

CITY OF ALBUQUERQUE



September 12, 2014

Mike Walla, P.E.
Walla Engineering
6100 Indian School Rd. NE
Albuquerque, NM 87110

**Re: Dental Office, 7500 Holly Ave. NE
Grading and Drainage Plan,
Engineer's Stamp Date 11/26/2013 (C-19/D058)
Certification Stamp Date 9-9-2014**

Dear Mr. Walla,

Based on the Certification received 9/9/2014, the site is acceptable for a release of a Final Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: rharmmon@cabq.gov.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

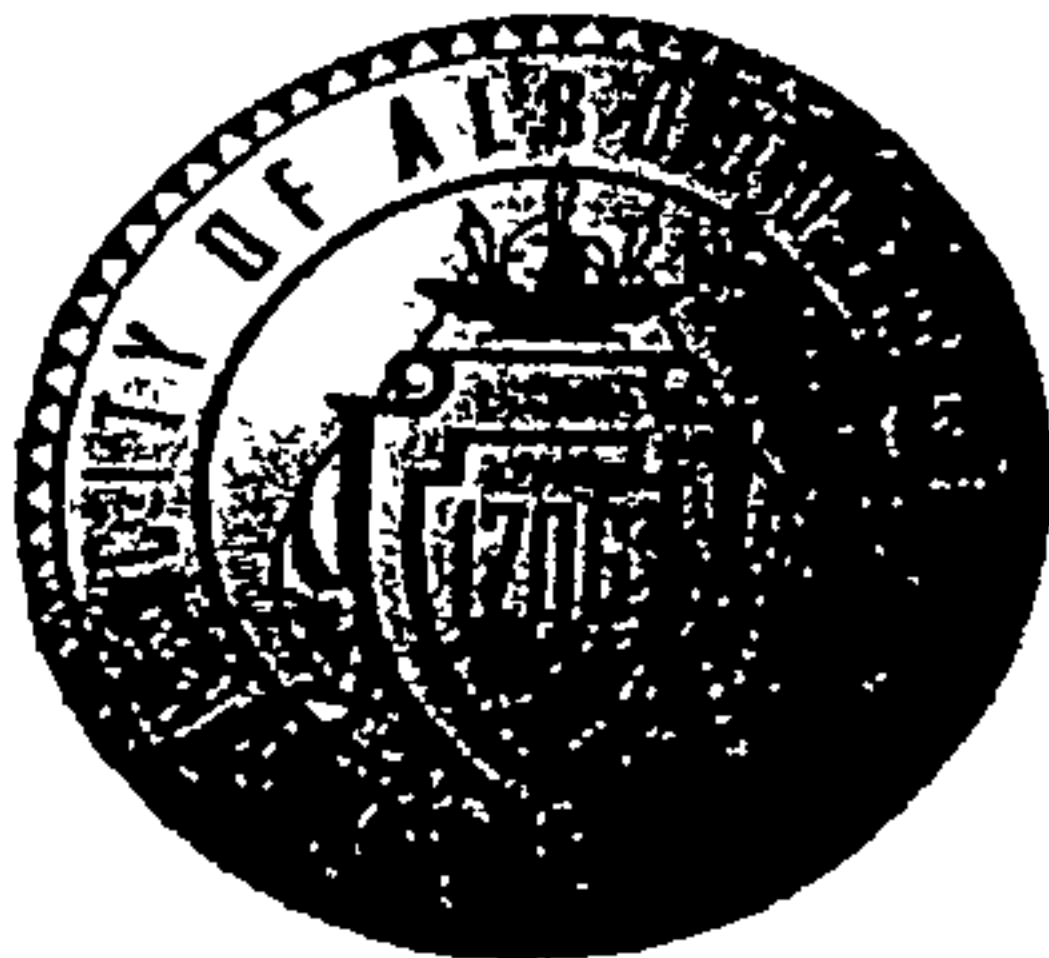
New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf: via Email: recipient, CO Clerks—Katrina Sigala, Francis Connor, Carol Quintana



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: DENTAL OFFICE DEVELOPMENT Building Permit #: _____ City Drainage #: C19 D058

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 14, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES

City Address: 7500 HOLLY AVE NE

Engineering Firm: WALLA ENGINEERING Contact: MIKE WALLA

Address: 6501 AMERICAS PKWY, NE SUITE 301, ALBUQ, NM 87110

Phone#: 505-881-3008 Fax#: 505-881-4025 E-mail: mikew@walla

Owner: _____ Contact: engineering.com

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: SLAGLE HERR ARCHITECTS Contact: JOE SLAGLE

Address: 413 SECOND ST. SW, ALBUQ. NM 87102

Phone#: 505-246-0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: HARRIS SURVEYING Contact: TONY HARRIS

Address: 2412-D MONROE ST. NE, ALBUQ. NM 87110

Phone#: 505-889-8056 Fax#: 505-889-8645 E-mail: _____

Contractor: TRINITY CONSTRUCTION Contact: ERIC TIMMORE

Address: P.O. BOX 14907, ALB, NM 87191

Phone#: 858-9960 Fax#: 278-6732 E-mail: ERICW.TIMMORE@GMAIL.COM

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

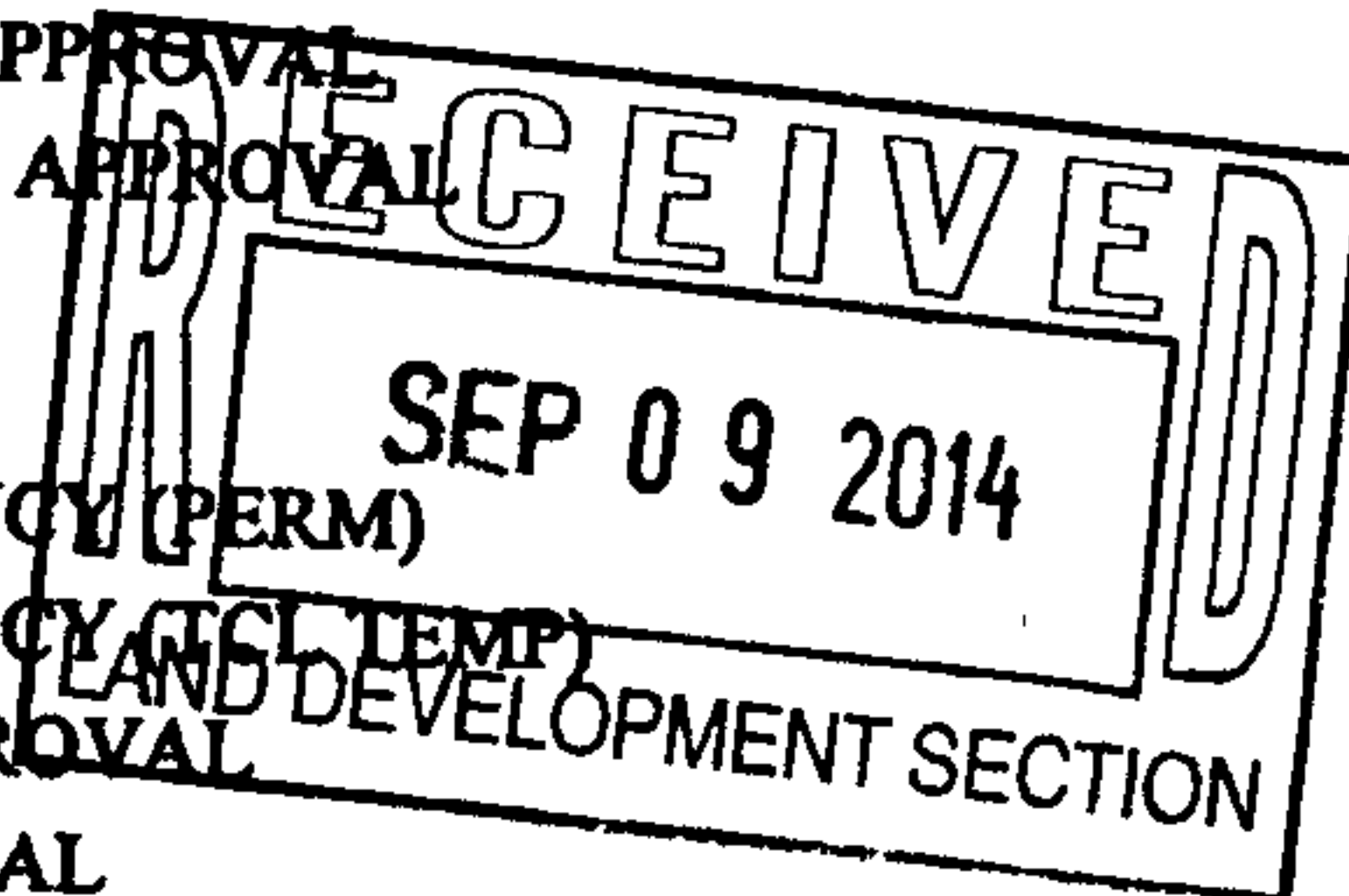
Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 9/9/14

