

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

November 03, 2017

Mike Walla, P.E.
Walla Engineering
6501 Americas Parkway, Suite 301
Albuquerque, NM 87110

RE: **Peak Motion Addition**
Grading and Drainage Plan
Engineer's Stamp Date 10/26/17
Hydrology File: C19D057

Dear Mr. Walla:

Based on the information provided in your submittal received 10/27/17, the Grading and Drainage Plan cannot be approved for Building Permit until the following comments are addressed.

1. This site is located in Precipitation Zone 3, not 4.
2. The Stormwater Quality volume for the additional impervious area needs to be quantified and retained on-site.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

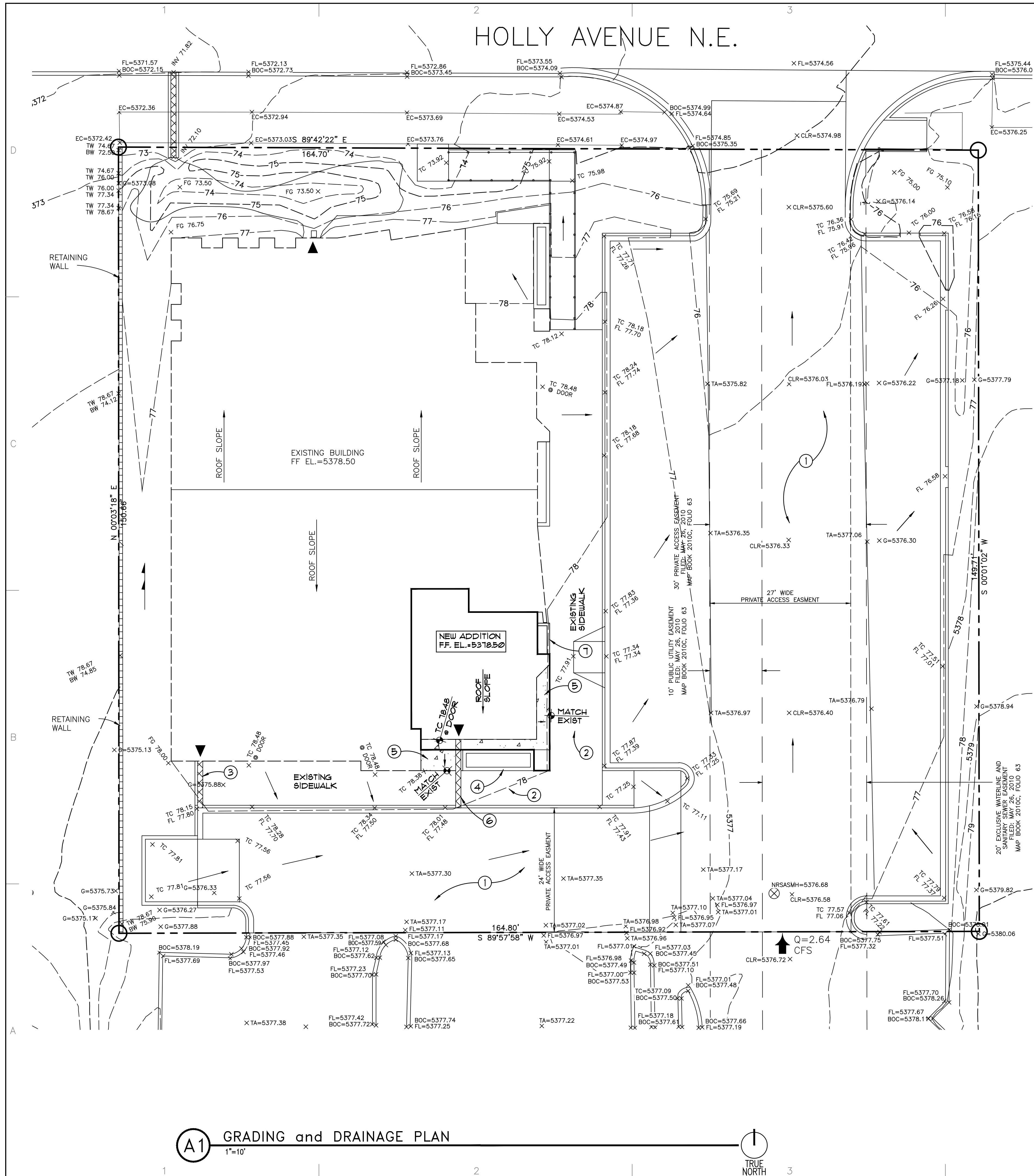
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

