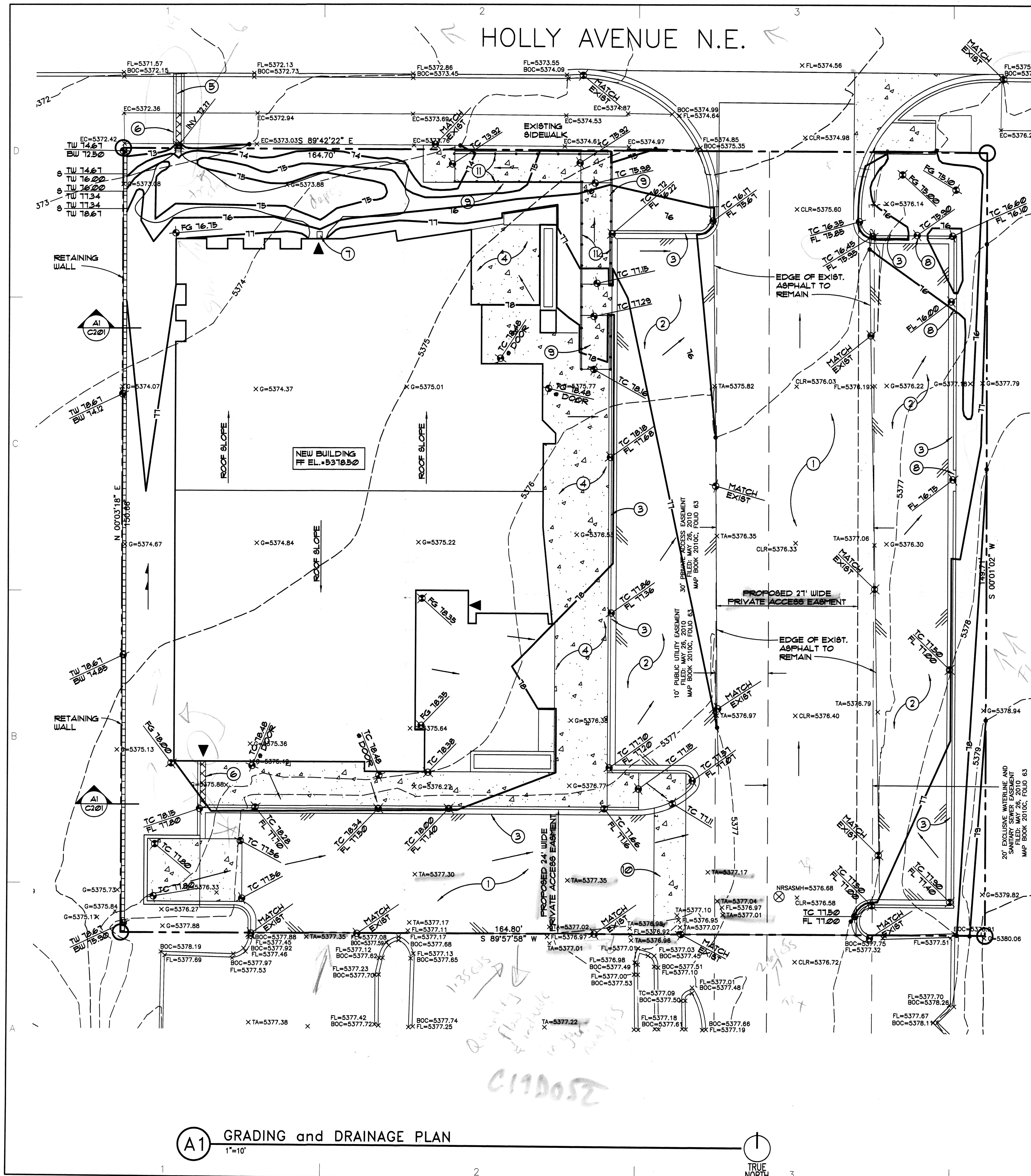
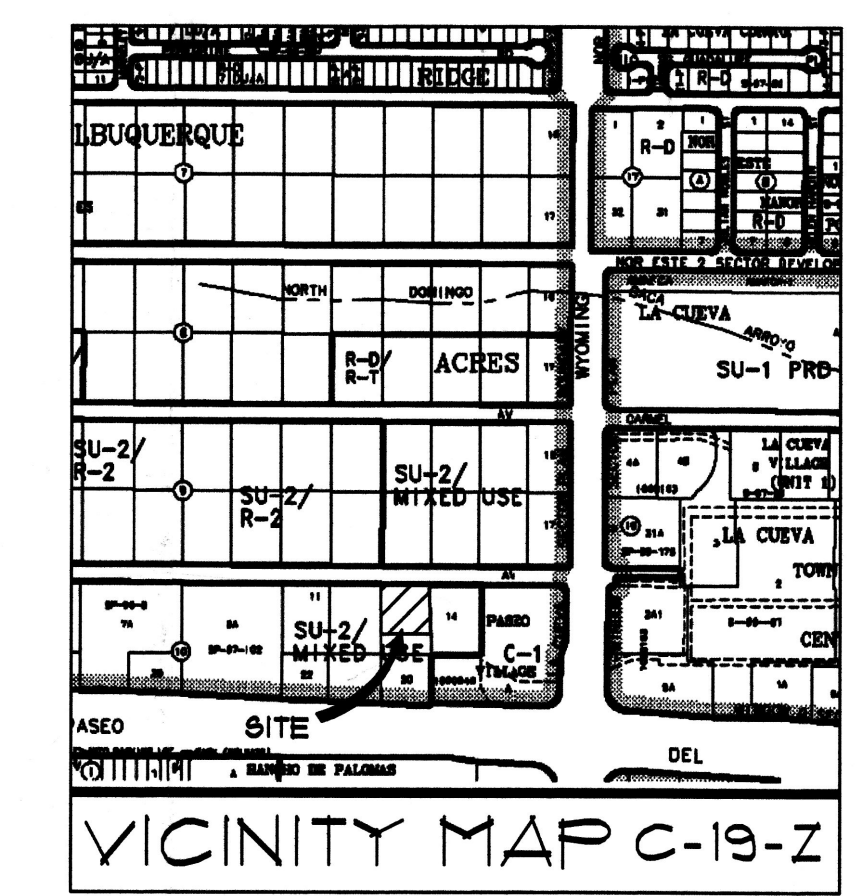




LEGAL DESCRIPTION
LOT 20-A, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5278.235



- KEYED NOTES**
- EXISTING ASPHALT PAVING TO REMAIN
 - NEW AC PAVING PER DETAIL A3/C201
 - NEW CONCRETE CURB AND GUTTER PER DETAIL A3/C201
 - NEW CONCRETE WALK PER DETAIL A4/C201
 - NEW 12" WIDE CONCRETE DRAINAGE TRENCH PER DETAIL B1/C201
 - SIDEWALK CULVERT PER C.O.A. STD. DRAWING 2236
 - FLASH BLOCK
 - 4' WIDE DRAINAGE BLOCK OUT AT CURB
 - ACCESS RAMP PER DETAILS B2/C201 & B4/C201
 - 6" THICK, 4000 PSI AIR-ENTRAINED CONC. REINFORCED WITH #4 BARS @ 12" O.C. EACH WAY OVER AGGREGATE BASE COURSE OVER SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY
 - HANDRAIL - SEE ARCHITECTURAL DRAWINGS

DESIGN NARRATIVE

THIS SITE IS 0.56 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR A RETAIL BUILDING AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSIDE STREET DRAIN FACILITIES IN HOLLY AVE. RUNOFF WILL BE DIRECTED NORTH AND WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED DRIVE AND VIA A SIDEWALK CULVERT AND CONCRETE RUNDOWN. ROOF DRAINAGE WILL BE COLLECTED AT THE NORTH AND SOUTH SIDE OF THE RETAIL BUILDING VIA SCUPPERS AND DOWNSPOUTS DUMPING ON THE SURFACE PAVING OR SPLASH BLOCKS. NO SIGNIFICANT RUNOFF VOLUME WILL ENTER THIS SITE FROM THE EAST ADJACENT PROPERTY BUT THE NEW PAVING WILL MATCH EXISTING GRADES AT THE SOUTH PROPERTY LINE TO ACCEPT HISTORIC FLOW FROM THE SOUTH OF THE SUBJECT SITE AND CONVEY HISTORIC FLOW TO HOLLY AVE.

- EROSION CONTROL PLAN**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING NIDES PERMIT FOR THE SITE, IF NECESSARY.

LEGEND

---	PROPERTY LINE
---	NEW BUILDING LINE
---	EXISTING CONTOUR
---	NEW CONTOUR
X FL 78.91	EXISTING SPOT ELEVATION
15.000	NEW SPOT ELEVATION
---	NEW FLOW DIRECTION ARROW
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE OR CURB
FG	FINISHED GRADE
TW	TOP OF WALL
BU	BOTTOM OF WALL
FL	FLOW LINE
TG	TOP OF GRATE
INV	INVERT
[Pattern]	NEW CONCRETE PAVING
[Pattern]	NEW AC PAVING
[Symbol]	ROOF DRAIN LOCATION
[Symbol]	SWALE

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4 DESIGN STORM: (IN)

1hr	2hr	24hr	4day	10day
2.23	2.92	3.65	4.70	5.95

EXISTING CONDITIONS

LAND TRMT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.00	2.20	0.00	0	0	0
B	0.425	15%	1.08	2.92	1.24	1.666	1.666	1.666
C	0.000	0%	1.46	3.73	0.00	0	0	0
D	0.143	25%	2.64	5.25	0.15	1.310	1.760	2.305
TOTALS	0.568	100%		1.93	3.037	3.426	3.971	4.620

PROPOSED CONDITIONS

LAND TRMT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.00	2.20	0.00	0	0	0
B	0.105	18%	1.08	2.92	0.31	4.12	4.12	4.12
C	0.000	0%	1.46	3.73	0.00	0	0	0
D	0.463	82%	2.64	5.25	2.43	5.638	7.462	9.563
TOTALS	0.568	100%		2.74	4.849	6.109	7.874	9.975

A1 GRADING and DRAINAGE PLAN
1"=10'

ARIA ARCHITECTURE
3503 Central Avenue NE, Suite D
Albuquerque, NM 87106
505.506.2314 505.573.5583
www.AriaArchitecture.com