By: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



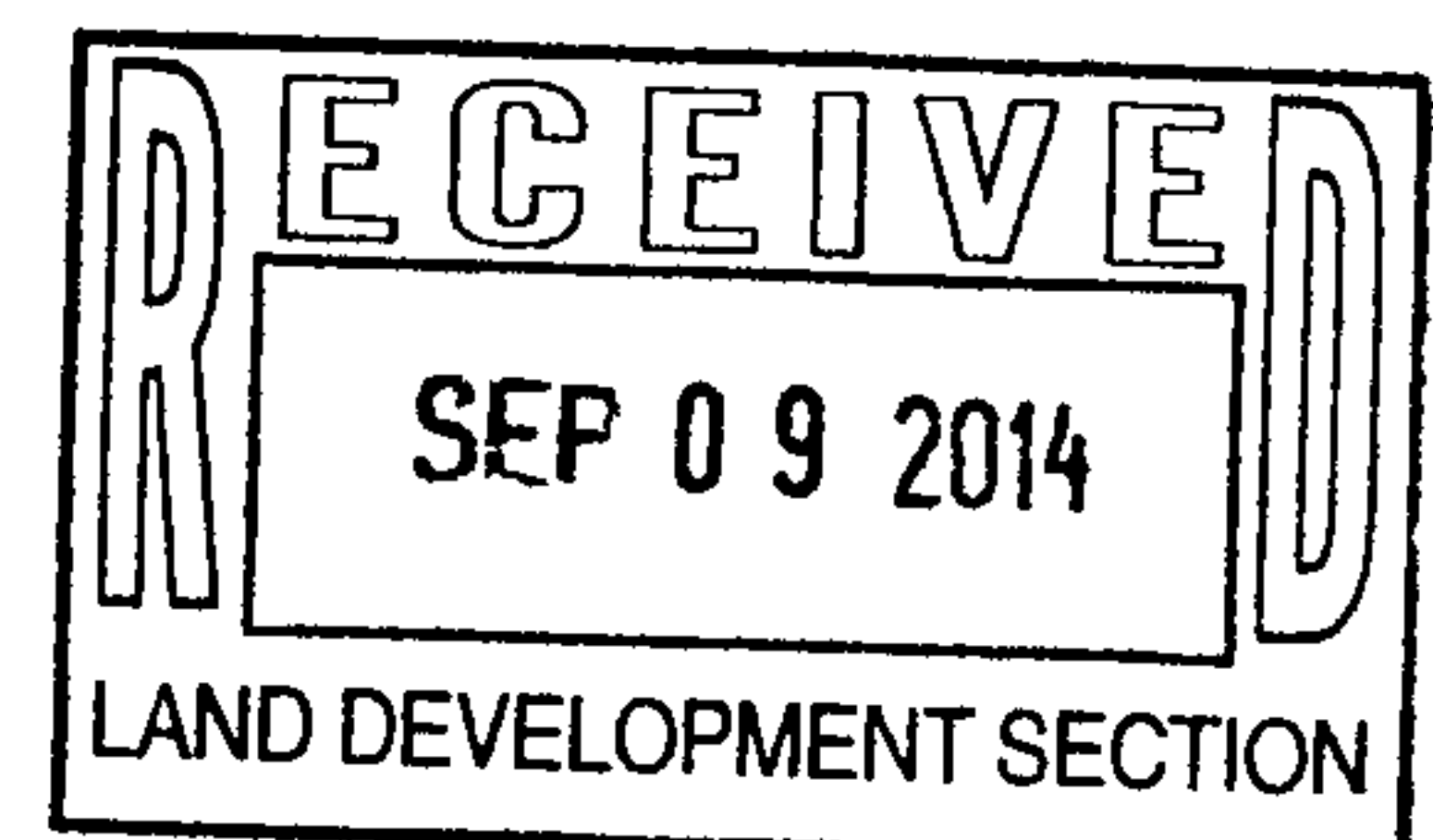
Larry Kennedy

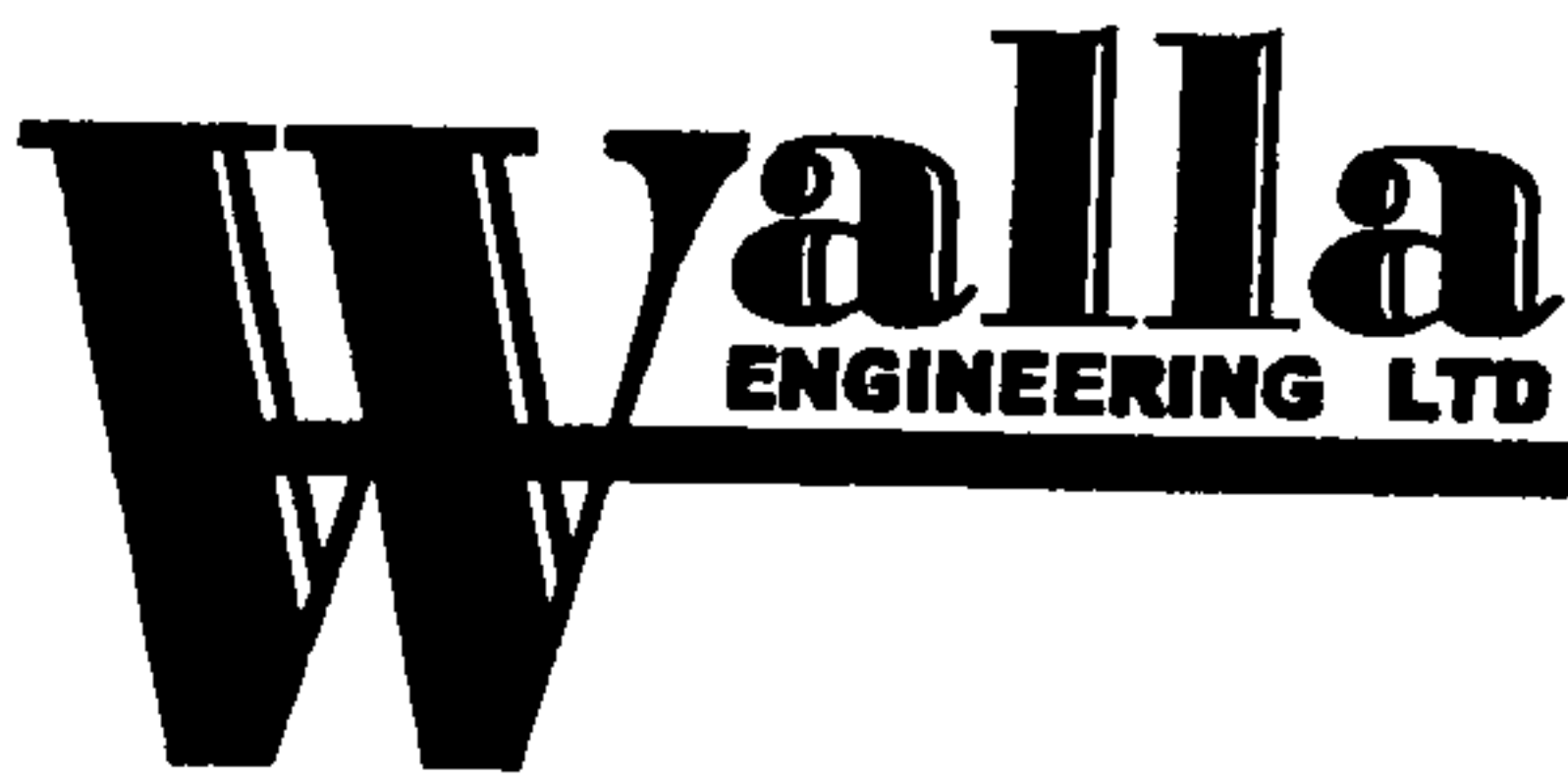
From: Ortiz, Monica <E06857@cabq.gov>
To: Larry Kennedy
Sent: Tuesday, September 9, 2014 1:59 PM
Subject: Read: 7500 HOLLY

Your message

To:
Subject: 7500 HOLLY
Sent: Tuesday, September 9, 2014 1:59:10 PM (UTC-07:00) Mountain Time (US & Canada)

was read on Tuesday, September 9, 2014 1:59:06 PM (UTC-07:00) Mountain Time (US & Canada).





Structural Engineering • Civil Engineering

LETTER OF TRANSMITTAL

TO CITY OF ALBUQ

DATE 9/9/14 JOB NO. _____
ATTENTION HYDROLOGY DEPT.
RE: 7500 HOLLY NE

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover Via _____ the following items:

☐ Plans ☐ Prints ☐ CD ☐ Specifications ☐ Calculations

☐ Report ☐ Copy of Letter ☐ Shop drawings ☐ Proposal Information

☐ Samples ☐ _____

COPIES	DATE	NO.	DESCRIPTION
1 EA			INFORMATION SHEET
1 EA			ENGINEER'S CERTIFICATION

THESE ARE TRANSMITTED as checked below:

☒ For Your Use ☐ For Review and Comment ☐ Returned After Loan To Us

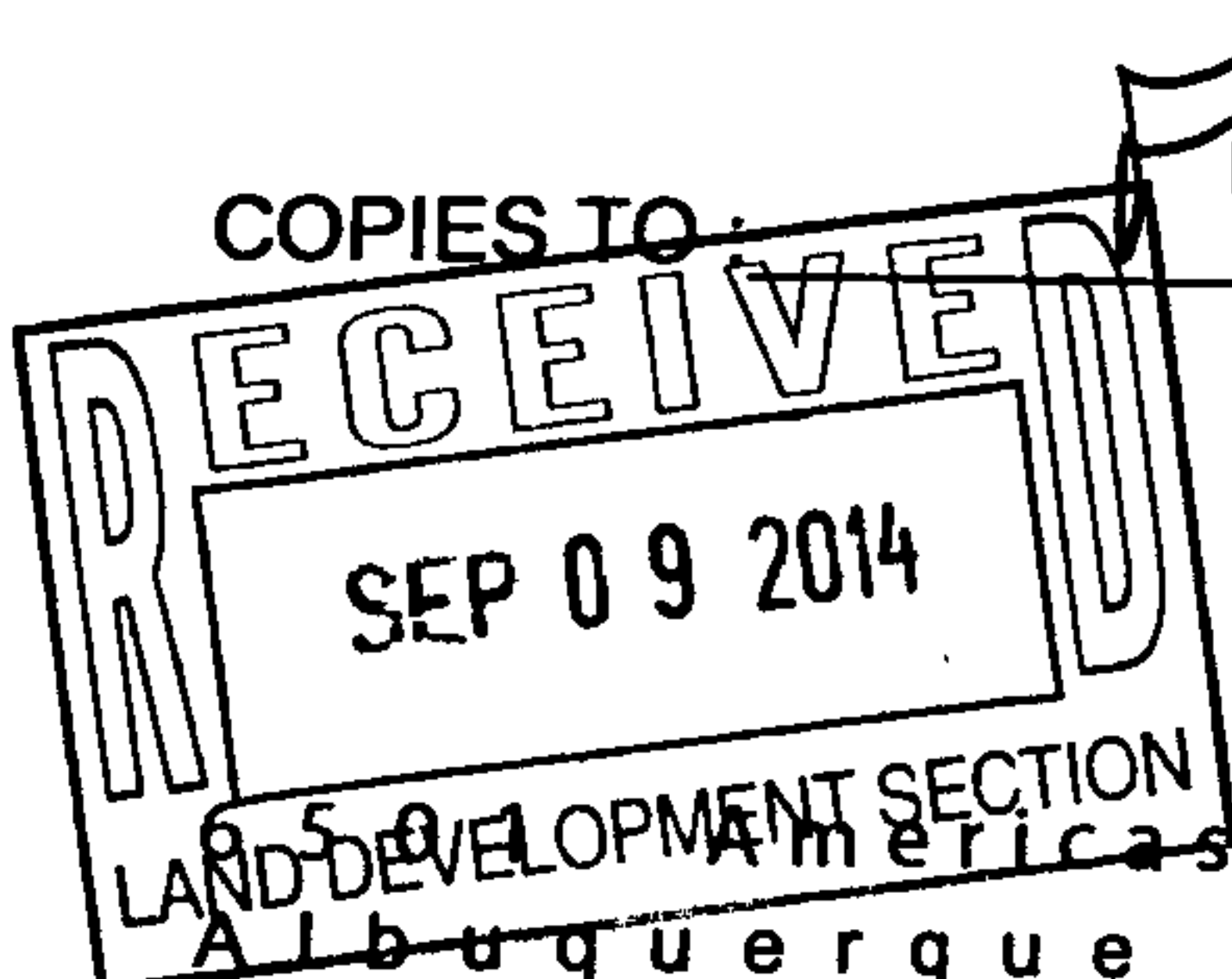
☒ As Requested ☐ Correct and Resubmit ☐ Resubmittal Not Required, Revise Per Corrections Noted, If Any

REMARKS ENGINEER'S CERTIFICATION ENCLOSED
- CERTIFICATE OF OCCUPANCY REQUEST
- [initials]

COPIES TO: _____

SIGNED: _____

If enclosures are not as noted, kindly notify us at once



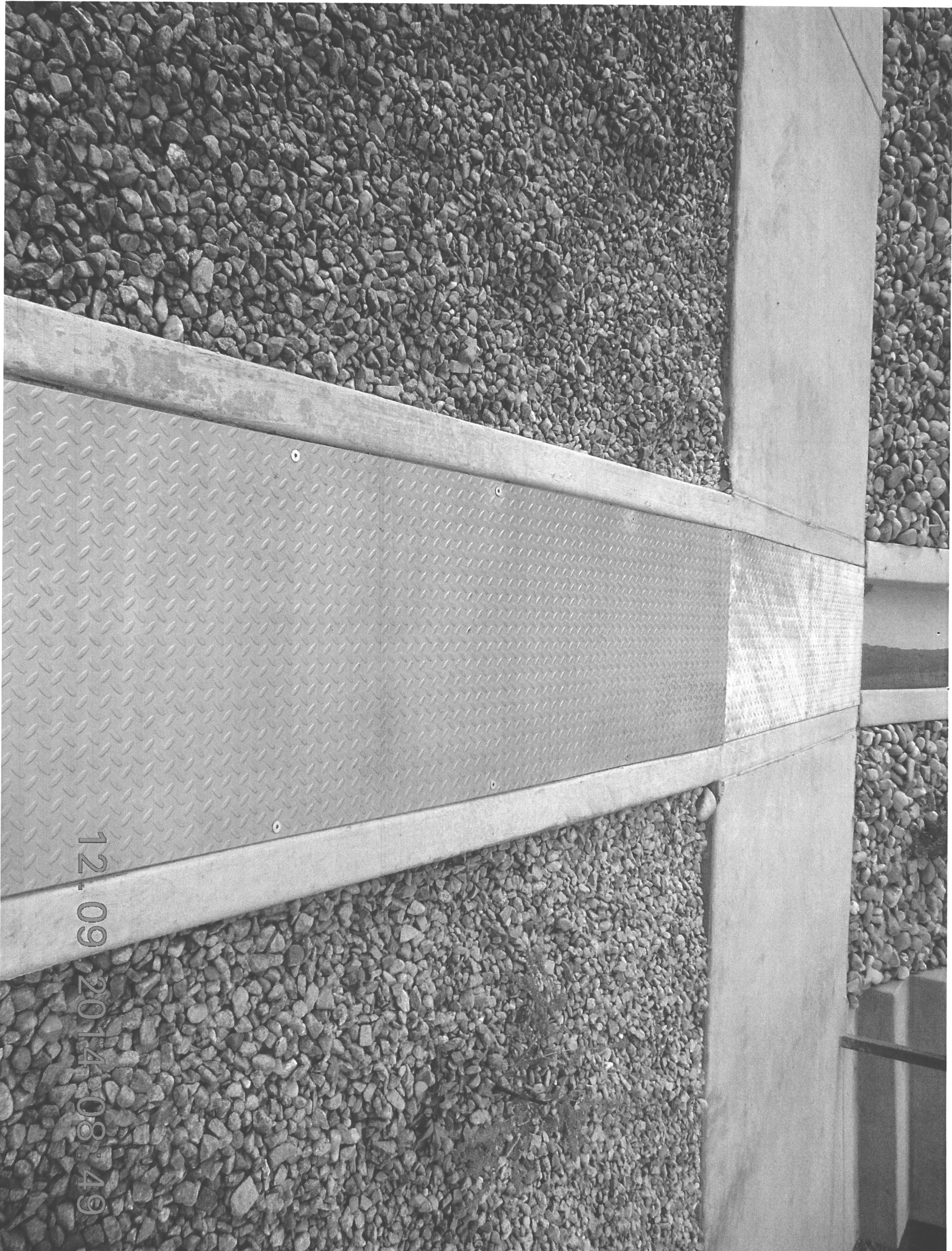
5050 Parkway NE Suite 301
Albuquerque New Mexico 87110
(505) 881-3008 Facsimile (505) 881-4025
Mike J. Walla P.E. Larry E. Kennedy

From: [Rodriguez, Jason T.](#)
To: [Harmon Rita T.](#); [Cherne, Curtis](#)
Cc: ["Eric Tidmore"](#); ["lerry@gmail.com"](#)
Subject: 7500 Holly
Date: Friday, September 12, 2014 9:20:00 AM
Attachments: [DSCN1179.JPG](#)
[DSCN1180.JPG](#)

Good morning I was at the site this morning and the culvert and expansion joints are good the only thing is to tack weld the bolts so I called Larry and he is going to get it done today so it's a pass. If you need any more let me know.

Jason C.O.A.