LEGAL DESCRIPTION

LOT 20-A, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5278.235. NAVD 1988

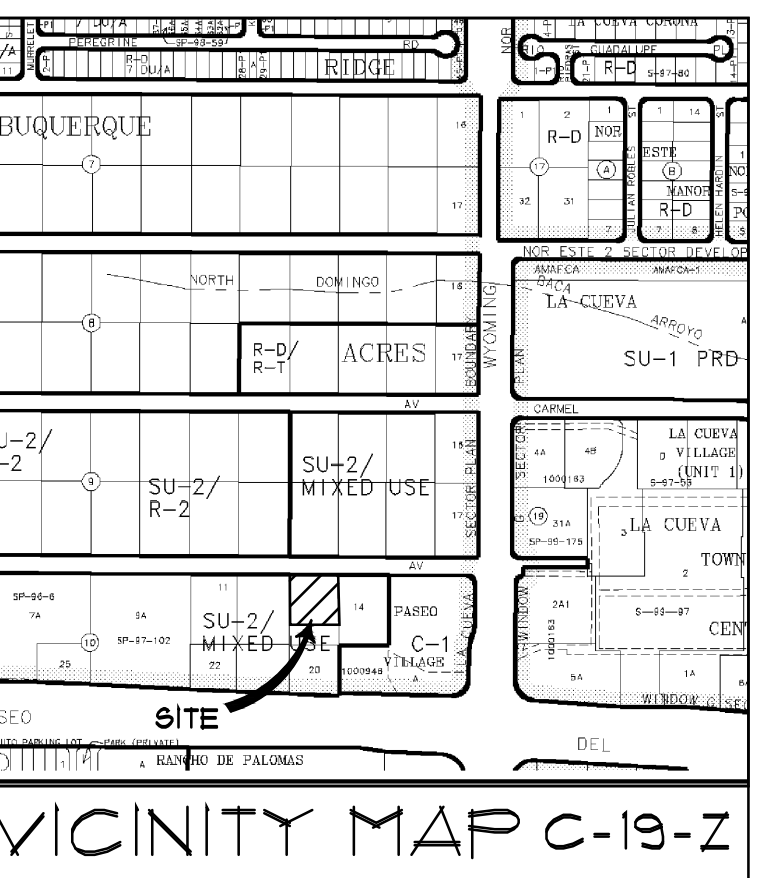
DESIGN NARRATIVE

THE SUBJECT PROJECT IS A SMALL, 150 SF, ADDITION TO AN EXISTING BUILDING. THE ORIGINAL BUILDING AND ADDITION ARE LOCATED ON A 0.56 ACRE DEVELOPED SITE THAT WAS CONSTRUCTED IN 2013. THE NEW ADDITION WILL REPLACE AN EXISTING LANDSCAPED AREA ON THE SITE AND WILL HAVE A ROOF DRAIN AND SIDEWALK CULVERT THAT DIRECTS STORM RUNOFF TO AN EXISTING PAVED PARKING AREA SOUTH OF THE BUILDING ADDITION. THIS RUNOFF WILL JOIN HISTORIC FLOWS THAT RUN TO HOLLY AVE. AND THEN ARE COLLECTED IN A RETENTION POND LOCATED WEST OF THE SITE ON THE NORTH SIDE OF HOLLY AVE. RUNOFF FROM ALL OF PROPERTIES ON HOLLY AVE. WEST OF WYOMING IS HANDLED IN THIS MANNER AND THE POND IS SIZED TO RETAIN THESE DEVELOPED FLOWS. THE PROJECT WILL NOT OTHERWISE CHANGE THE CURRENT STORM RUNOFF SCHEME ON THE SITE AND THE NET CHANGE TO CURRENTLY ESTABLISHED OUTFALL VOLUMES WILL ONLY BE MINIMALLY INCREASED AFTER THIS PROJECT IS COMPLETED. THE PREVIOUSLY APPROVED AND CERTIFIED GRADING & DRAINAGE PLAN FOR THE SITE WAS DATED 12/12/12 AND PREPARED BY WALLA ENGINEERING.