PEAK MOTION
7424 HOLLY AVENUE NE
ALBUQUERQUE, NM

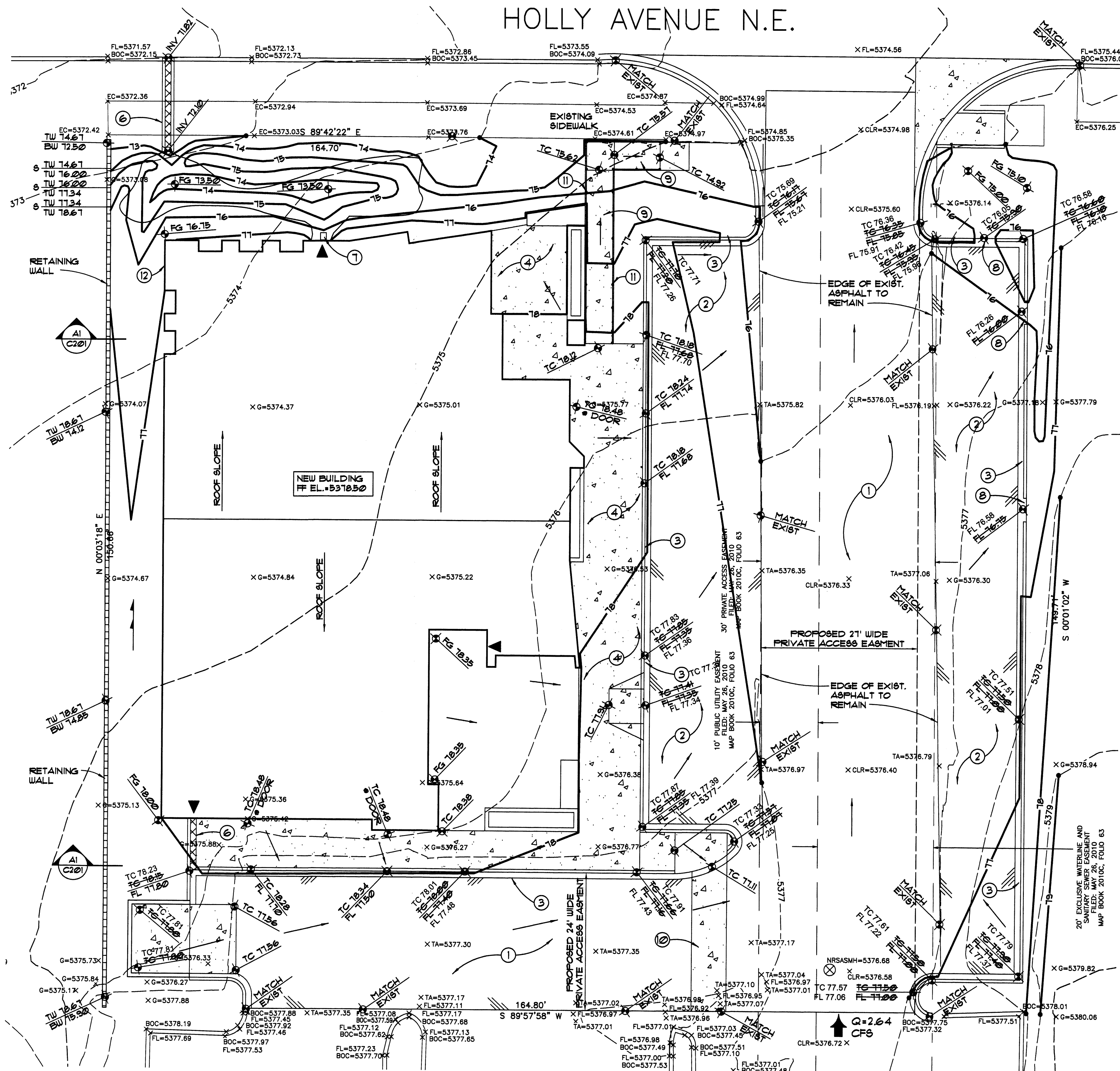
Walla Engineering, Inc.
Structural Engineering
Civil Engineering
1100 Indian School Road NE, Suite 210
Albuquerque, NM 87110
881-3008 • Facsimile 881-4025

MARK	DATE	DESCRIPTION
ISSUE		BUILDING PERMIT
PROJECT NO		1209
CAD DWG FILE		C101.DWG
DRAWN BY		LEK
CHECKED BY		MJW
DATE		11/19/12

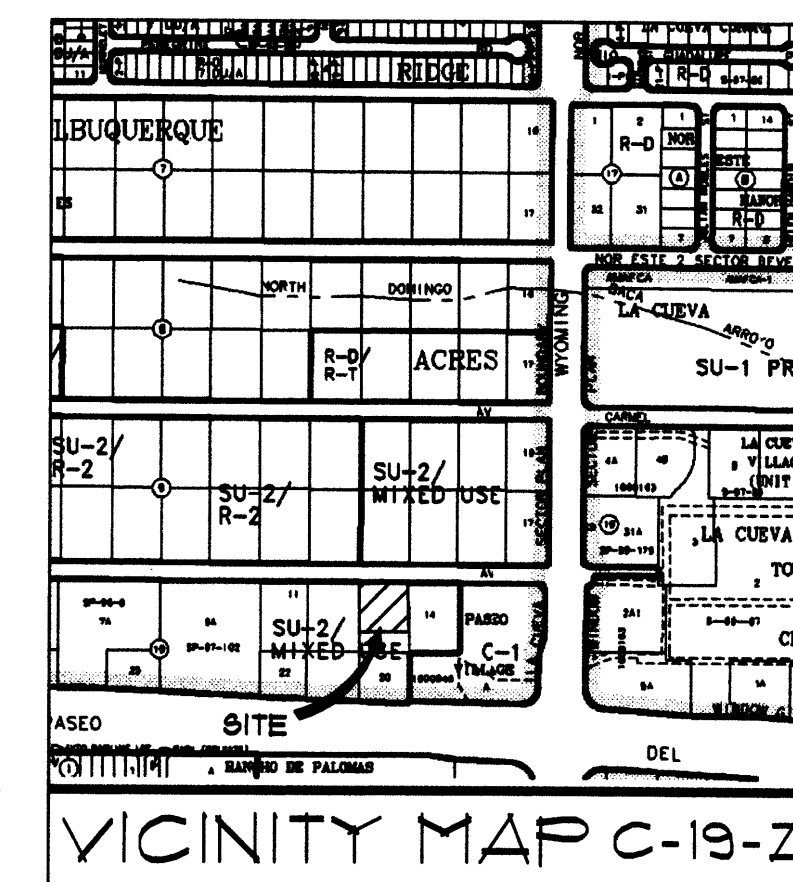
GRADING and DRAINAGE PLAN

C101

HOLLY AVENUE N.E.



- DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR**
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



KEYED NOTES

- EXISTING ASPHALT PAVING TO REMAIN
- NEW AC PAVING PER DETAIL A3/C201
- NEW CONCRETE CURB AND GUTTER PER DETAIL A2/C201
- NEW CONCRETE WALK PER DETAIL A4/C201
- NEW 12" WIDE CONCRETE DRAINAGE TRENCH PER DETAIL B1/C201 - EXTEND 2'-0" SOUTH OF PROPERTY LINE
- SIDEWALK CULVERT PER C.O.A. STD. DRAWING #2236
- FLASH BLOCK
- 4" WIDE DRAINAGE BLOCK OUT AT CURB
- ACCESS RAMP PER DETAILS B2/C201 & B4/C201
- 6" THICK, 4000 PSI AIR-ENTRAINED CONC. REINFORCED WITH #4 BARS @ 12" O.C. EACH WAY OVER AGGREGATE BASE COURSE OVER SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY
- HANDRAIL - SEE ARCHITECTURAL DRAWINGS
- BUILDING RETAINING STEMWALL REQUIRED - SEE STRUCTURAL

DESIGN NARRATIVE

THIS SITE IS 0.56 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR A RETAIL BUILDING AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSIDE STORM DRAIN FACILITIES IN HOLLY AVE. RUNOFF WILL BE DIRECTED NORTH AND WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED DRIVE AND VIA A SIDEWALK CULVERT AND CONCRETE RUNDOWN. ROOF DRAINAGE WILL BE COLLECTED AT THE NORTH AND SOUTH SIDE OF THE RETAIL BUILDING VIA CULVERTS AND DOWNSPOUTS DUMPING ON THE SURFACE PAVING OR FLASH BLOCKS. NO SIGNIFICANT RUNOFF VOLUME WILL ENTER THIS SITE FROM THE EAST ADJACENT PROPERTY BUT THE NEW PAVING WILL MATCH EXISTING GRADES AT THE SOUTH PROPERTY LINE TO ACCEPT HISTORIC FLOW FROM THE SOUTH OF THE SUBJECT SITE AND CONVEY HISTORIC FLOW TO HOLLY AVE.

EROSION CONTROL PLAN

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
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LEGAL DESCRIPTION

LOT 20-A, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5218.235. NAVD 1988

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4 DESIGN STORM: (IN)									
	1hr	6hr	24hr	4day	10day				
	2.23	2.90	3.65	4.10	5.95				
EXISTING CONDITIONS									
LAND AREA	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY	
TRT-INT (ACRE)	%	(CF8/AC)	(CF8)	(CF)	(CF)	(CF)	(CF)	(CF)	
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.425	75%	1.08	2.82	1.24	1.666	0	1.666	0
C	0.000	0%	1.46	3.13	0.00	0	0	0	1.666
D	0.143	25%	2.64	5.25	0.75	1.310	1.160	2.305	2.954
TOTALS	0.568	100%			1.99	3.031	3.426	3.911	4.620
PROPOSED CONDITIONS									
LAND AREA	AREA	P6	Q	Q	V6	V24	V4DAY	V10DAY	
TRT-INT (ACRE)	%	(CF8/AC)	(CF8)	(CF)	(CF)	(CF)	(CF)	(CF)	
A	0.000	0%	0.80	2.20	0.00	0	0	0	0
B	0.105	18%	1.08	2.82	0.31	0.412	0.412	0.412	0.412
C	0.000	0%	1.46	3.13	0.00	0	0	0	0
D	0.463	82%	2.64	5.25	2.43	4.431	5.698	7.462	9.563
TOTALS	0.568	100%			2.74	4.843	6.109	7.874	9.975

OFFSITE FLOW (100 YR STORM) 2.64 CF8 FROM DEVELOPMENT SOUTH OF THE SITE - SEE MARIO'S RESTAURANT-SHOPS G4D PLAN DATED 4-19-11

ENGINEERS CERTIFICATION

I, MIKE WALLA NPIE 10300, OF THE FIRM WALLA ENGINEERING LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-12-12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM JASON D. SMITH, NPIE 61122. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5-3-13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MIKE WALLA
NPIE 10300
REGISTERED PROFESSIONAL ENGINEER

A1 GRADING and DRAINAGE PLAN

1"=10'



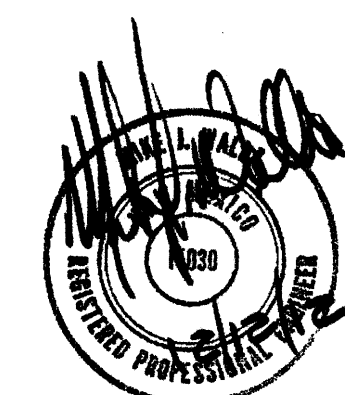
DATE 5/6/13

ARIA

ARCHITECTURE

3503 Central Avenue NE, Suite D
Albuquerque, NM 87106
505.506.2314 505.573.5583
www.AriaArchitecture.com

PEAK MOTION
7424 HOLLY AVENUE NE
ALBUQUERQUE, NM



Walla
ENGINEERING LTD.
Structural Engineering
Civil Engineering

6100 Indian School Road NE, Suite 210
Albuquerque, NM 87110
505-508-1111 Fax 505-508-1025

MARK	DATE	DESCRIPTION

ISSUE	BUILDING PERMIT
PROJECT NO	1209
CAD DWG FILE	C101.DWG
DRAWN BY	LEK
CHECKED BY	MJW
DATE	12/12/12

GRADING and
DRAINAGE PLAN

C101

ARIA

ARCHITECTURE

3503 Central Avenue NE, Suite D
Albuquerque, NM 87106
505.506.2314 505.573.5583
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PEAK MOTION
7424 HOLLY AVENUE NE
ALBUQUERQUE, NM