12.09.2014 08:49



12:09:2014 08:49

CPA D:058

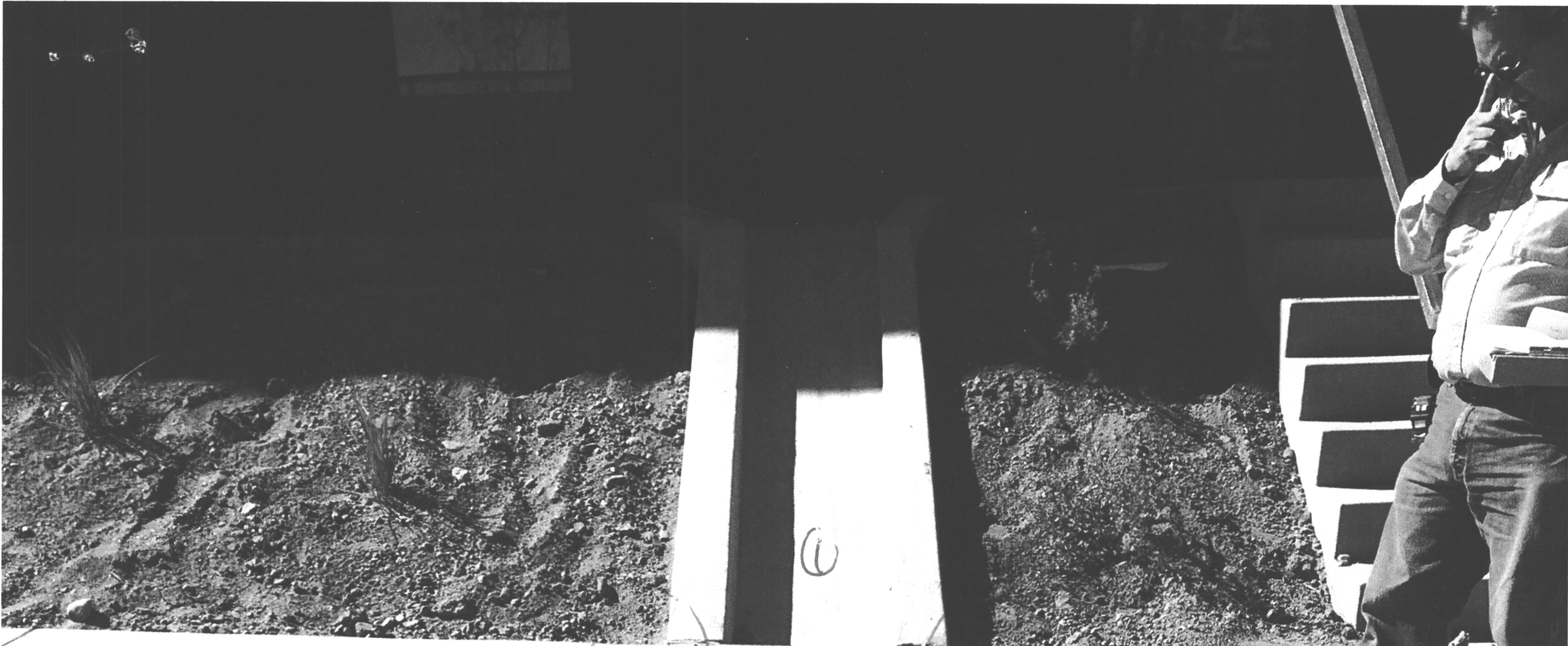
Talked to Eric Tidmore on 9/2/14

- Eric said it was a bolted joint
- Eric said that wall was OK with narrower with a steep slope

- I said to have Miller send email saying it was OK w/ narrower with a slope.

- Curtis is going to support Jason Rodriguez's opinion of whether it needs to be torn out or is acceptable.

Jeff



subur d

check
slur
of upstream
channel



Harmon Rita T.

From: Harmon Rita T.
Sent: Friday, August 29, 2014 3:07 PM
To: Quintana, Carol S.
Cc: Ortiz, Monica; 'Mike Walla'; Cherne, Curtis
Subject: 7500 Holly NE, South Building

Carol,

Based on the information from the engineer, the site is acceptable for a release of a (30 day) Temporary Certificate of Occupancy by Hydrology.

If you have any questions, please call me.

Rita Harmon, P.E.

Senior Engineer

Planning Department

Development & Review Services Division

600 2nd St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

f 505-924-3864

From: Mike Walla [<mailto:mikew@wallaengineering.com>]

Sent: Friday, August 29, 2014 2:19 PM

To: Harmon Rita T.; Cherne, Curtis

Cc: Eric Tidmore; Joe Slagle

Subject: 7500 Holly NE

Rita,

At the request of Eric Tidmore of Trinity Construction I have performed a site visit at the 7500 Holly NE Dental Office project today to verify the construction progress and the general compliance of the site construction with our approved Grading and Drainage Plan permitted for this project. The COA Hydrology approval letter was dated December 9, 2013 on our plan that was stamped on 11/26/2013.

The construction of the project is almost complete but lacks some small items to complete in order to be in full compliance with the plan. These issues include:

- Installation of permanent sidewalk culvert covers on site (2 each) and in the public R.O.W. on Holly Ave. (1 each). Apparently, the galvanized diamond plate that will be the final covers for these 3 structures has not yet been delivered by the supplier and so temporary covers have been installed. The temp covers do not extend the entire required length and have not been properly anchored but once the correct covers arrive they will be installed.
- Slope protective landscaping rock has not been completely installed on the north and west side of the site.
- An as-built topographic survey of the site has not been completed yet.

Until these items are complete we cannot submit our Engineer's Certification to the COA. However, the construction does appear to direct runoff flows as required to downstream drainage facilities and all other site improvement that are described, or referenced on our plan appear correctly installed. I can at this point say that all completed work on this site has been constructed in substantial compliance with our approved design and that only minor items remain to be finished. Once the Contractor's surveyor provides our office with his completed as-built survey, and the items mentioned above are completed, I will complete our Engineer's Certification for this project and submit that to your department in order to obtain a full Certificate of Occupancy. Until that time I can find no reason not to issue Trinity Construction a Temporary CO on this project as they are working quickly toward 100% completion and should be done very soon.

Thanks,

Walla
ENGINEERING LTD
Michael J. Walla, P.E.
President
mikew@wallaengineering.com
6501 Americas Parkway NE Ste 301
Albuquerque, NM 87110
505-881-3008 (p) 505-881-4025 (f)

Water

7500 holly - sidewalk culvert not

built right

~~Steel post~~

19-4" wide

plate is 2' but culvert is 19"

redo. possibly 2' out to the side

put plate up 2' down, on an angle

Eric said he will make it 11' 2"

redo it - remove curb

didn't build for the driveway

close to top of hill.

CC 8-29-41

South
Sent Canal an email
for 30 days from C.O.

(1) may only apply to north bldg

(2) it is too skinny, but may have capacity

(3) it may be too steep south of sidewalk

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1006520

AGENDA ITEM NO: 2

SUBJECT:

Plat Approval

ENGINEERING COMMENTS:

A recorded SIA with financial guarantees is required
for Final Plat signature.

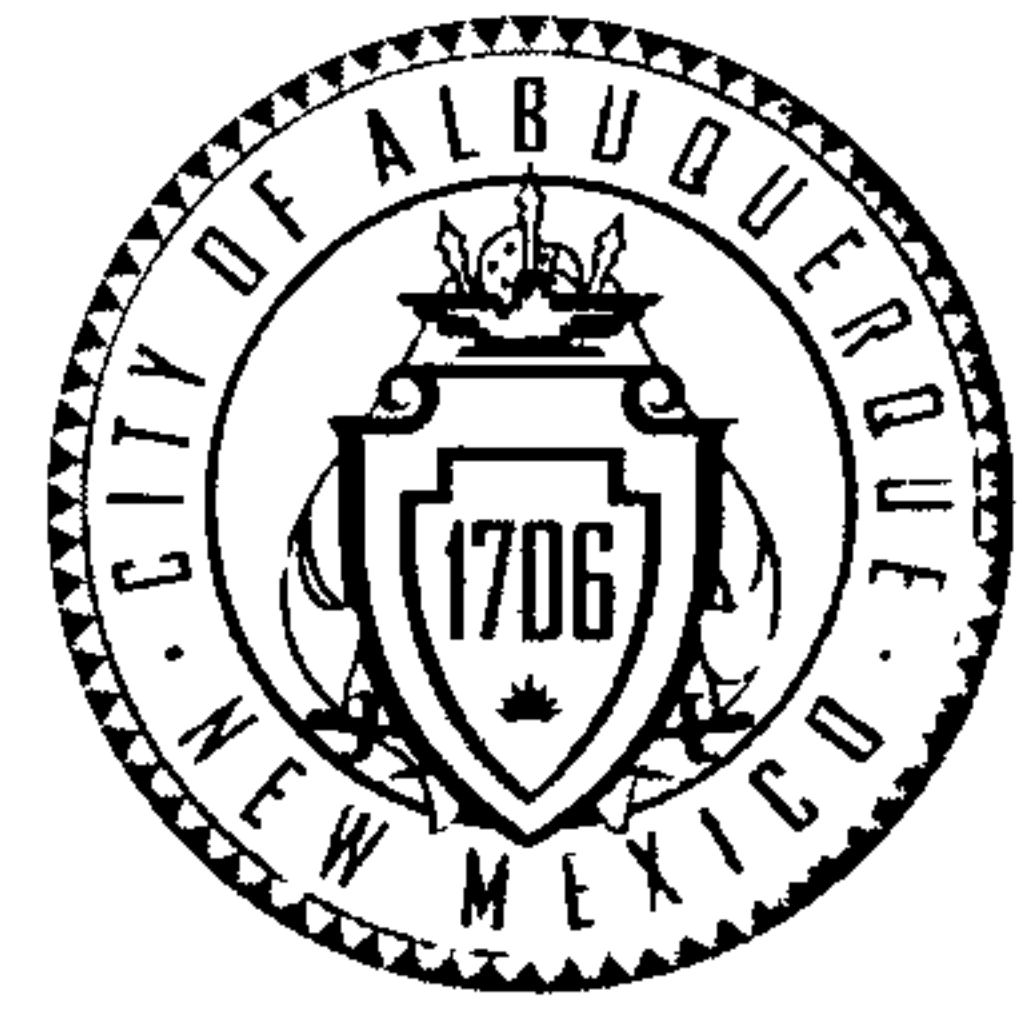
goal

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 8-27-14

CITY OF ALBUQUERQUE



December 9, 2013

Mike Walla, P.E.
Walla Engineering
6100 Indian School Rd. NE
Albuquerque, NM 87110

**Re: Dental Office, 7500 Holly Ave. NE
Grading and Drainage Plan,
Engineer's Stamp Date 11/26/2013 (C-19/D058)**

Dear Mr. Walla,

Based upon the information provided in your submittal received 11-26-13, the above referenced plan is approved for building permit and SO-19 permit based on the following conditions:

- Show the handicap parking spaces and as-built grades as part of certification.
- Extended stem wall may be required at the northeast corner of the northerly building. Grades steeper than 3:1 will require slope treatment.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriquez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

