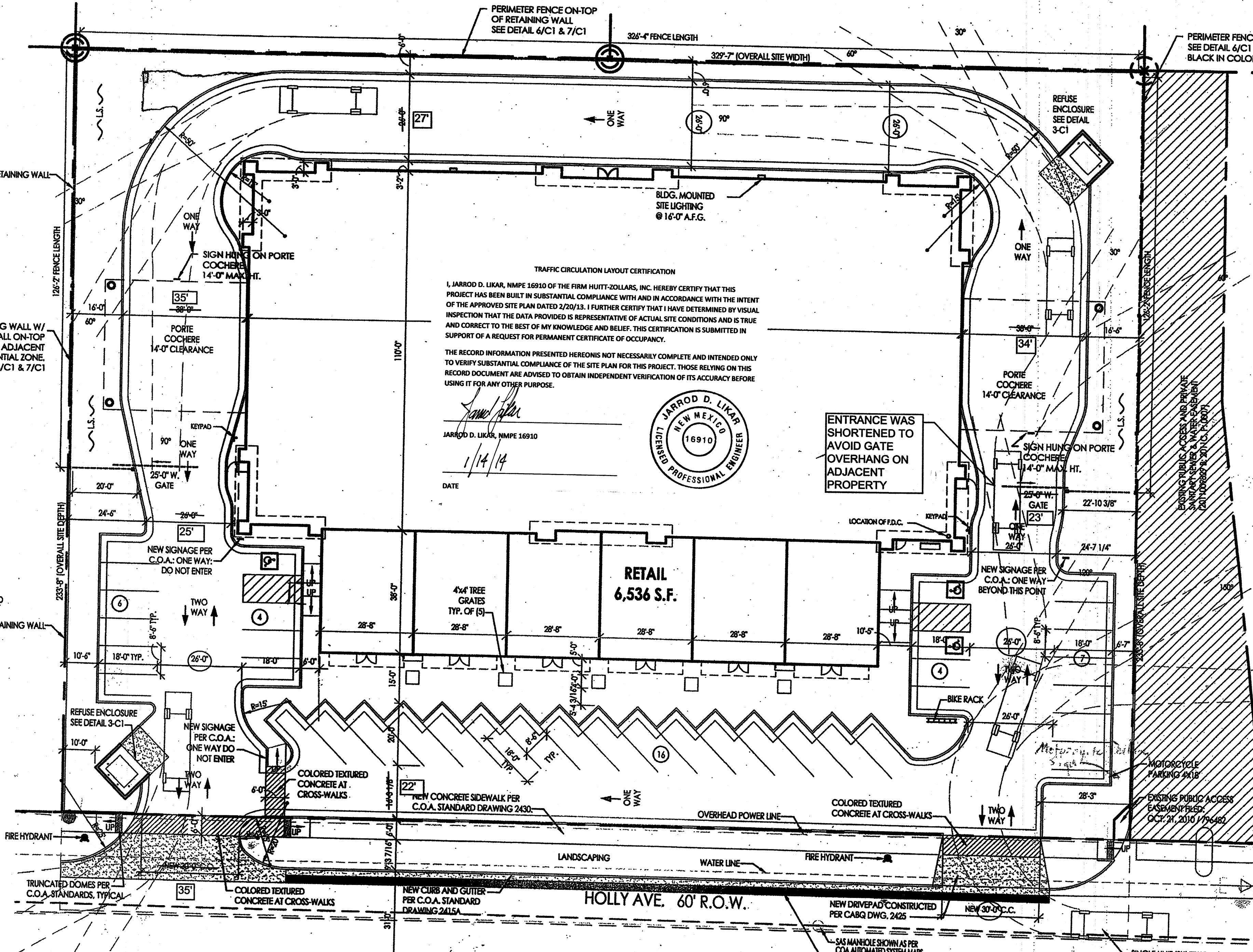
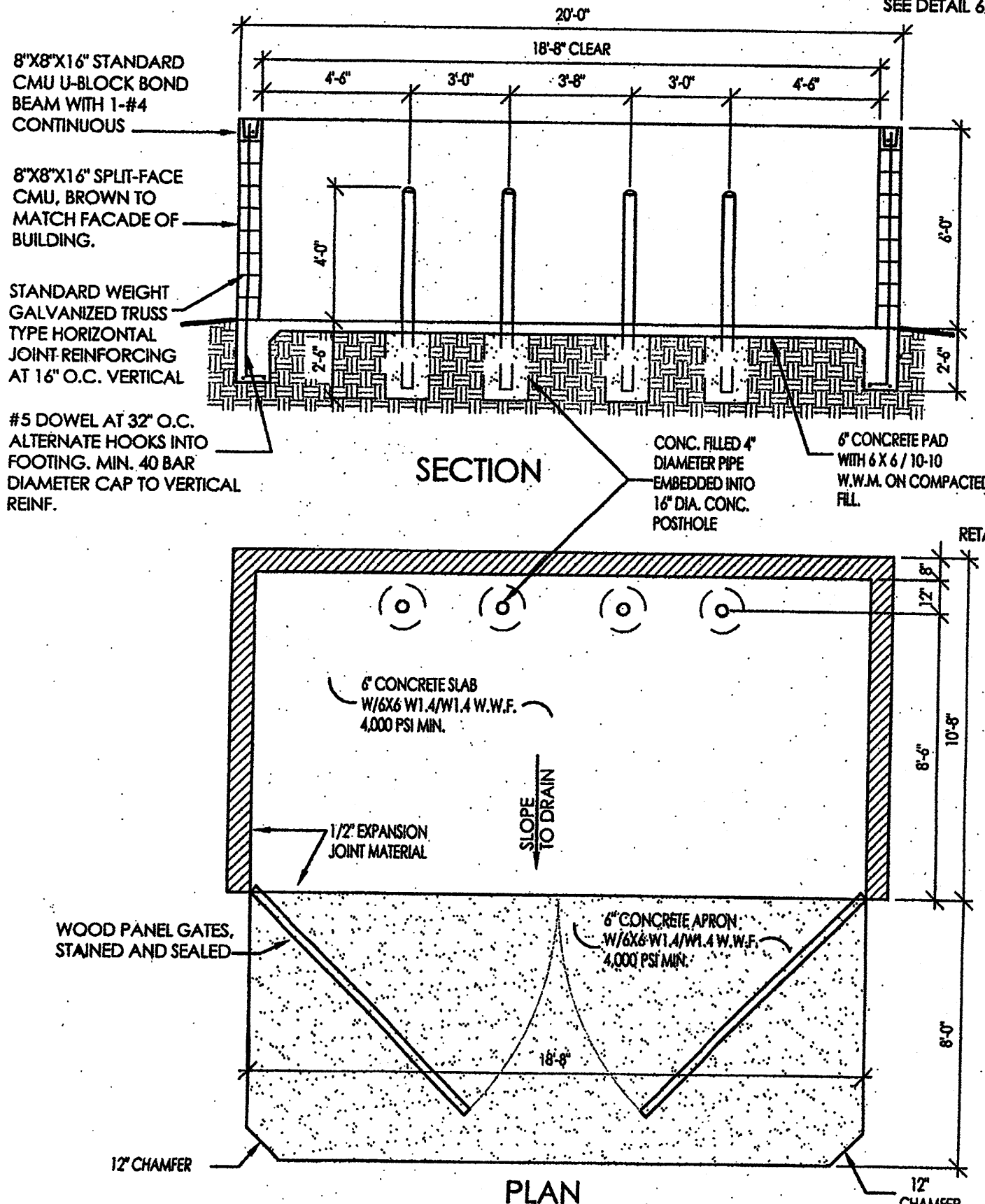