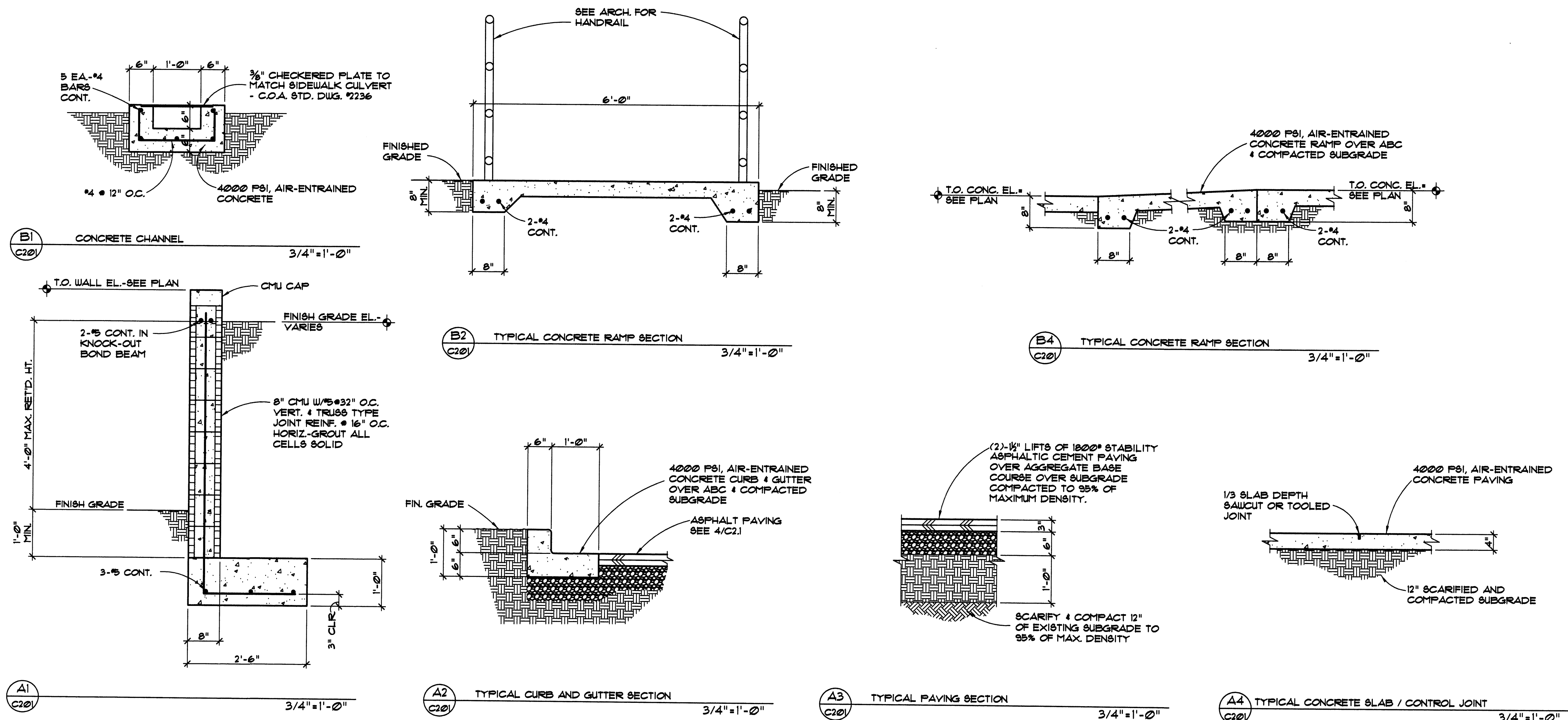
Walla ENGINEERING, LTD.
Structural Engineering
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1100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3008 • Facsimile 881-4028

MARK	DATE	DESCRIPTION
REVISIONS		

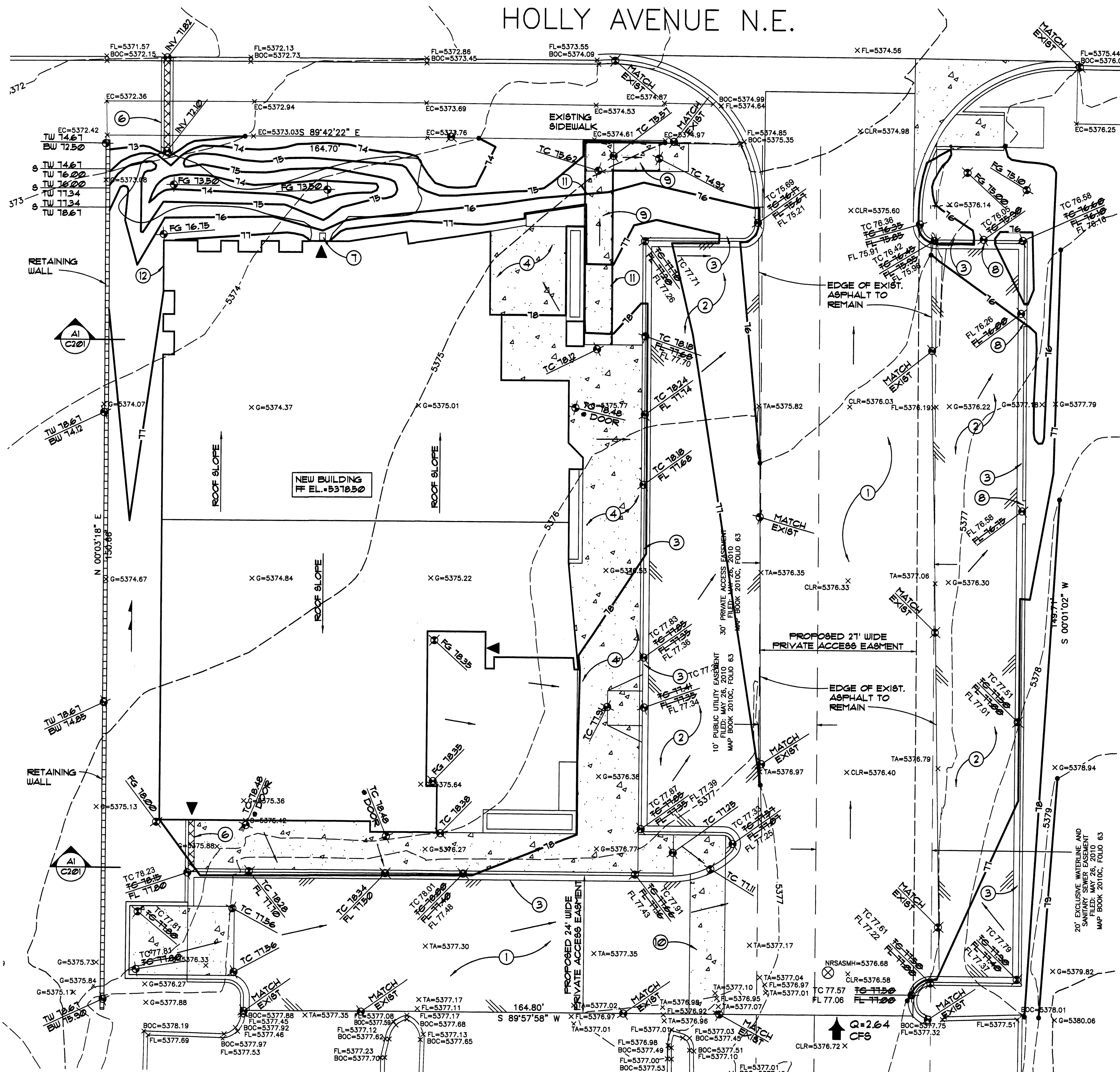
ISSUE	BUILDING PERMIT
PROJECT NO	1209
CAD DWG FILE	C201.DWG
DRAWN BY	
CHECKED BY	
DATE	12/12/12

CIVIL DETAILS

C201



HOLLY AVENUE N.E.



CERTIFICATION EXCEPTIONS

EXCEPTIONS: THE SIDEWALK CULVERT • HOLLY IS 9" WIDE IN LIEU OF THE SPECIFIED 12" WIDTH BUT HAS ADEQUATE CAPACITY TO CONVEY ANTICIPATED DESIGN FLOWS. ALSO THE CULVERT COVER DOES NOT EXCEED THE REQUIRED 2'-0" ONTO THE SUBJECT SITE BUT IS ACCEPTABLE AS CONSTRUCTED.

ENGINEER'S CERTIFICATION

I, MIKE WALLA, NMP# 11030, OF THE FIRM WALLA ENGINEERING, L.P., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINAGE IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-12-12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM JASON D. SMITH, NMP# 11022. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-3-13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY.



DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

DESIGN NARRATIVE

THIS SITE IS 0.56 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR A RETAIL BUILDING AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSIDE STREET DRAIN FACILITIES IN HOLLY AVE. RUNOFF WILL BE DIRECTED NORTH AND WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED DRIVE AND VIA A SIDEWALK CULVERT AND CONCRETE RUNDOWN. ROOF DRAINAGE WILL BE COLLECTED AT THE NORTH AND SOUTH SIDE OF THE RETAIL BUILDING VIA SCUPPERS AND DOWNSPOUTS DUMPING ON THE SURFACE PAVING OR SPLASH BLOCKS. NO SIGNIFICANT RUNOFF VOLUME WILL ENTER THIS SITE FROM THE EAST ADJACENT PROPERTY BUT THE NEW PAVING WILL MATCH EXISTING GRADES AT THE SOUTH PROPERTY LINE TO ACCEPT HISTORIC FLOW FROM THE SOUTH OF THE SUBJECT SITE AND CONVEY HISTORIC FLOW TO HOLLY AVE.

EROSION CONTROL PLAN

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

LEGAL DESCRIPTION

LOT 20-A, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

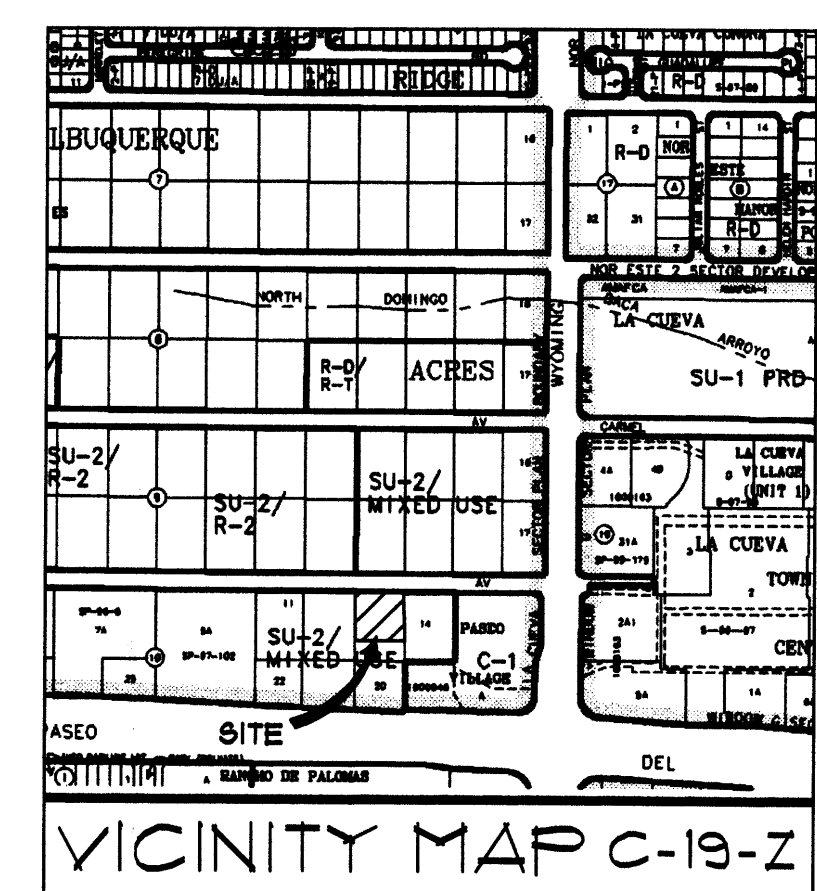
BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5218.235. NAVD 1988