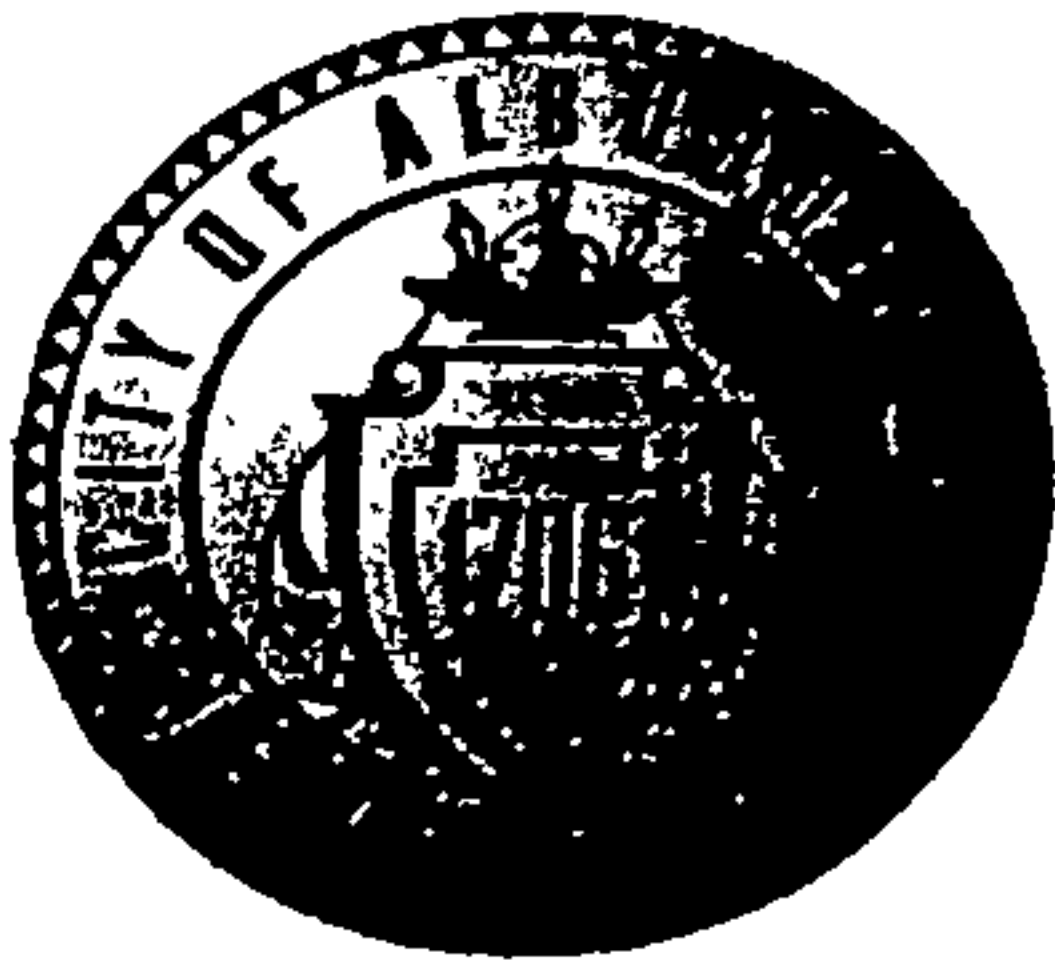
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: DENTAL OFFICE DEVELOPMENT Building Permit #: _____ City Drainage #: C19/0058
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 14, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES
City Address: 7500 HOLLY AVE NE

Engineering Firm: WALLA ENGINEERING Contact: MIKE WALLA
Address: 6501 AMERICAS PKWY, NE SUITE 301, ALBUQ, NM 87110
Phone#: 505-881-3008 Fax#: 505-881-4025 E-mail: mikew@walla-engineering.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: SLAGLE HERR ARCHITECTS Contact: JOE SLAGLE
Address: 413 SECOND ST. SW, ALBUQ. NM 87102
Phone#: 505-246-0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: HARRIS SURVEYING Contact: TONY HARRIS
Address: 2412-D MONROE ST. NE, ALBUQ. NM 87110
Phone#: 505-889-8056 Fax#: 505-889-8645 E-mail: _____

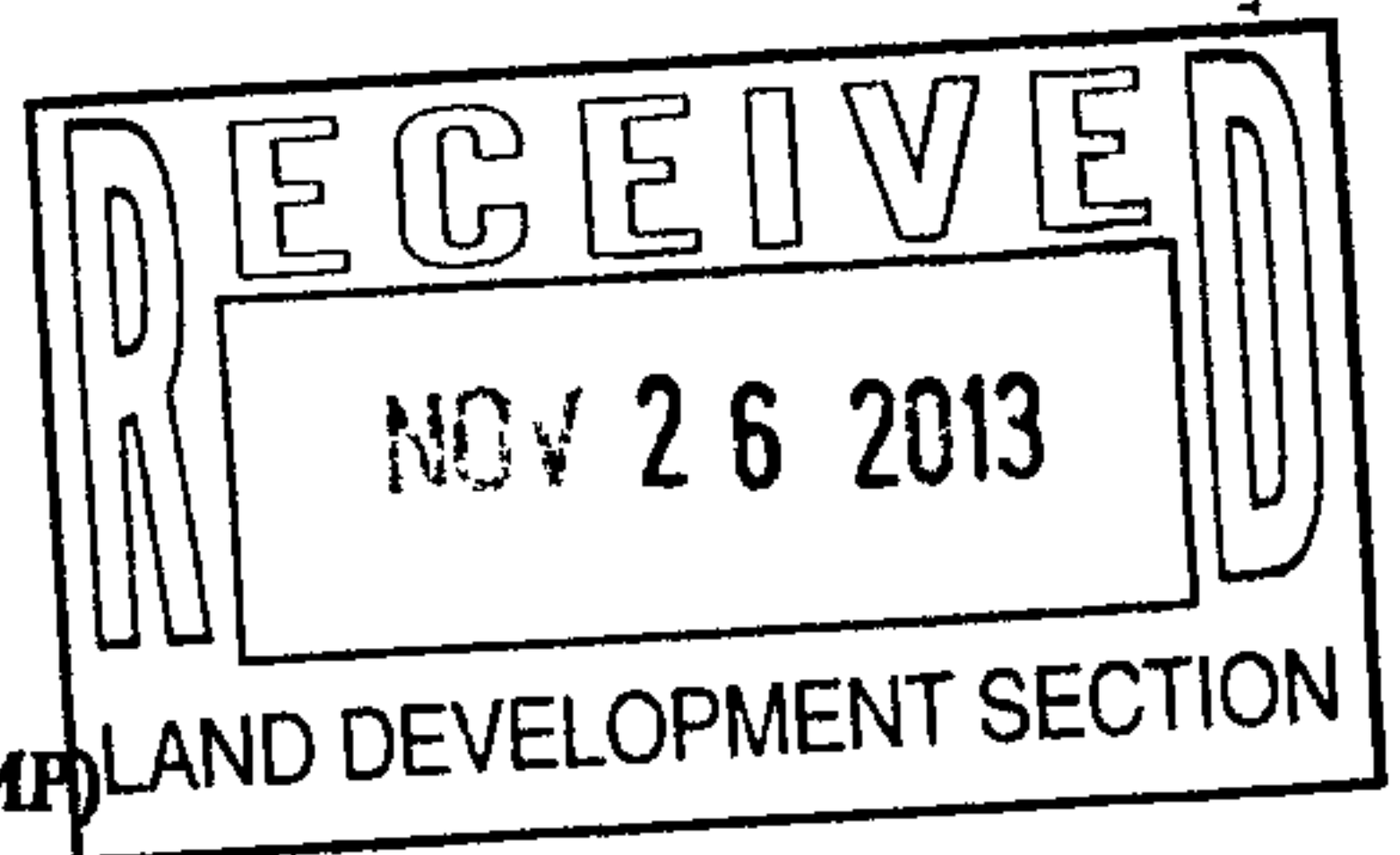
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 11-26-13

By: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



November 25, 2013

Mike Walla, P.E.
Walla Engineering
6100 Indian School Rd. NE
Albuquerque, NM 87110

Re: Dental Office, 7500 Holly Ave. NE
Grading and Drainage Plan, Engineer's Stamp Date (C-19/D058)

Dear Mr. Walla,

Based upon the information provided in your submittal received 09-18-13, the above referenced plan cannot be approved based on the following comments:

- Provide flowline elevations on both sides of the sidewalk culverts.
- Extend the sidewalk culvert on Holly 2' (to the south) passed the sidewalk. Include a note to "tack weld the bolts at the plate".
- Depress the landscaping areas where possible.
- Is there an extended stem wall required at the northeast corner of the northerly building? The grades north of the building appear to be steeper than 3:1. What kind of the slope treatment is being proposed? Flowline elevation at the sidewalk culvert is +/- 5377.00 and finished contour just north of the sidewalk culvert is 5399.00.
- Show handicap parking spaces and grades to assure it meets ADA requirements.
- Provide spot elevation south of the southerly building to assure positive drainage away from the building either to the east or to the west.
- Is the wall along the westerly boundary a retaining wall? Please provide Top or retaining wall elevations? We recommend that the wall be extended to the south in order to drain the runoff south of the trash enclosure east to the parking lot.
- There is a FG of 82.90 west of the southerly building (by the door) that appears to be low.
- Clearly call out the top of the existing and proposed retaining walls along the boundary line.