HYDROLOGY CALCULATIONS

EXISTING CONDITIONS		PRECIPITATION ZONE 4 DESIGN STORM: (IN)									
		LAND AREA (ACRE)	TRMTNT	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)	
A	0.000	0%	0.80	2.20	0.00	0	0	0	0	0	
B	0.105	18%	1.08	2.92	0.31	412	412	412	412	412	
C	0.000	0%	1.46	3.73	0.00	0	0	0	0	0	
D	0.463	82%	2.64	5.25	2.43	4,437	5,698	7,462	9,563		
TOTALS		0.568	100%		2.74	4,849	6,109	7,874	9,975		

PROPOSED CONDITIONS		LAND AREA (ACRE)	TRMTNT	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)	
		AREA	%								
A	0.000	0%	0.80	2.20	0.00	0	0	0	0	0	
B	0.088	15%	1.08	2.92	0.26	345	345	345	345	345	
C	0.000	0%	1.46	3.73	0.00	0	0	0	0	0	
D	0.480	85%	2.64	5.25	2.52	4,600	5,907	7,736	9,914		
TOTALS		0.568	100%		2.78	4,945	6,252	8,081	10,259		



KEYED NOTES

- 1 EXISTING ASPHALT PAVING TO REMAIN
- 2 EXISTING SIDEWALK TO REMAIN - PROTECT DURING NEW CONSTRUCTION
- 3 EXISTING SIDEWALK CULVERT
- 4 EXISTING PLANTER TO REMAIN - PROTECT DURING NEW CONSTRUCTION
- 5 NEW 4" THICK, 4000 PSI CONCRETE WALK OVER 12" OF SCARIFIED AND COMPACTED SUBGRADE
- 6 NEW 1'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DETAIL • 2236
- 7 NEW PLANTER - SEE ARCHITECTURAL

LEGEND

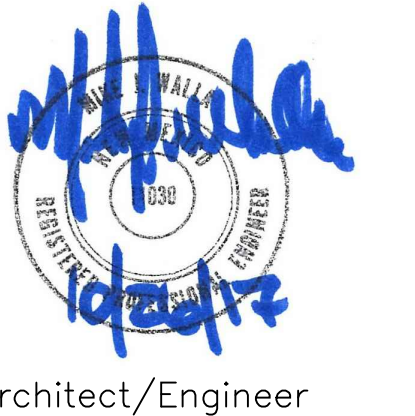
- PROPERTY LINE
- NEW BUILDING LINE
- 5375--- EXISTING CONTOUR
- 75--- NEW CONTOUR
- X FL 76.91 EXISTING SPOT ELEVATION
- 75.00 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- TW TOP OF WALL
- BU BOTTOM OF WALL
- FL FLOW LINE
- TG TOP OF GRATE
- INV INVERT
- NEW CONCRETE PAVING
- ROOF DRAIN LOCATION
- SWALE

ARIA

STUDIO CONSULTANTS, INC

PO BOX 1515
CEDAR CREST NM, 87008
DANIEL@ARIASCINC.COM
(505) 506-2314

PEAK MOTION
7424 HOLLY AVENUE NE
ALBUQUERQUE, NM



MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	PERMIT SET	
PROJECT NO	1709	
CAD DWG FILE	C101.DWG	
DRAWN BY	LEK	
CHECKED BY	MJW	
DATE	10/26/17	

GRADING and
DRAINAGE PLAN

C101