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4 DESIGN STORM: (IN)									
	1hr	6hr	24hr	4day	10day				
	2.23	2.90	3.63	4.10	5.95				
EXISTING CONDITIONS									
LAND TRMT	AREA (ACRE)	AREA %	P6 (CF6/AC)	Q (CF6)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.00	2.20	0.00	0	0	0	0
B	0.425	75%	1.08	2.92	1.24	1.666	1.666	1.666	1.666
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.143	25%	2.64	5.25	0.75	1.310	1.760	2.305	2.954
TOTALS	0.568	100%			1.99	3.021	3.426	3.971	4.620
PROPOSED CONDITIONS									
LAND TRMT	AREA (ACRE)	AREA %	P6 (CF6/AC)	Q (CF6)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.00	2.20	0.00	0	0	0	0
B	0.105	18%	1.08	2.92	0.31	0.412	0.412	0.412	0.412
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.463	82%	2.64	5.25	2.43	4.437	5.698	7.462	9.563
TOTALS	0.568	100%			2.74	4.849	6.109	7.874	9.975

OFFSITE FLOW (100 YR STORM) 2.64 CF6 FROM DEVELOPMENT SOUTH OF THE SITE - SEE MARIO'S RESTAURANT-SHOPS G4D PLAN DATED 4-19-11



KEYED NOTES

1. EXISTING ASPHALT PAVING TO REMAIN
2. NEW AC PAVING PER DETAIL A3/C201
3. NEW CONCRETE CURB AND GUTTER PER DETAIL A2/C201
4. NEW CONCRETE WALK PER DETAIL A4/C201
5. NEW 12" WIDE CONCRETE DRAINAGE TRENCH PER DETAIL B1/C201 - EXTEND 2'-0" SOUTH OF PROPERTY LINE
6. SIDEWALK CULVERT PER C.O.A. STD. DRAWING #2236
7. SPLASH BLOCK
8. 4' WIDE DRAINAGE BLOCK OUT AT CURB
9. ACCESS RAMP PER DETAILS B2/C201 & B4/C201
10. 6" THICK, 4000 PSI AIR-ENTRAINED CONC. REINFORCED WITH #4 BARS @ 12" O.C. EACH WAY OVER AGGREGATE BASE COURSE OVER SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY
11. HANDRAIL - SEE ARCHITECTURAL DRAWINGS
12. BUILDING RETAINING STEMWALL REQUIRED - SEE STRUCTURAL

LEGEND

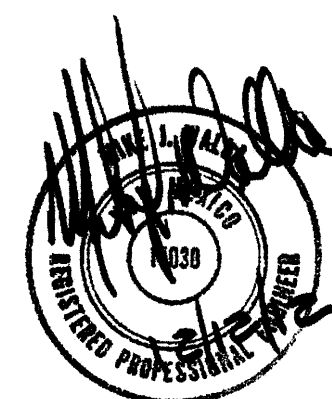
---	PROPERTY LINE
---	NEW BUILDING LINE
---	EXISTING CONTOUR
---	NEW CONTOUR
X FL 76.91	EXISTING SPOT ELEVATION
15.00	NEW SPOT ELEVATION
→	NEW FLOW DIRECTION ARROW
TA	TOP OF ASPHALT
TC	TOP OF CONCRETE OR CURB
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
FL	FLOW LINE
TG	TOP OF GRATE
INV	INVERT
▨	NEW CONCRETE PAVING
▨	NEW AC PAVING
▲	ROOF DRAIN LOCATION
—	SWALE

ARIA

ARCHITECTURE

3503 Central Avenue NE, Suite D
Albuquerque, NM 87106
505.506.2314 505.573.5583
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PEAK MOTION
7424 HOLLY AVENUE NE
ALBUQUERQUE, NM



Walla ENGINEERING LTD
8150 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
505-3508-8811 Fax 505-3508-4025

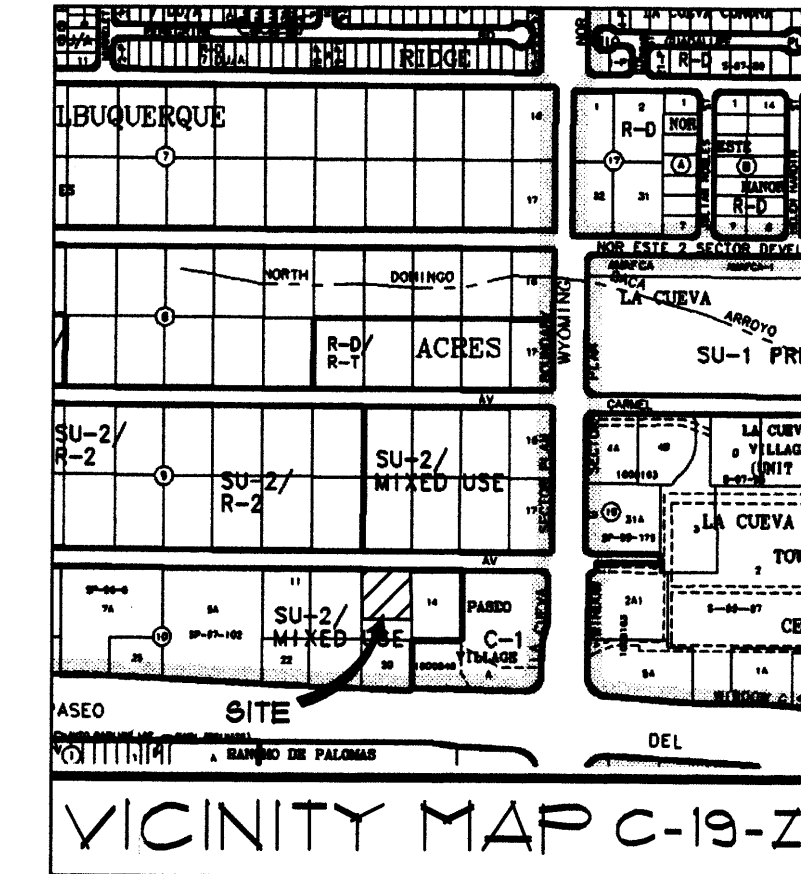
MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	BUILDING PERMIT	
PROJECT NO	1209	
CAD DWG FILE	C101.DWG	
DRAWN BY	LEK	
CHECKED BY	MJW	
DATE	12/12/12	

GRADING and
DRAINAGE PLAN

C101

HOLLY AVENUE N.E.

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



KEYED NOTES

- EXISTING ASPHALT PAVING TO REMAIN
- NEW AC PAVING PER DETAIL A3/C201
- NEW CONCRETE CURB AND GUTTER PER DETAIL A2/C201
- NEW CONCRETE WALK PER DETAIL A4/C201
- NEW 12" WIDE CONCRETE DRAINAGE TRENCH PER DETAIL B1/C201 - EXTEND 2'-0" SOUTH OF PROPERTY LINE
- SIDEWALK CULVERT PER C.O.A. STD. DRAWING 7236
- SPASH BLOCK
- 4' WIDE DRAINAGE BLOCK OUT AT CURB
- ACCESS RAMP PER DETAILS B3/C201 & B4/C201
- 6" THICK, 4000 PSI AIR-ENTRAINED CONC. REINFORCED WITH #4 BARS @ 12" O.C. EACH WAY OVER AGGREGATE BASE COURSE OVER SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY
- HANDRAIL - SEE ARCHITECTURAL DRAWINGS
- BUILDING RETAINING STEMWALL REQUIRED - SEE STRUCTURAL

DESIGN NARRATIVE

THIS SITE IS 0.56 ACRES AND IS CURRENTLY UNIMPROVED. THE SITE WILL BE DEVELOPED FOR A RETAIL BUILDING AND PARKING. THE DEVELOPED SITE WILL BE GRADED TO DIRECT RUNOFF TO IMPROVED DOWNSIDE STREET RUNOFF TO IMPROVED DOWNSIDE STREET. RUNOFF WILL BE DIRECTED NORTH AND WILL FLOW TO STREET IMPROVEMENTS IN HOLLY AVE. VIA THE PAVED DRIVE AND VIA A SIDEWALK CULVERT AND CONCRETE RUNDOWN. ROOF DRAINAGE WILL BE COLLECTED AT THE NORTH AND SOUTH SIDE OF THE RETAIL BUILDING VIA SCUPPERS AND DOWNSPOUTS DUMPING ON THE SURFACE PAVING OR SPASH BLOCKS. NO SIGNIFICANT RUNOFF VOLUME WILL ENTER THIS SITE FROM THE EAST ADJACENT PROPERTY BUT THE NEW PAVING WILL MATCH EXISTING GRADES AT THE SOUTH PROPERTY LINE TO ACCEPT HISTORIC FLOW FROM THE SOUTH OF THE SUBJECT SITE AND CONVEY HISTORIC FLOW TO HOLLY AVE.

EROSION CONTROL PLAN

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

LEGAL DESCRIPTION

LOT 20-A, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "HEAVEN UNDERGROUND", HAVING AN ELEVATION OF 5210.235, NAVD 1988

HYDROLOGY CALCULATIONS

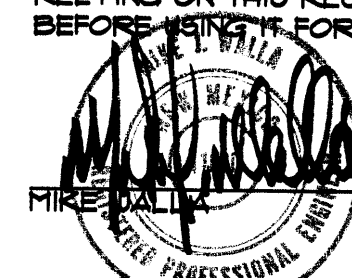
PRECIPITATION ZONE 4 DESIGN STORM: (IN)									
EXISTING CONDITIONS		1hr	6hr	24hr	4day	10day			
LAND AREA	Q	Q	V6	V24	V4DAY	V10DAY			
TRTINT	(ACRE)	(CF8/AC)	(CF8)	(CF)	(CF)	(CF)			
A	0.000	0%	0.00	2.20	0.00	0			
B	0.428	75%	1.08	2.92	1.24	1.66			
C	0.000	0%	1.46	3.13	0.00	0			
D	0.143	25%	2.64	5.25	0.75	2.354			
TOTALS	0.568	100%		1.99	3.031	3.426			
PROPOSED CONDITIONS									
LAND AREA	Q	Q	V6	V24	V4DAY	V10DAY			
TRTINT	(ACRE)	(CF8/AC)	(CF8)	(CF)	(CF)	(CF)			
A	0.000	0%	0.00	2.20	0.00	0			
B	0.105	18%	1.08	2.92	0.31	4.12			
C	0.000	0%	1.46	3.13	0.00	0			
D	0.463	82%	2.64	5.25	2.43	4.431			
TOTALS	0.568	100%		2.74	4.849	6.109			
OFFSITE FLOW (100 YR STORM) 2.64 CF8 FROM DEVELOPMENT SOUTH OF THE SITE - SEE MARIO'S RESTAURANT-SHOPS G4D PLAN DATED 4-19-11									

CERTIFICATION EXCEPTIONS

EXCEPTIONS: THE SIDEWALK CULVERT @ HOLLY IS 9" WIDE IN LIEU OF THE SPECIFIED 12" WIDTH BUT HAS ADEQUATE CAPACITY TO CONVEY ANTICIPATED DESIGN FLOWS. ALSO THE CULVERT COVER DOES NOT EXTEND THE REQUIRED 2'-0" ONTO THE SUBJECT SITE BUT IS ACCEPTABLE AS CONSTRUCTED.