PO Box 1293

Albuquerque

New Mexico 87103

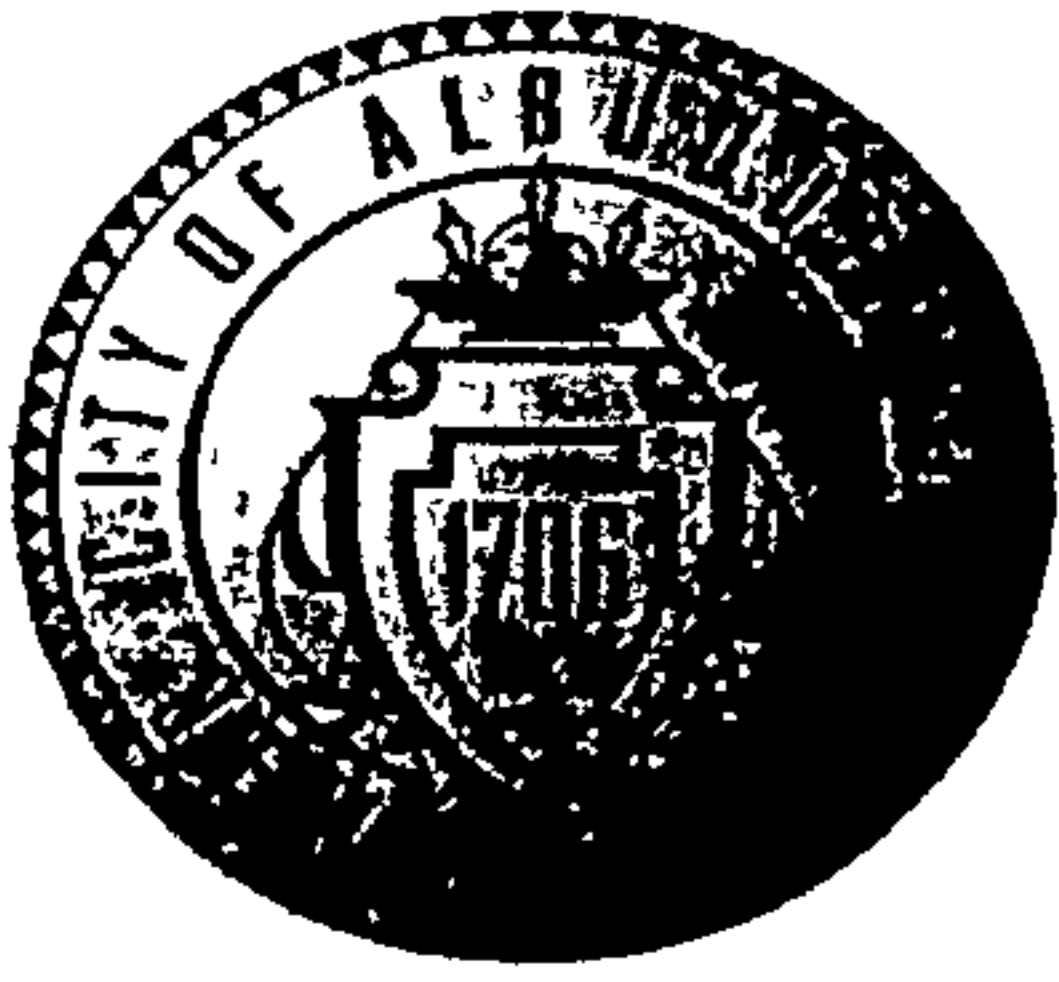
www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

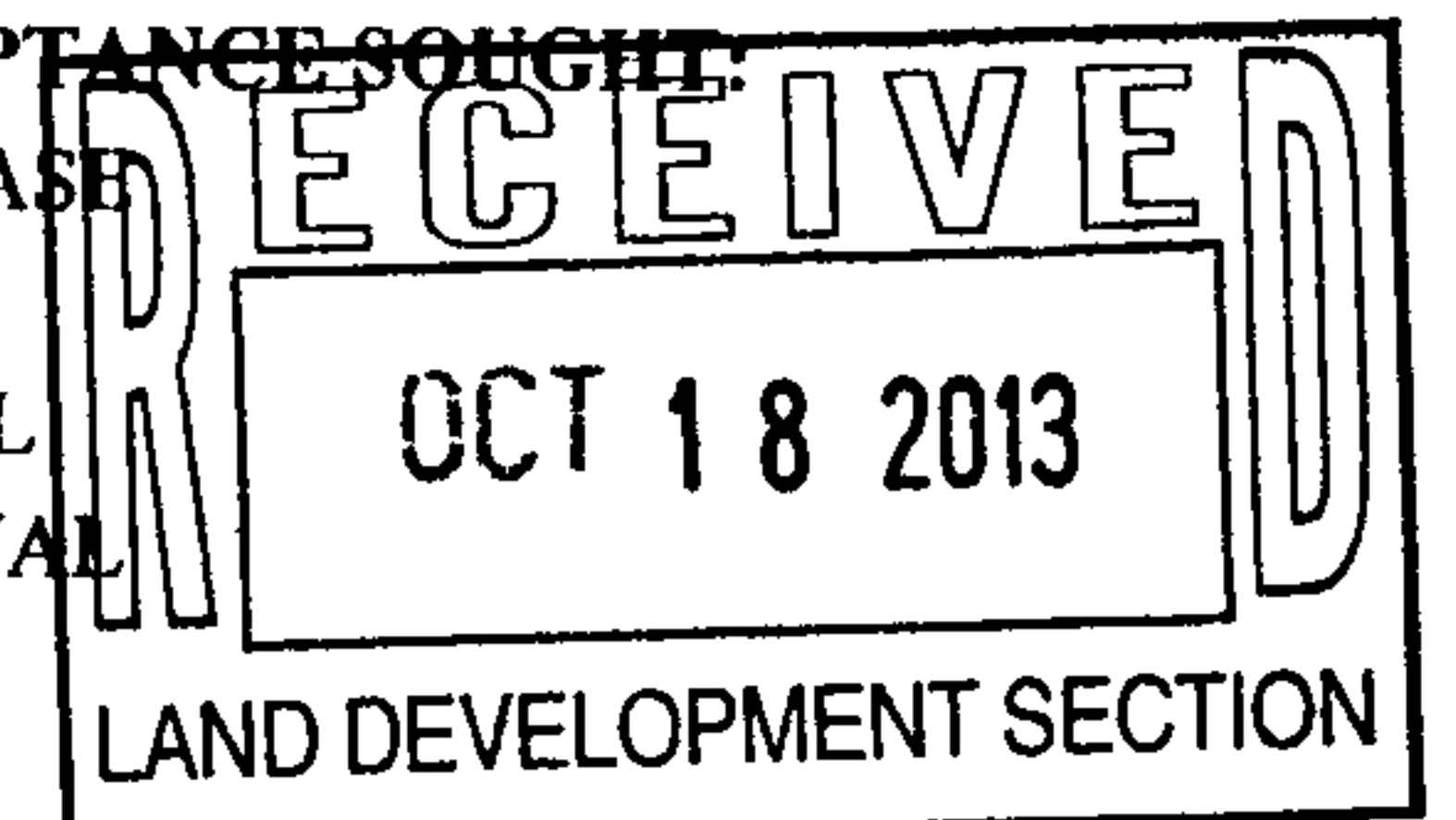
Project Title: DENTAL OFFICE DEVELOPMENT Building Permit #: _____ City Drainage #: C19/0058
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 14, BLOCK 10, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES
City Address: 7500 HOLLY AVE, NE
Engineering Firm: WALLA ENGINEERING Contact: MIKE WALLA
Address: 6501 AMERICAS PKWY, NE SUITE 301, ALBUQ. NM 87110
Phone#: 505-881-3000 Fax#: 505-881-4025 E-mail: mikew@walla-engineering.com
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: SLAGLE HERR ARCHITECTS Contact: JOE SLAGLE
Address: 413 SECOND ST. SW, ALBUQ. NM 87102
Phone#: 505-246-0870 Fax#: _____ E-mail: joe@slagleherr.com
Surveyor: HARRIS SURVEYING Contact: TONY HARRIS
Address: 2412-D MONROE ST. NE, ALBUQ. NM 87110
Phone#: 505-889-8056 Fax#: 505-889-8645 E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



\$50.00

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 10-18-13 By: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



May 13, 2013

Mike Walla, P.E.
Walla Engineering
6100 Indian School Rd. NE
Albuquerque, NM 87110

Re: Dental Office, 7500 Holly Ave. NE, Conceptual Grading and Drainage Plan

Engineer's Stamp -no stamp- (C-19/D058)

Dear Mr. Walla,

Based upon the information provided in your submittal received 5-2-2013, the above referenced plan is approved for Site Plan for Building Permit action by the DRB.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