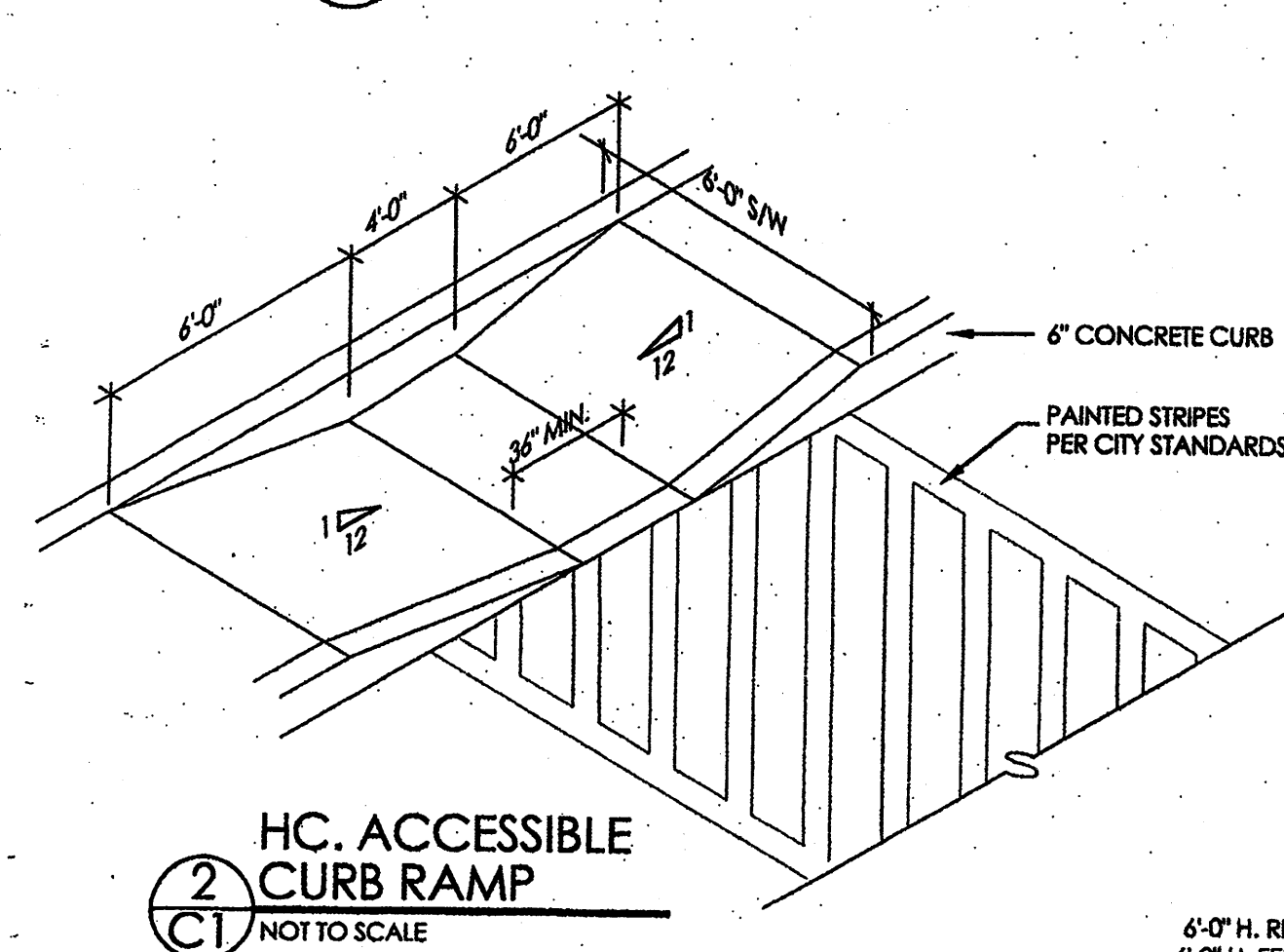