ENGINEER'S CERTIFICATION

I, MIKE WALLA NMPE 11030, OF THE FIRM WALLA ENGINEERING LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-12-12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM JASON D. SMITH, NMPE 81122. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5-3-13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



5/8/13
DATE

GRADING and DRAINAGE PLAN

1"=10'

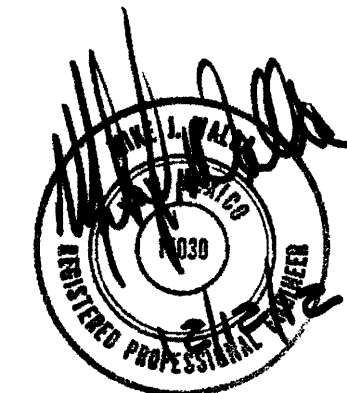


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505.506.2314 505.573.5583
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PEAK MOTION
7424 HOLLY AVENUE NE
ALBUQUERQUE, NM

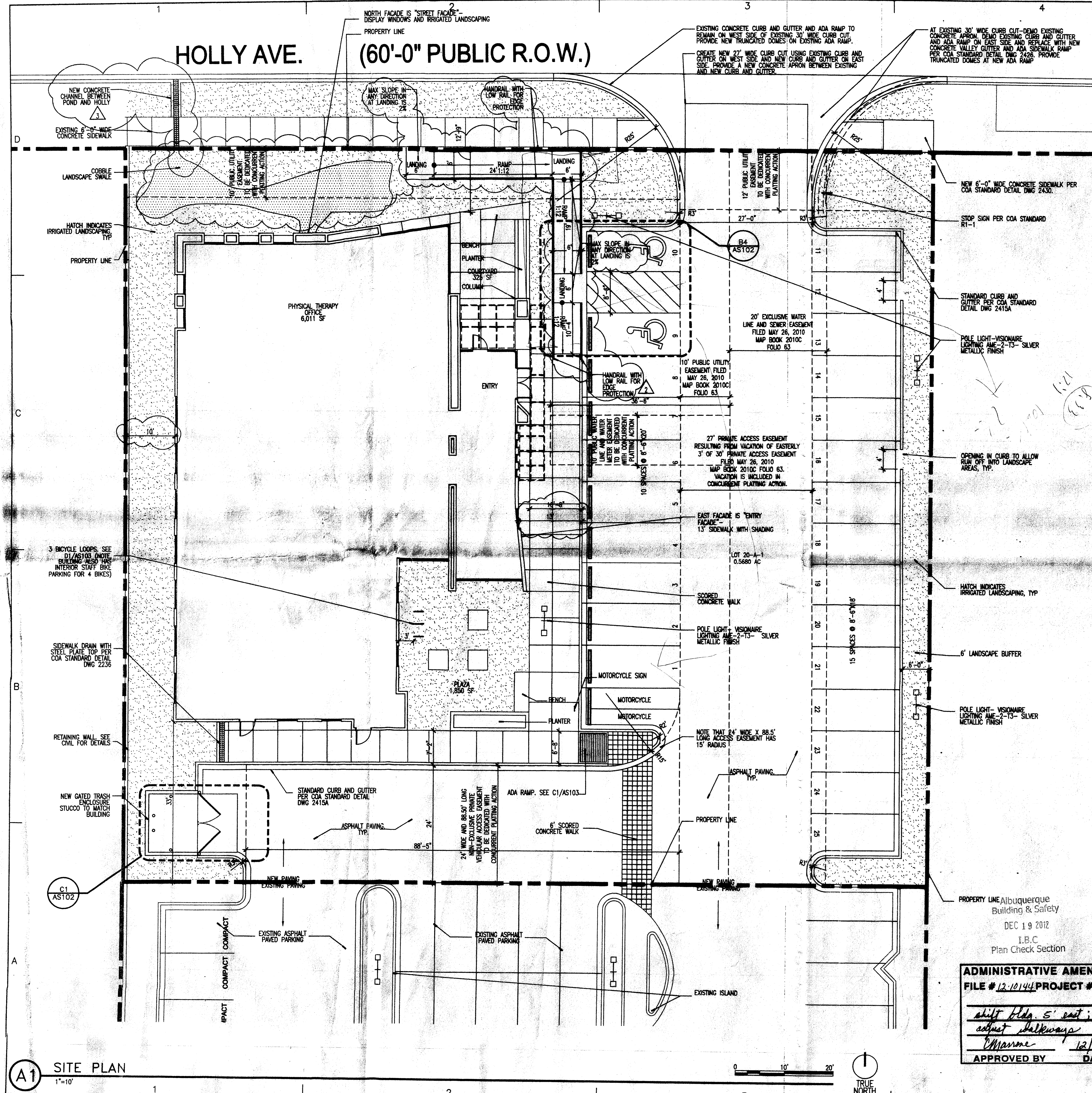


Walla ENGINEERING LTD.
Structural Engineering
Civil Engineering
8100 Indian School Road NE, Suite 210
Albuquerque, NM 87110
881-3008 • Fax 881-4025

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	BUILDING PERMIT	
PROJECT NO	1209	
CAD DWG FILE	C101.DWG	
DRAWN BY	LEK	
CHECKED BY	MJW	
DATE	12/12/12	

GRADING and
DRAINAGE PLAN

C101



PROJECT DESCRIPTION

THE PROPOSED PROJECT IS A NEW OFFICE FOR PHYSICAL THERAPISTS. THE SCOPE CONSISTS OF A NEW, APPROXIMATELY 6,000 SF BUILDING, A NEW PARKING LOT AND NEW LANDSCAPING. THE PROPERTY IS 0.59 ACRES AND IS ZONED SU2(LA CUEVA SECTOR PLAN)-MIXED USE. THE PROPOSED USE IS CONSISTENT WITH THE EXISTING ZONING AND THE PROPOSED BUILDING AND SITE COMPLY WITH ALL CITY ZONING CODES. THE HEIGHT OF THE PROPOSED BUILDING VARIES FROM 11' TO 17' AND DOES NOT BLOCK VIEWS FROM NEARBY PROPERTIES.

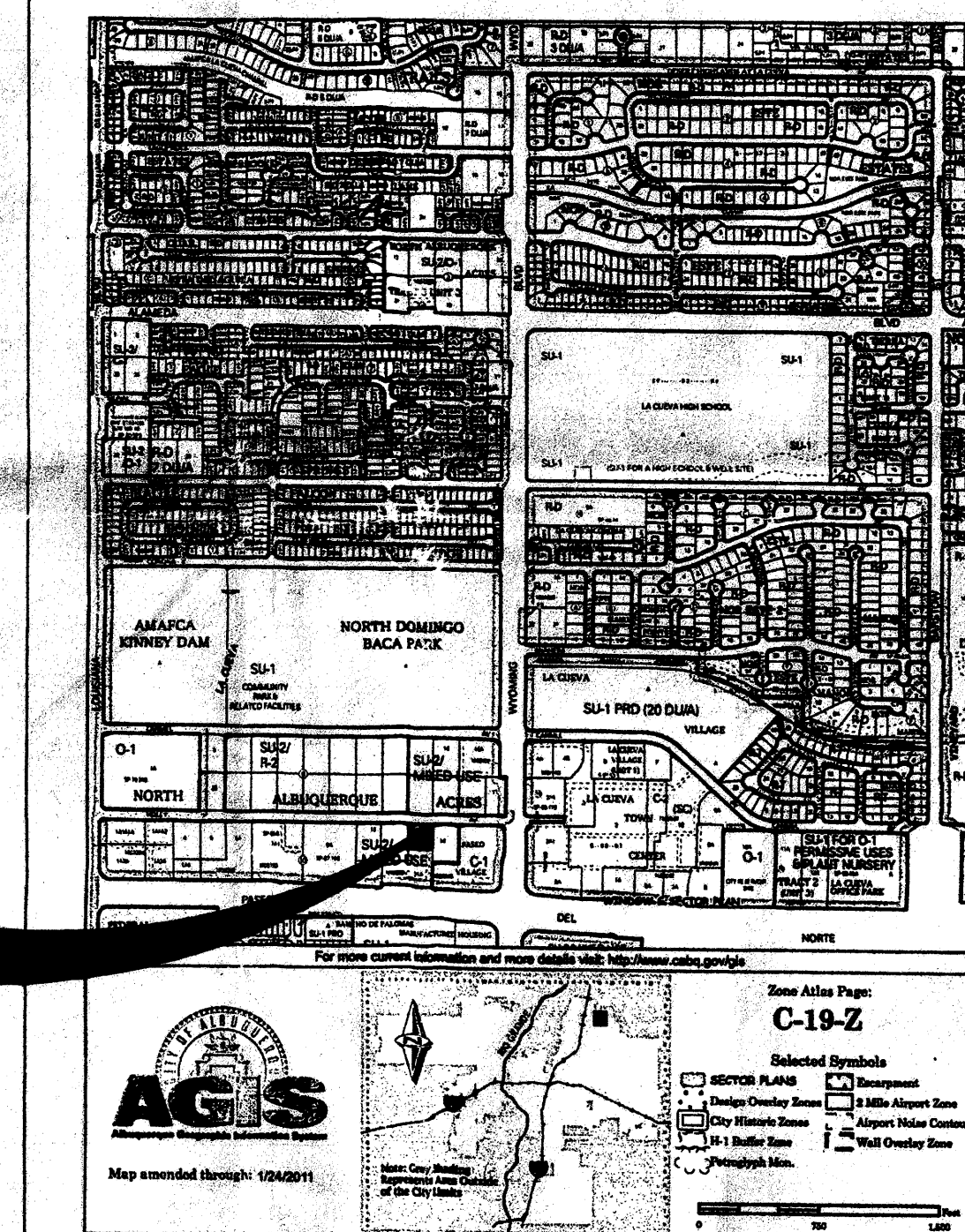
SITE NOTES

PEAK MOTION THERAPY
A NEW FACILITY FOR PHYSICAL THERAPY
PARKING REQUIRED
MEDICAL OR DENTAL OFFICE OR CLINIC
5 THERAPISTS @ 5 SPACES/DOCTOR =25 SPACES
PARKING PROVIDED
PARKING SPACES 25
ADA SPACES 2
MOTORCYCLE SPACES 2
BICYCLE SPACES 3

GENERAL NOTES

- 1.) MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.
- 2.) ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- 3.) ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- 4.) ALL SIGNAGE TO PROVIDE MINIMUM CONTRAST OF 70% BETWEEN GRAPHICS AND BACKGROUND PER ADA.
- 5.) ALL EXTERIOR LIGHTING SHALL BE FULL CUT OFF AND EQUIPPED WITH AUTOMATIC TIMING DEVICES. LIGHTING SHALL MEET ALL LA CUEVA SECTOR DEVELOPMENT PLAN REQUIREMENTS.

LOCATION MAP



SITE

PROJECT NUMBER: 1009359

APPLICATION NUMBER: 12-EPC 400447

DRB APPROVAL: 10/25/2012

NARRATIVE OF AMENDMENTS REQUESTED

- THE PROPOSED SITE PLAN SHOWS TWO CHANGES TO THE APPROVED DRB SITE PLAN.
1. MOVE THE BUILDING 5' EAST TO PROVIDE ADEQUATE FIRE SEPARATION DISTANCE BETWEEN THE BUILDING AND THE WEST PROPERTY LINE. CONSTRUCTION TYPE WAS NOT YET DETERMINED WHEN WE WENT THROUGH THE EPC/DRB PROCESS. DURING DESIGN DEVELOPMENT TYPE 2B CONSTRUCTION WAS SELECTED.
 2. ADD AN ACCESSIBLE CONNECTION TO THE CITY SIDEWALK. THE GRADING SHOWN ON THE DRB APPROVED SHEET C101 DATED 10/5/2012 ALONG THE CONNECTION TO THE CITY SIDEWALK IS NOT ACTUALLY ACCESSIBLE.