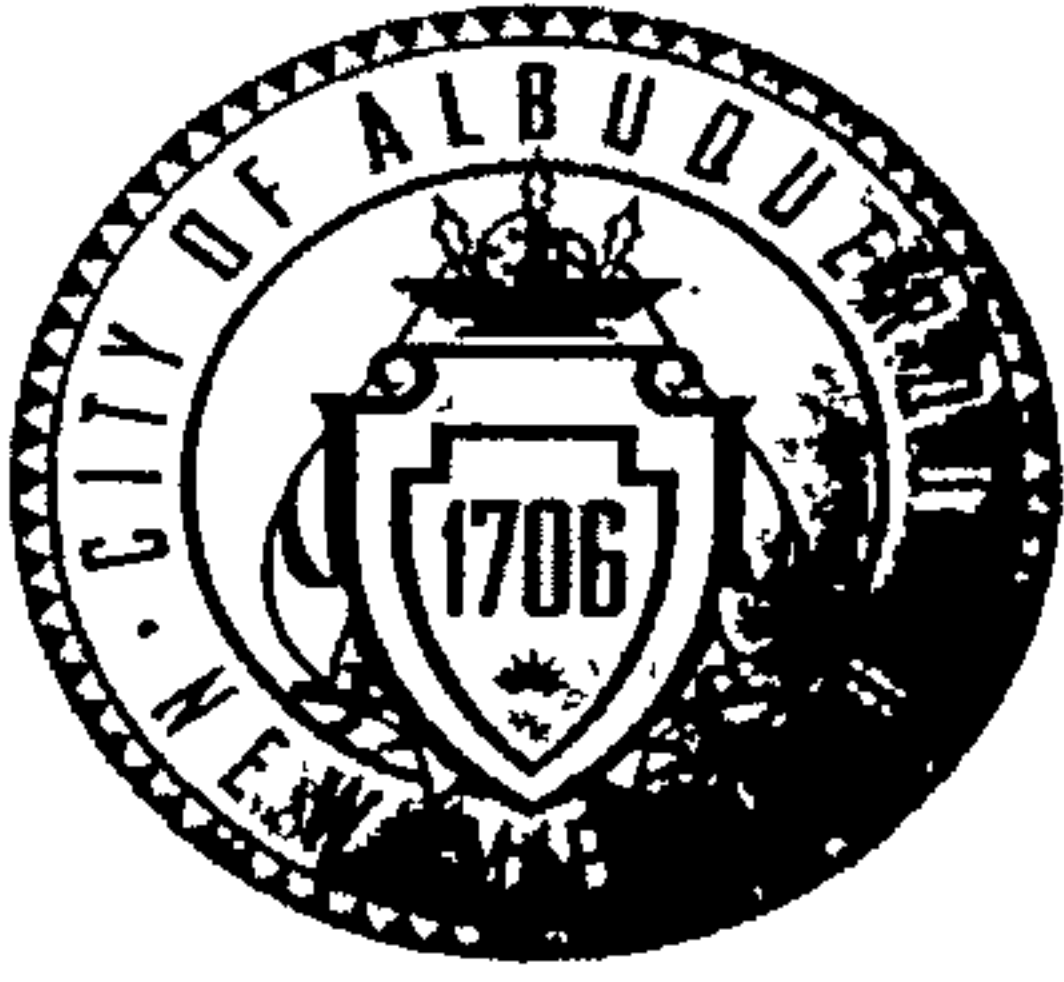
Sincerely,

Curtis Cherne, P.E.
Principal Engineer
Development Review Services

New Mexico 87103

www.cabq.gov

C: mikew@wallaengineering.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

10058
C1958

Project Title: DENTAL OFFICE @ 7500 HOLLY Building Permit #: _____ City Drainage #: _____
DRB#: 1003532 EPC#: _____ Work Order#: _____
Legal Description: LOT 14, BLOCK 10, TRACT 2, UNIT 3, NORTH ABQ ACRES
City Address: 7500 HOLLY NE

Engineering Firm: WALLA ENGR. Contact: MIKE WALLA
Address: 6100 Indian School N.E. SUITE 210
Phone#: 801-3008 Fax#: _____ E-mail: MIKE@WALLAENGR.COM
mikew@walla-engineer.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

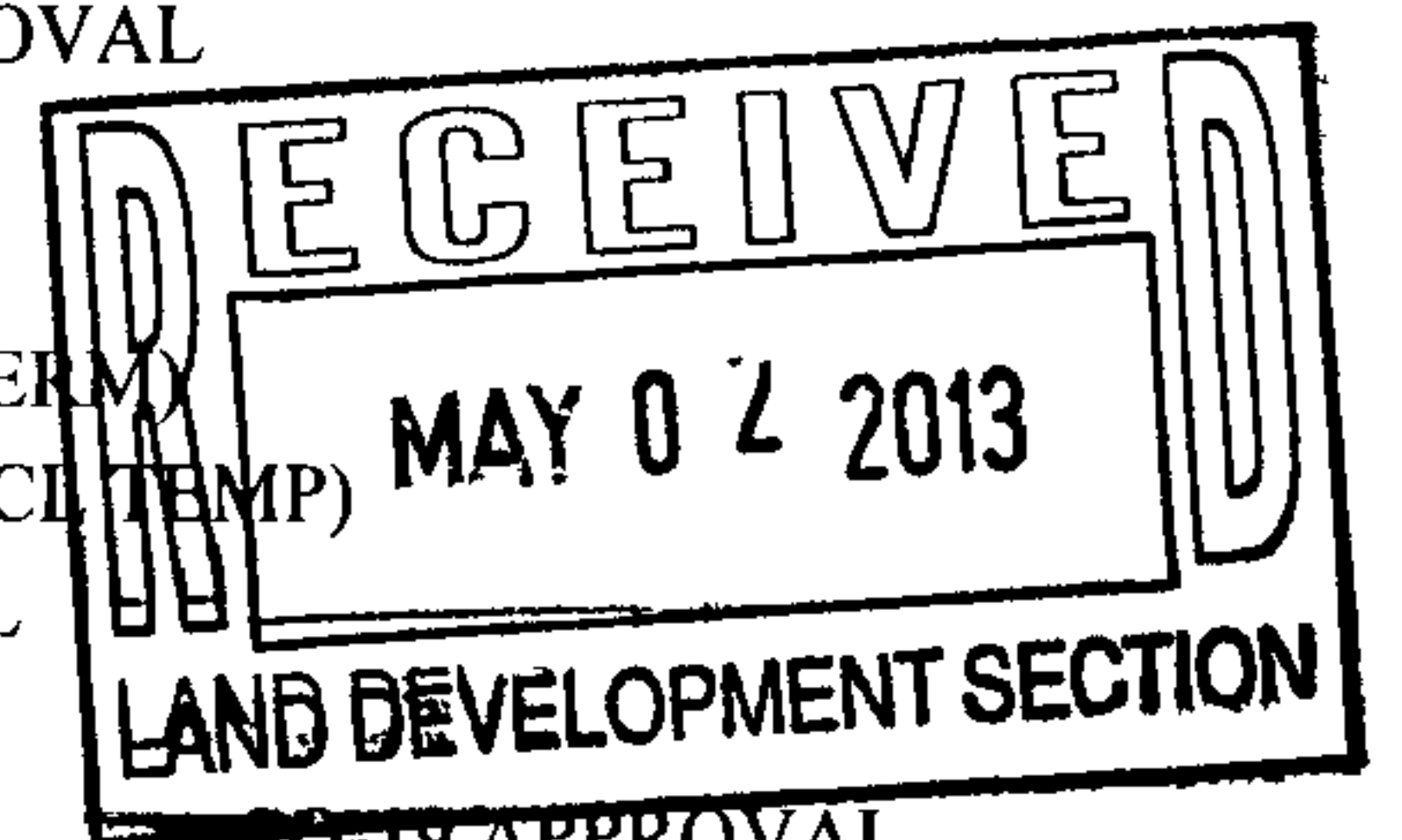
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 5-2-13

By: JOE SLAGLE - ARCHITECT

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Wed 13th 1:

man noticed sup
2nd floor

1. 857-0596 11:30 AM

Carry - Cotel → Patel

Drainage plan

So Dump drunk loads

She corner Manda - Cousin
no water truck

2. 345-4444
344-1563 11:40 AM

D McCall Mr. Glenn

Midway Leasing @ Comcast - not

1. 220-7106 1:20 PM

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1009542

AGENDA ITEM NO: 4 ¹³

SUBJECT:

Plat Approval

ENGINEERING COMMENTS:

Hydrology has no comments on the plat.

It is not clear what the "E" refers to on the infrastructure list. Possibly change to "South P/L Tract A" or "12.66 feet north of South P/L Tract A".

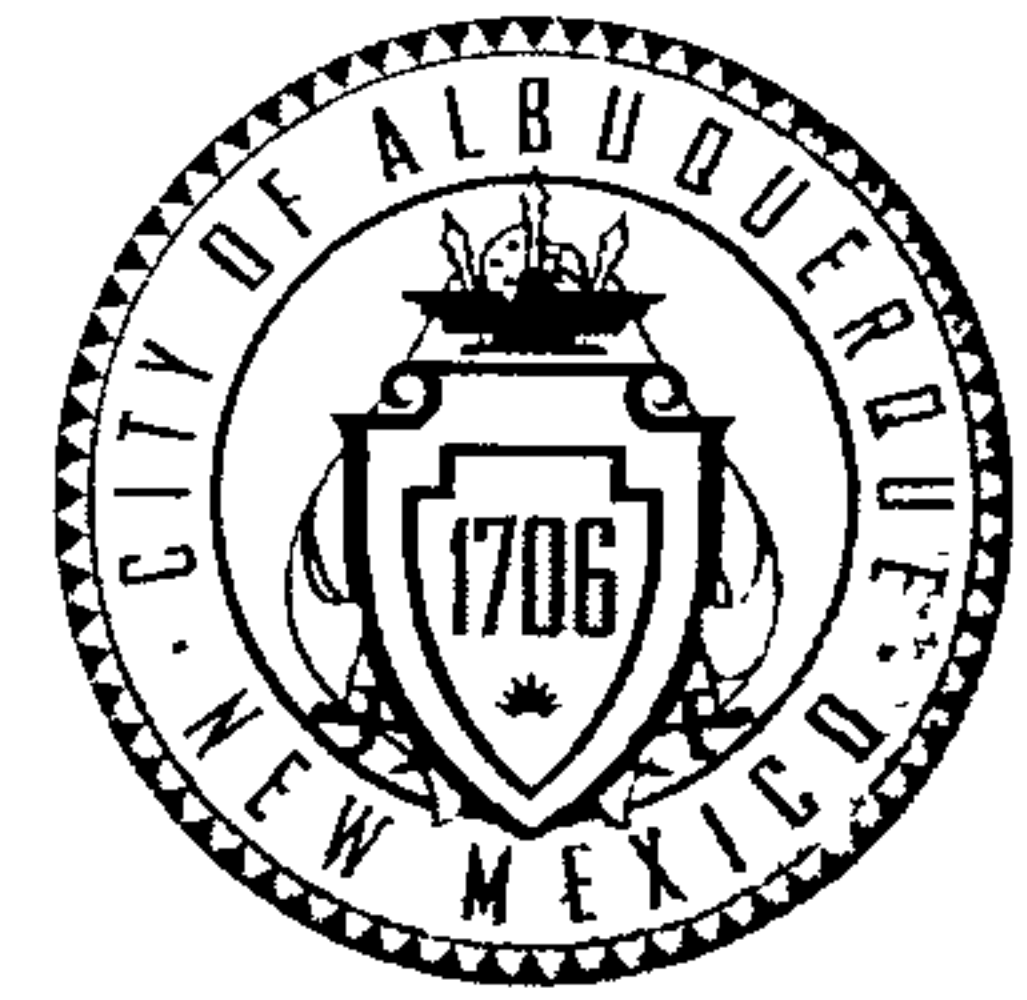
RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
AMAFA Designee
924-3986