4 TYP. HC. SIGN DETAIL
SCALE: 1" = 1'-0"

5 CONCRETE CURB AND GUTTER
N.T.S.

6 SECTION @ RETAINING WALL
1" = 20'-0"

6 TYPICAL PERIMETER FENCE DETAIL
3/4" = 1'-0"



LEGAL DESCRIPTION: LOTS 19 & 20 BLOCK 9, NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3.
PROPOSED USE: 3-STORY STORAGE BUILDING WITH ONE BUILDING MOUNTED SIGN ALONG HOLLY AVE. WITH SINGLE STORY 6,536 S.F. RETAIL ALONG SOUTH SIDE OF BUILDING WITH FACADE MOUNTED SIGNS. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIAL.
MAXIMUM BUILDING HEIGHT: 36'-0" (MAX. ALLOWED IN SECTOR DEVELOPMENT PLAN)
MINIMUM BUILDING SETBACK: 20'-0" ALONG HOLLY AVE.
MAXIMUM FLOOR AREA RATIO: 77,026 / 30,736 = 39% FLOOR AREA RATIO

PARKING REQUIREMENTS:
RETAIL AREA = 6,536 S.F. / 200 = 33 REQUIRED SPACES
STORAGE BUILDING IS BASED ON TRIP GENERATION STUDY C: 179 TRIPS PER WEEKDAY. PARKING HAS BEEN DETERMINED BY NEEDS OF THIS FACILITY. ONE EMPLOYEE AND NO PERMANENT OCCUPANTS CONSTITUTES THE NEED FOR ONLY 4 REGULAR SPACES, 1 HANDICAPPED AND 1 MOTORCYCLE SPACE, WHICH HAVE BEEN PROVIDED.
PARKING PROVIDED = 37 SPACES INCLUDING 3 HANDICAPPED.
SITE LIGHTING: WILL BE COMPLIANT WITH THE ZONING CODE 14-16-3-9 & ALSO MAINTAIN COMPLIANCE WITH THE LA CUEVA SDP. BUILDING MOUNTED SIGNS ARE TO BE BACKLIT VANY. SIGNS.
BUILDING WILL COMPLY WITH SECTION 14-16-3-8(6) & 11R-3 OF THE ZONING CODE AND ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

PROJECT NUMBER: 1009245
Application Number: 13 DRB-70231

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 6/14/2012, and the Findings and Conditions in the Official Notification of Decision are satisfied.

is an Infrastructure List required? () Yes () No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	09-12-12
ABCWA	09/12/12
Parks and Recreation Department	9/12/12
City Engineer	2-20-13
Environmental Health Department (conditional)	
Solid Waste Management	10-2-2012
DRB Chairperson, Planning Department	2-20-13

ARCHITECTURAL SITE PLAN FOR BUILDING P GUARDIAN SELF STORAGE

Prepared for:
Guardian Storage VI, LLC
9221 Eagle Ranch Rd NW
Albuquerque, NM 87114

Prepared by:
Rick Bennett Archt
1104 Park Ave. SW
Albuquerque, NM

APD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRAUT(S) ONLY
REVISION DATE:
SEPTEMBER 6, 2013

Scale: 1" = 20'-0"

RB ARCHITECTURAL DESIGN