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PEAK MOTION

7424 HOLLY AVE NE
ALBUQUERQUE, NM

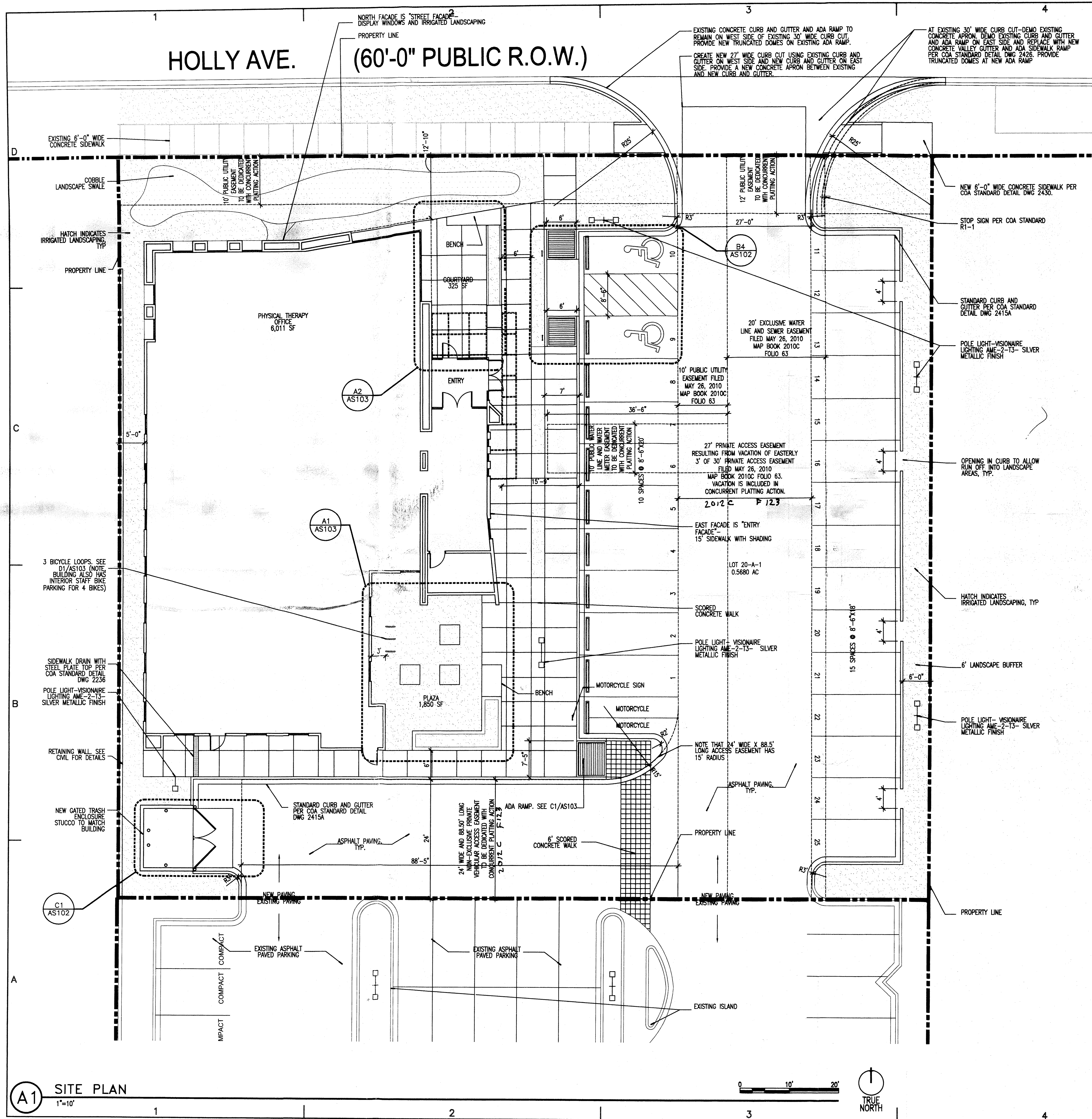
MARK	DATE	DESCRIPTION
3	11/13/2012	HYDROLOGY COMMENTS
2	11/13/2012	TRAFFIC COMMENTS
1	11/13/2012	PLANNING COMMENTS
REVISIONS		
ISSUE	DRB AA	
PROJECT NO	1209	
CAD DWG FILE	1209AS101.DWG	
DRAWN BY	KKL	
CHECKED BY	KKL	
DATE	11/2/12	

SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT

AS101

A1 SITE PLAN
1"=10'

ADMINISTRATIVE AMENDMENT
FILE # 12-10144 PROJECT # 1009359
shift Bldg. 5' east;
adjust pathways
Chamne 12/18/12
APPROVED BY DATE



PROJECT DESCRIPTION

THE PROPOSED PROJECT IS A NEW OFFICE FOR PHYSICAL THERAPISTS. THE SCOPE CONSISTS OF A NEW, APPROXIMATELY 6,000 SF BUILDING, A NEW PARKING LOT AND NEW LANDSCAPING. THE PROPERTY IS 0.59 ACRES AND IS ZONED SU2(LA CUEVA SECTOR PLAN)-MIXED USE. THE PROPOSED USE IS CONSISTENT WITH THE EXISTING ZONING AND THE PROPOSED BUILDING AND SITE COMPLY WITH ALL CITY ZONING CODES. THE HEIGHT OF THE PROPOSED BUILDING VARIES FROM 11' TO 17' AND DOES NOT BLOCK VIEWS FROM NEARBY PROPERTIES.

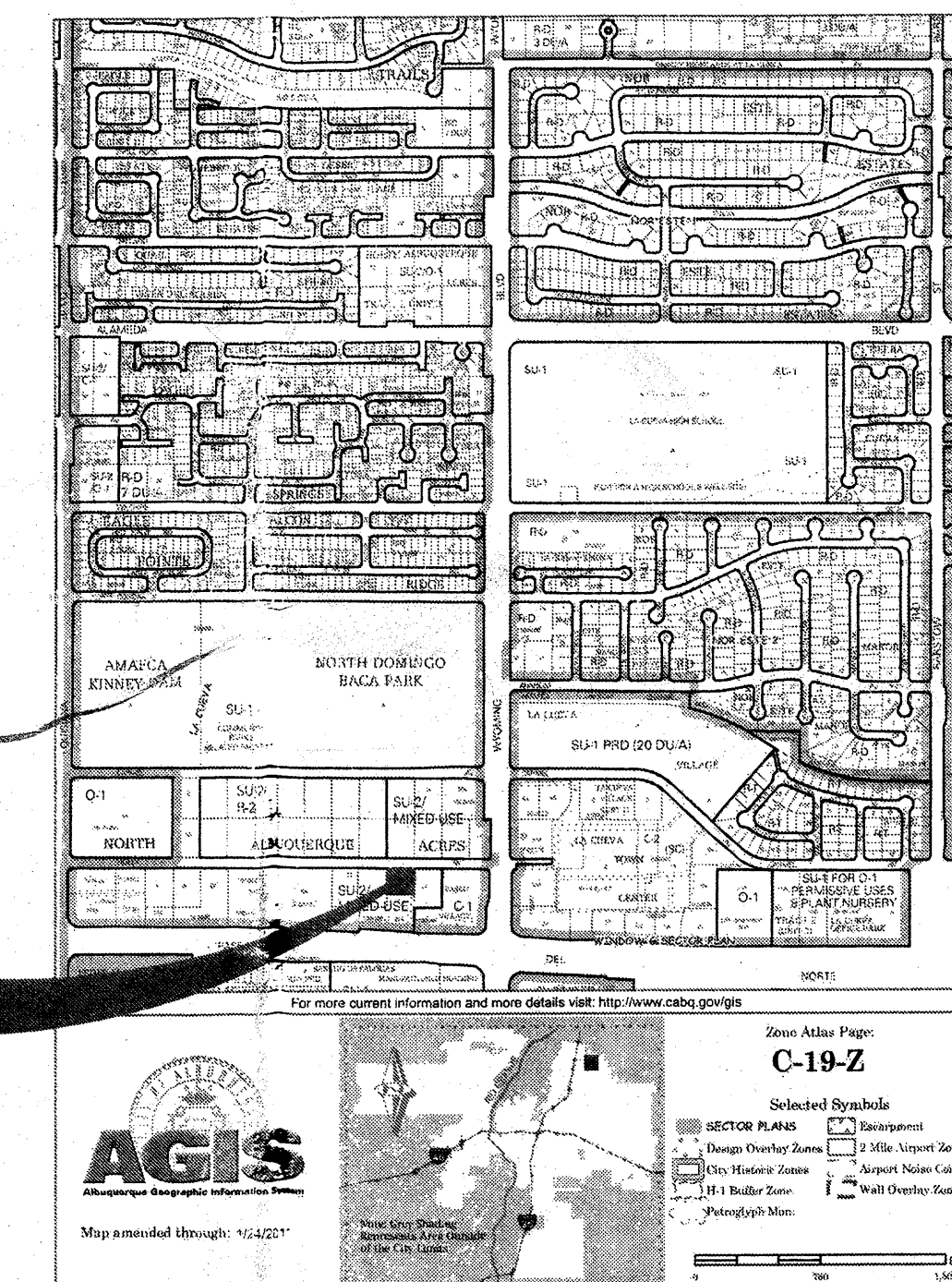
SITE NOTES

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LOCATION MAP



SITE

PROJECT NUMBER: 1009359

APPLICATION NUMBER: 12-EPC 400447

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 11-13-12 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL

Traffic Engineer, Transportation Division	10-10-12
ABCWUA	10/10/12
Paul S. Dumont	10-10-12
Parks & Recreation, Department	10-10-12
City Engineer	10-10-12
OK	
Environmental Health Department (conditional)	Date
OK	
Solid Waste Management	Date
10-25-12	Date
DRB Chairperson, Planning Department	
* Environmental Health, if necessary	

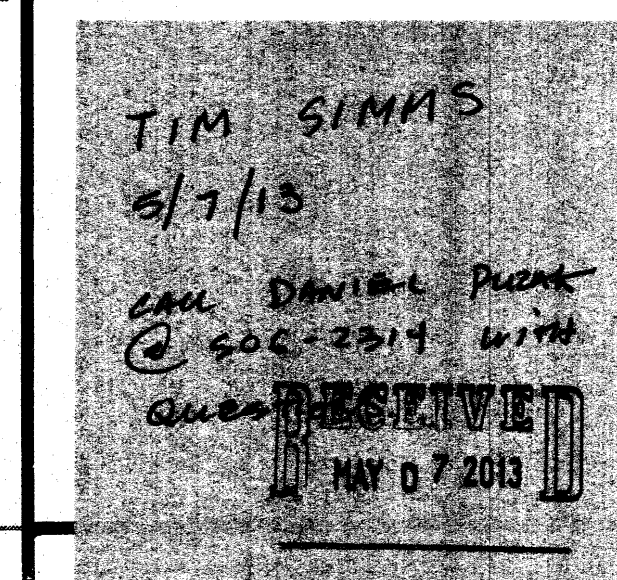
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PEAK MOTION

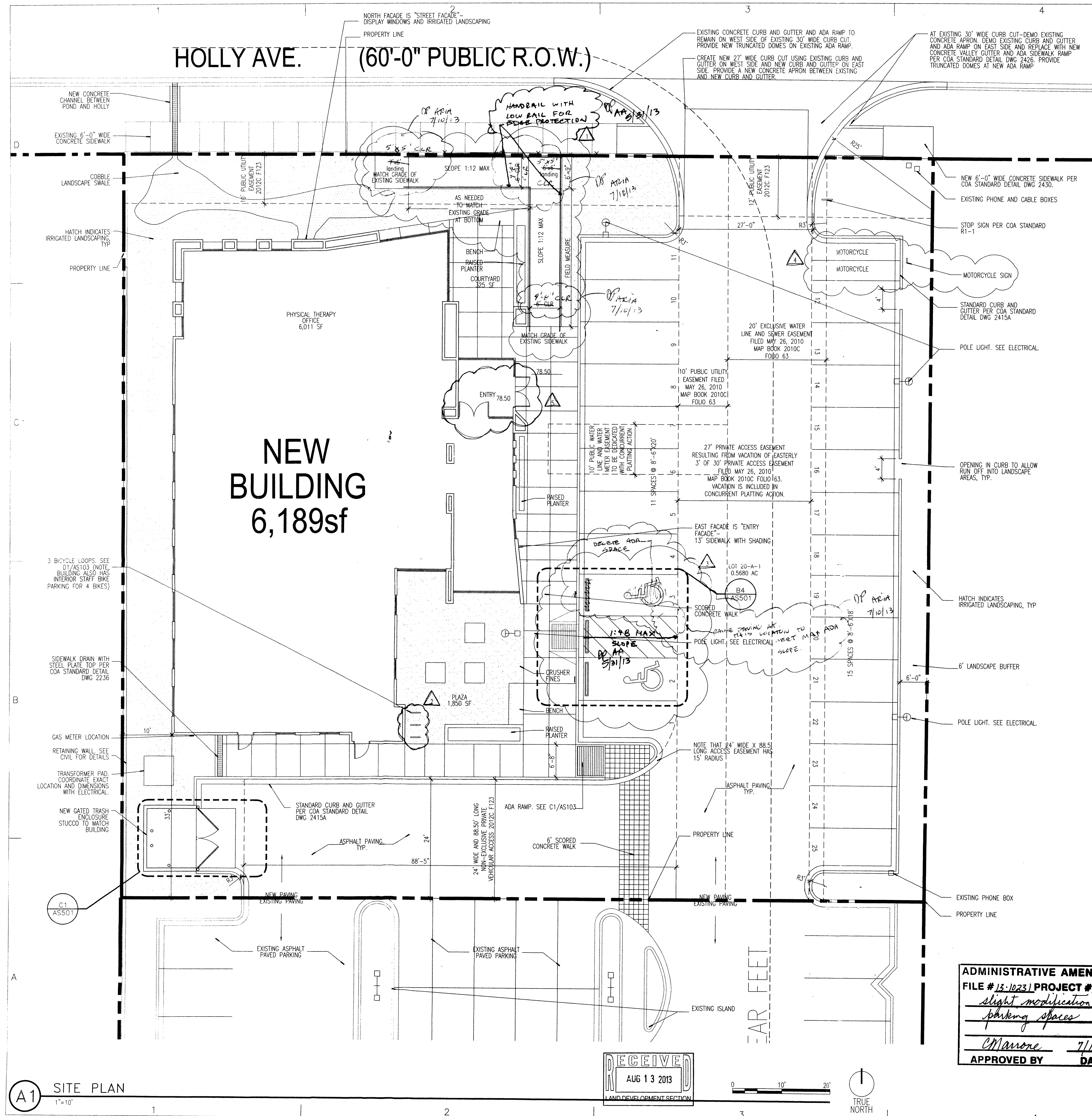
7424 HOLLY AVE NE
ALBUQUERQUE, NM



MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	REVISED DRB	
PROJECT NO	1209	
CAD DWG FILE	1209AS101.DWG	
DRAWN BY	KKL	
CHECKED BY	KKL	
DATE	10/19/12	

RECORD
COPY
SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT

AS101



PROJECT DESCRIPTION

THE PROPOSED PROJECT IS A NEW OFFICE FOR PHYSICAL THERAPISTS. THE SCOPE CONSISTS OF A NEW, APPROXIMATELY 6,000 SF BUILDING, A NEW PARKING LOT AND NEW LANDSCAPING. THE PROPERTY IS 0.59 ACRES AND IS ZONED SU2(LA CUEVA SECTOR PLAN)-MIXED USE. THE PROPOSED USE IS CONSISTENT WITH THE EXISTING ZONING AND THE PROPOSED BUILDING AND SITE COMPLY WITH ALL CITY ZONING CODES. THE HEIGHT OF THE PROPOSED BUILDING VARIES FROM 11' TO 17' AND DOES NOT BLOCK VIEWS FROM NEARBY PROPERTIES.

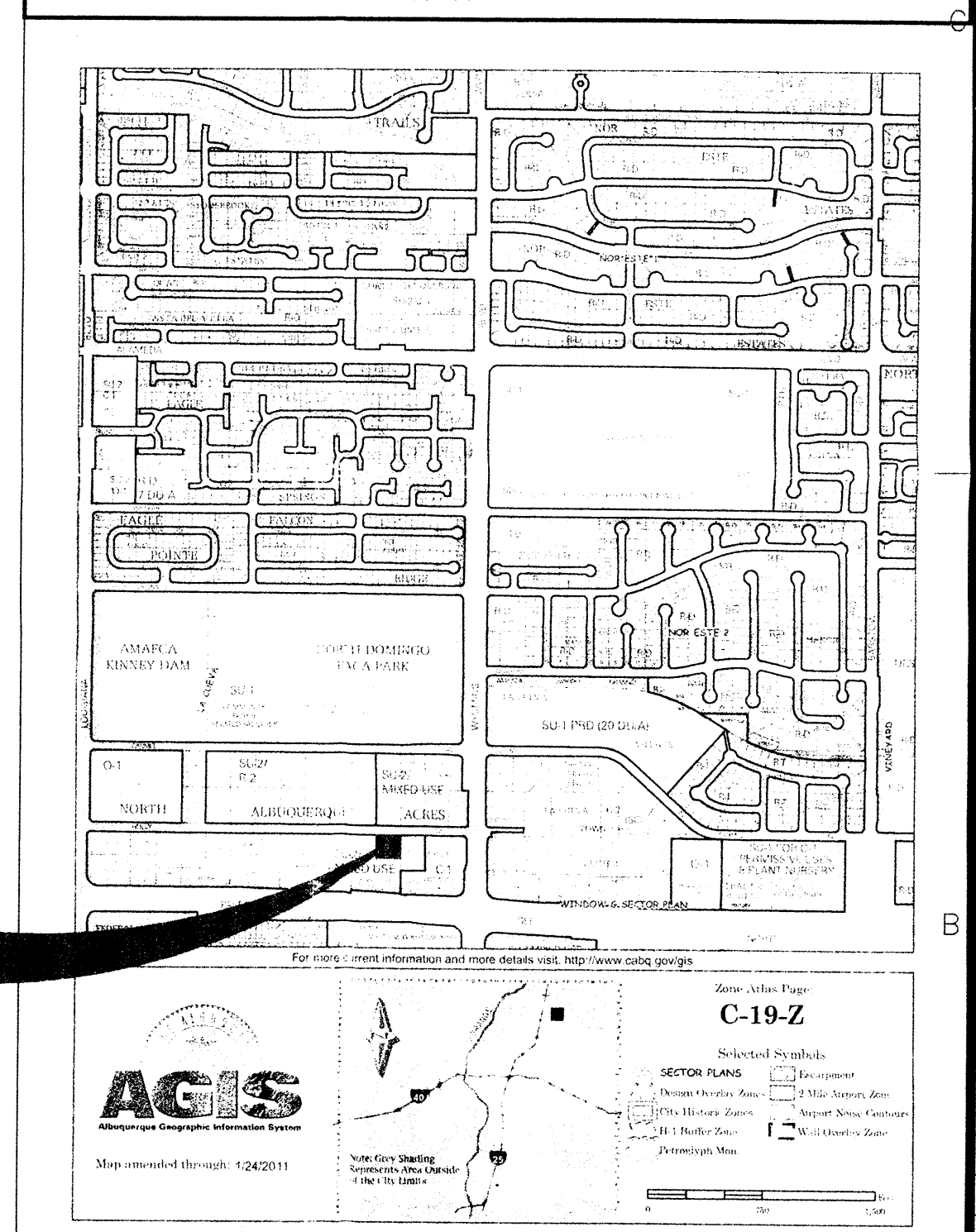
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- 5.) ALL EXTERIOR LIGHTING SHALL BE FULL CUT OFF AND EQUIPPED WITH AUTOMATIC TIMING DEVICES. LIGHTING SHALL MEET ALL LA CUEVA SECTOR DEVELOPMENT PLAN REQUIREMENTS.

LOCATION MAP



PROJECT NUMBER: 1009359
APPLICATION NUMBER: 12-EPC 400447
DRB APPROVAL: 10/25/2012

NARRATIVE OF AMENDMENTS REQUESTED

- THE PROPOSED SITE PLAN SHOWS FIVE CHANGES TO THE APPROVED DRB SITE PLAN.
- 1. MOVE ADA RAMP WEST UP AGAINST PLANTER AT COURTYARD.
 - 2. MOVE BICYCLE RINGS TO THIS LOCATION.
 - 3. MOVE ADA SPACES TO THIS LOCATION SO THAT CROSS SLOPE MEETS ADA STANDARDS. EXISTING GRADES AT APPROVED LOCATION WOULD BE TOO STEEP.
 - 4. MOVE MOTORCYCLE SPACES TO THIS LOCATION.
 - 5. ADDED DOUBLE DOORS AT ENTRY.

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PEAK MOTION
7242 HOLLY AVE NE
ALBUQUERQUE, NM

3	11/13/2012	HYDROLOGY COMMENTS
2	11/13/2012	TRAFFIC COMMENTS
1	11/13/2012	PLANNING COMMENTS
MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		AA NUMBER TWO
PROJECT NO		1209
CAD DWG FILE		1209AS101.DWG
DRAWN BY		KKL
CHECKED BY		KKL
DATE		5/20/13
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT		
AS101		

GENERAL NOTES

- 1.) ROOF SHALL BE 60 MIL TPO, OFF WHITE IN COLOR.
- 2.) ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- 3.) ALL SIGNAGE TO PROVIDE MINIMUM CONTRAST OF 70% BETWEEN GRAPHICS AND BACKGROUND PER ADA.
- 4.) ALL EXTERIOR LIGHTING SHALL BE FULL CUT OFF AND EQUIPPED WITH AUTOMATIC TIMING DEVICES.
- 5.) ALL EXTERIOR WALL LIGHTS TO BE MOUNTED AT 7'-0" A.F.F.
- 6.) ALL EXTERIOR GLAZING TO BE "NON-REFLECTIVE" TYPE GLASS

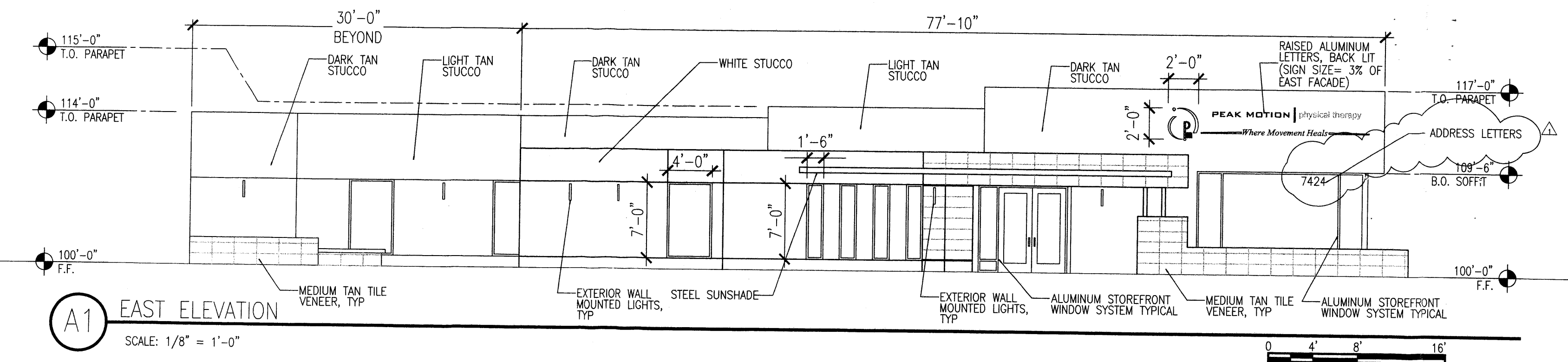
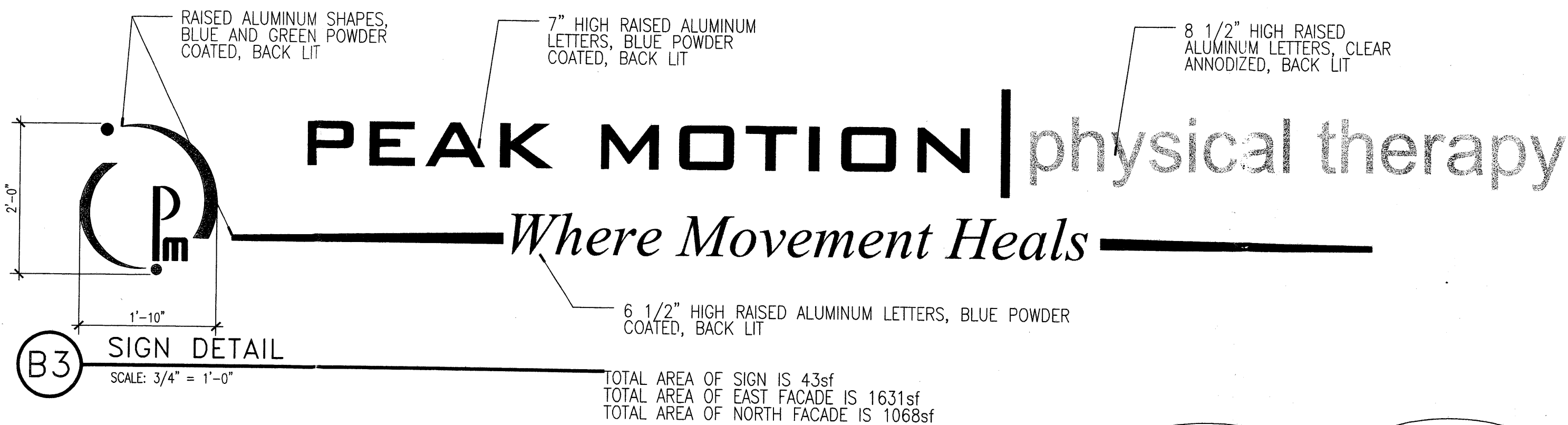
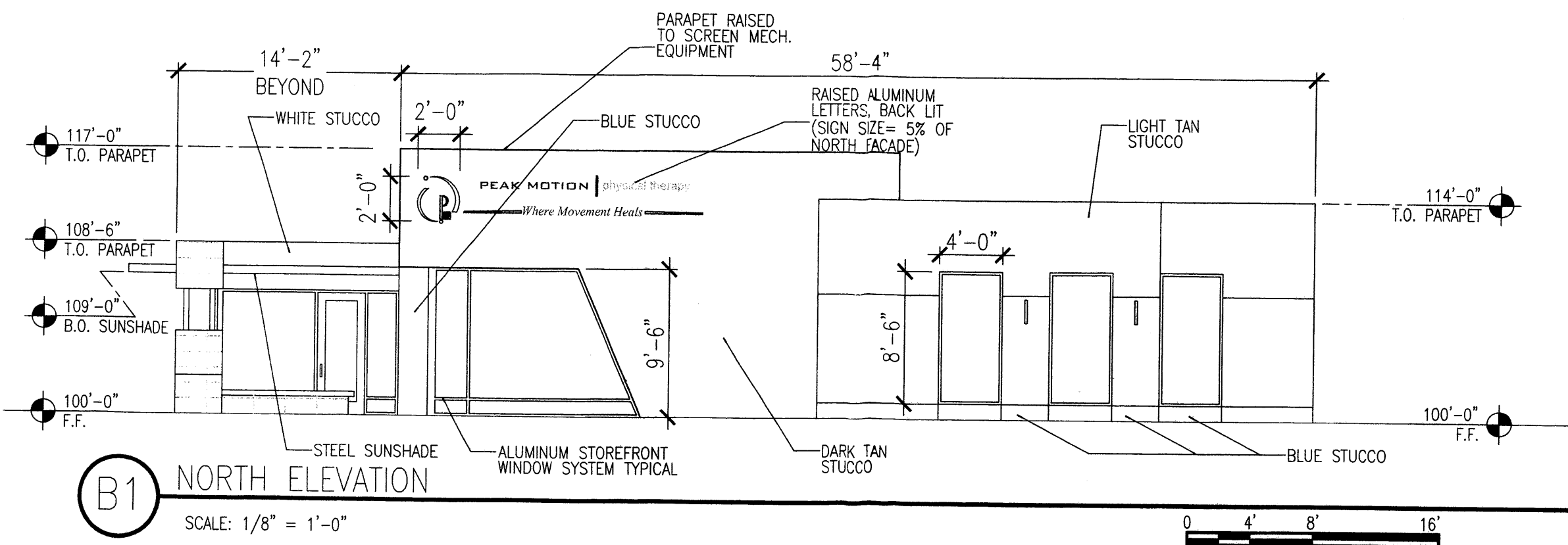
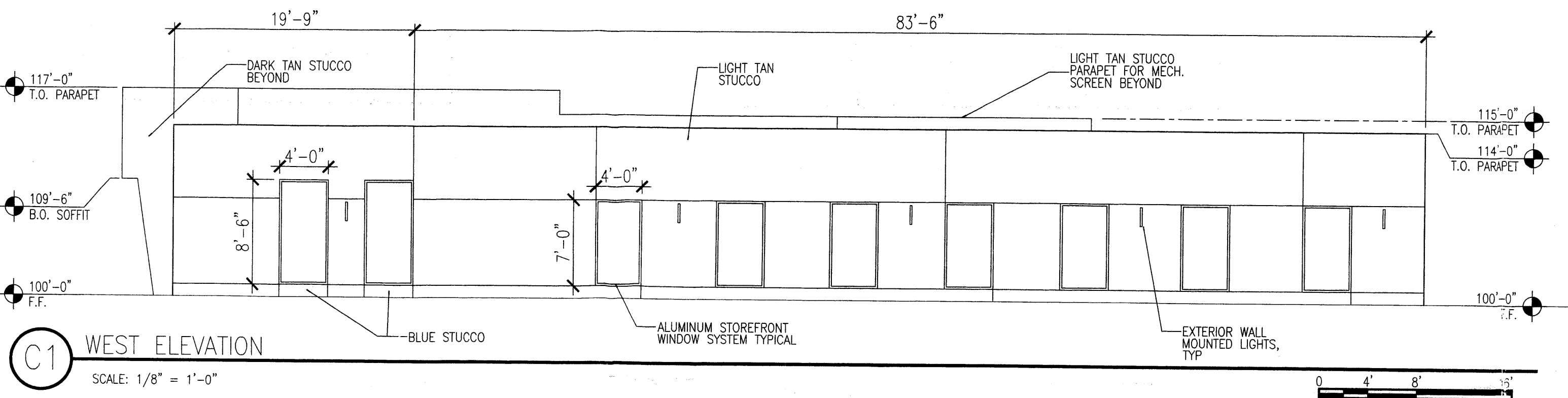
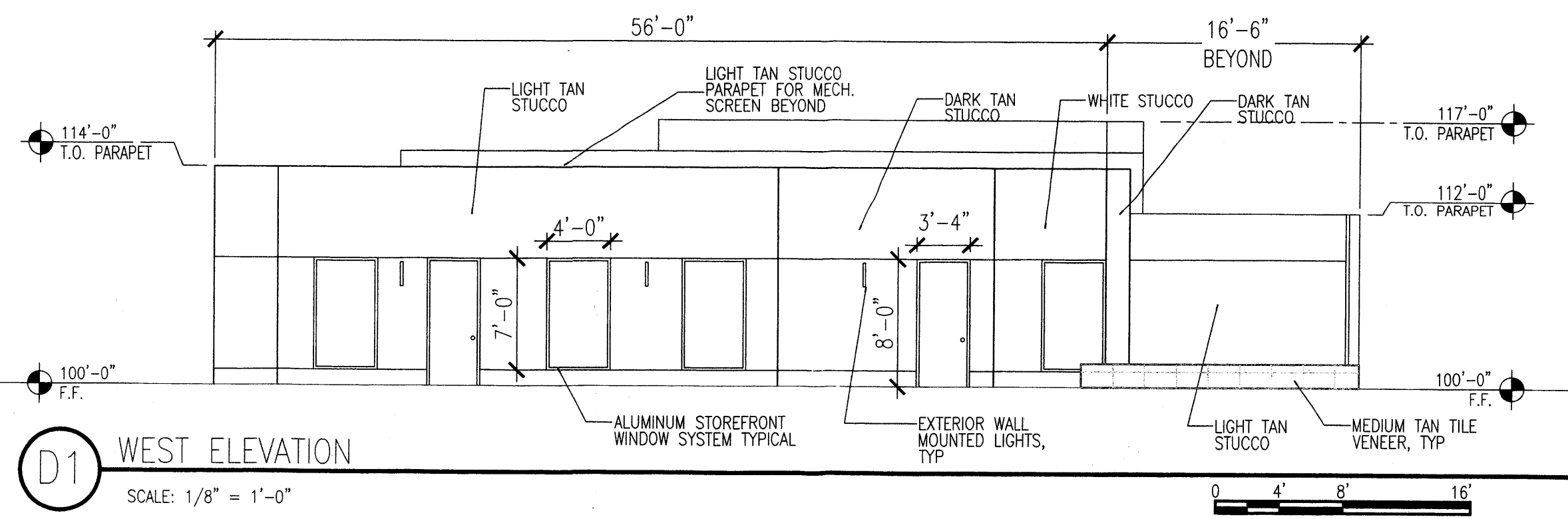
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PEAK MOTION

7424 HOLLY AVE NE
ALBUQUERQUE, NM



NARRATIVE OF AMENDMENTS REQUESTED

THE PROPOSED ELEVATIONS SHOWS ONE CHANGE TO THE APPROVED DRB ELEVATIONS.
ADDRESS LETTERS AT THIS LOCATION.

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE	AA NUMBER TWO	
PROJECT NO	1209	
CAD DWG FILE	1209A201.DWG	
DRAWN BY	DGP	
CHECKED BY	DGP	
DATE	5/20/13	

BUILDING ELEVATIONS

A201