DATE: 11-6-13

CITY OF ALBUQUERQUE



***Planning Department
Transportation Development Services***

August 29, 2014

Joe Slagle, R.A.
Slagle Herr Architects
1600 Rio Grande NW
Albuquerque, NM 87104

**Re: Dental Office Development, 7500 Holly Avenue NE
Certificate of Occupancy – Transportation Development
DRB Project Number 1003532 (C19-D058)
Certification dated 08-27-14**

Dear Mr. Slagle,

Based upon the information provided in your submittal received 08-28-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

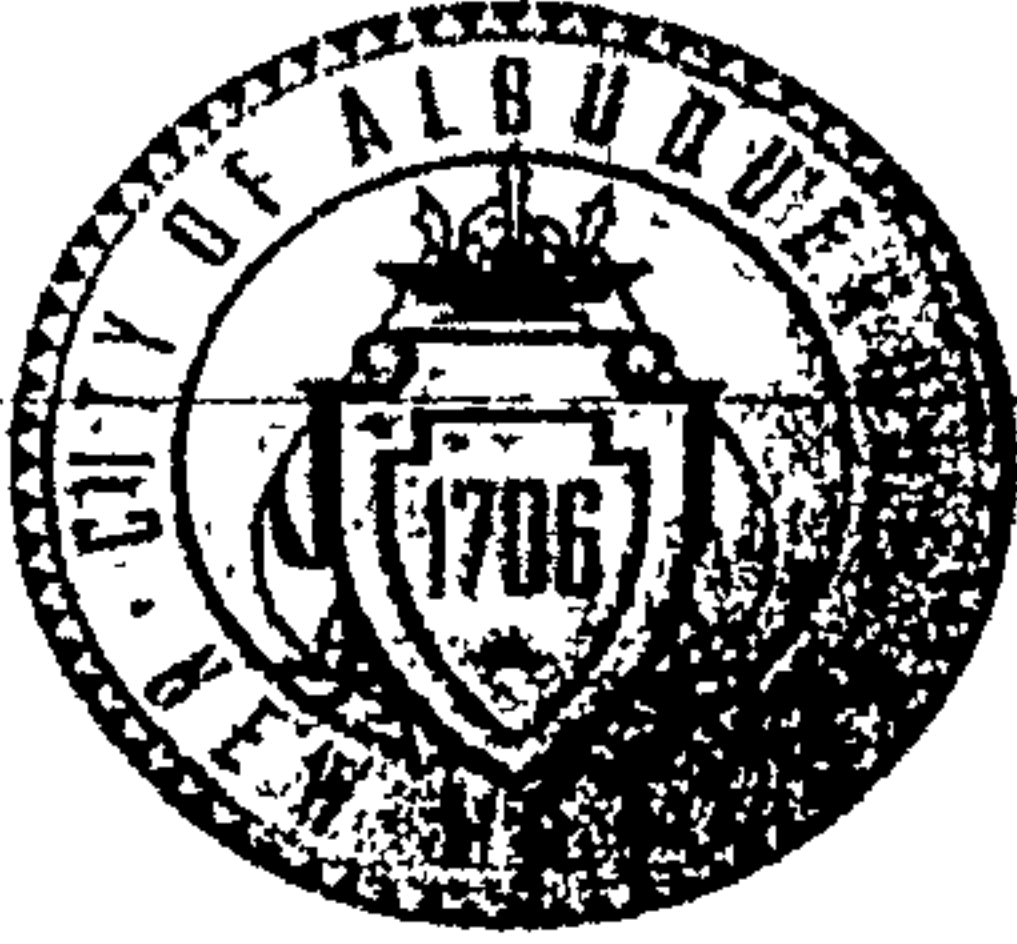
If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

C19 D058



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Dental office development Building Permit #: T201392722 City Drainage #: _____
DRB#: 1003532 EPC#: 13EPC-40101 Work Order#: _____
Legal Description: Lot 14, Block 10, Tract 2, Unit 3, North Albuquerque Acres
City Address: 7500 Holly Avenue NE, Albuquerque NM

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: Tred, LLC Contact: David Martinez
Address: 7500 Holly Ave NE, Abq NM 87109
Phone#: 314-0645 Fax#: _____ E-mail: akidsdentist@hotmail.com

Architect: Slagle Herr Architects Contact: Joe Slagle
Address: 413 2nd St. SW, Abq, NM 87102
Phone#: 246-0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

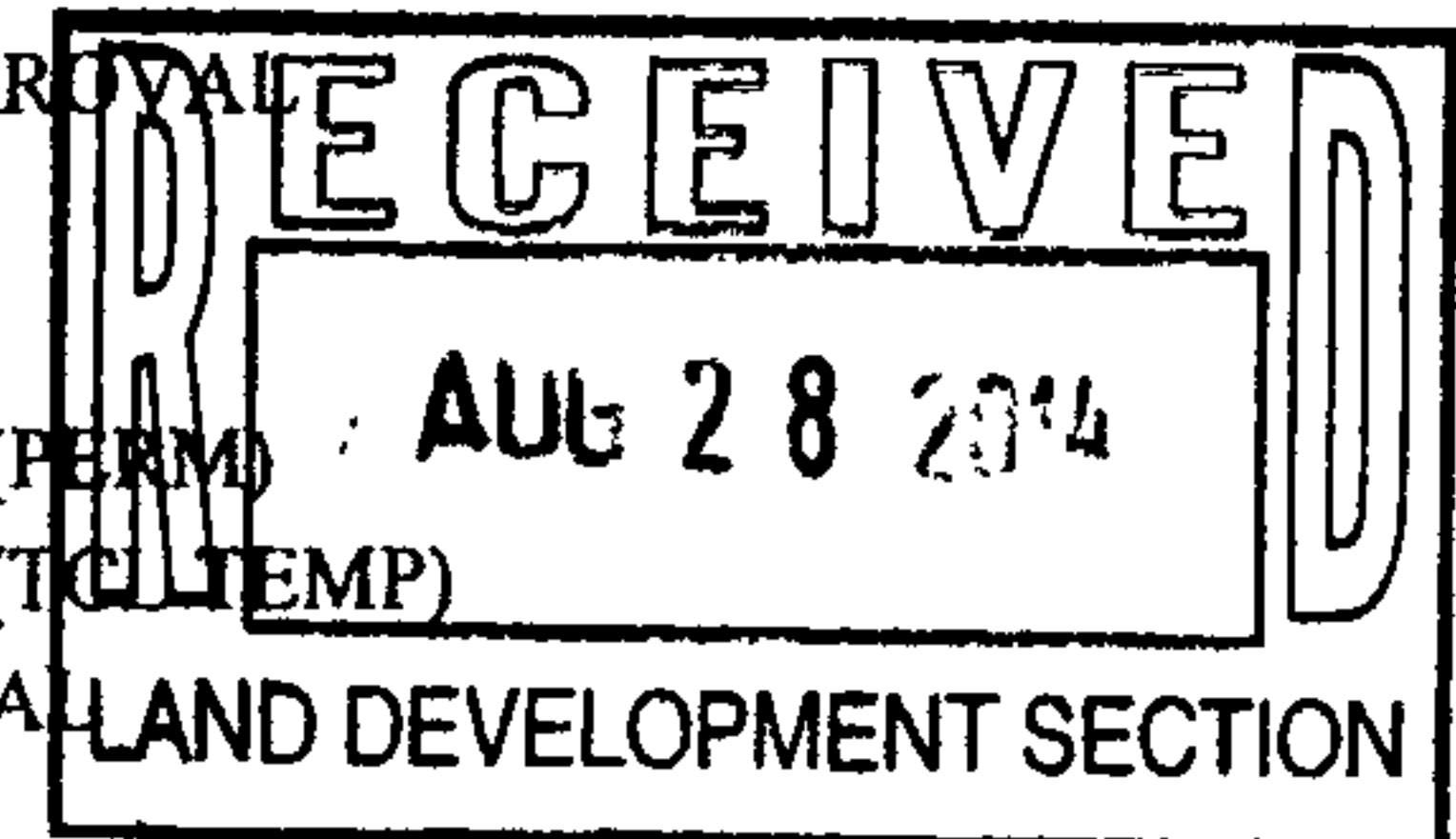
Contractor: Trinity Construction Contact: Vernon Ambos
Address: 8019 Edith NE, Abq NM, 87113
Phone#: 858-9960 Fax#: _____ E-mail: vernon@trinityconstructionnm.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided
DATE SUBMITTED: 8-28-2014 By: Joe Slagle

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

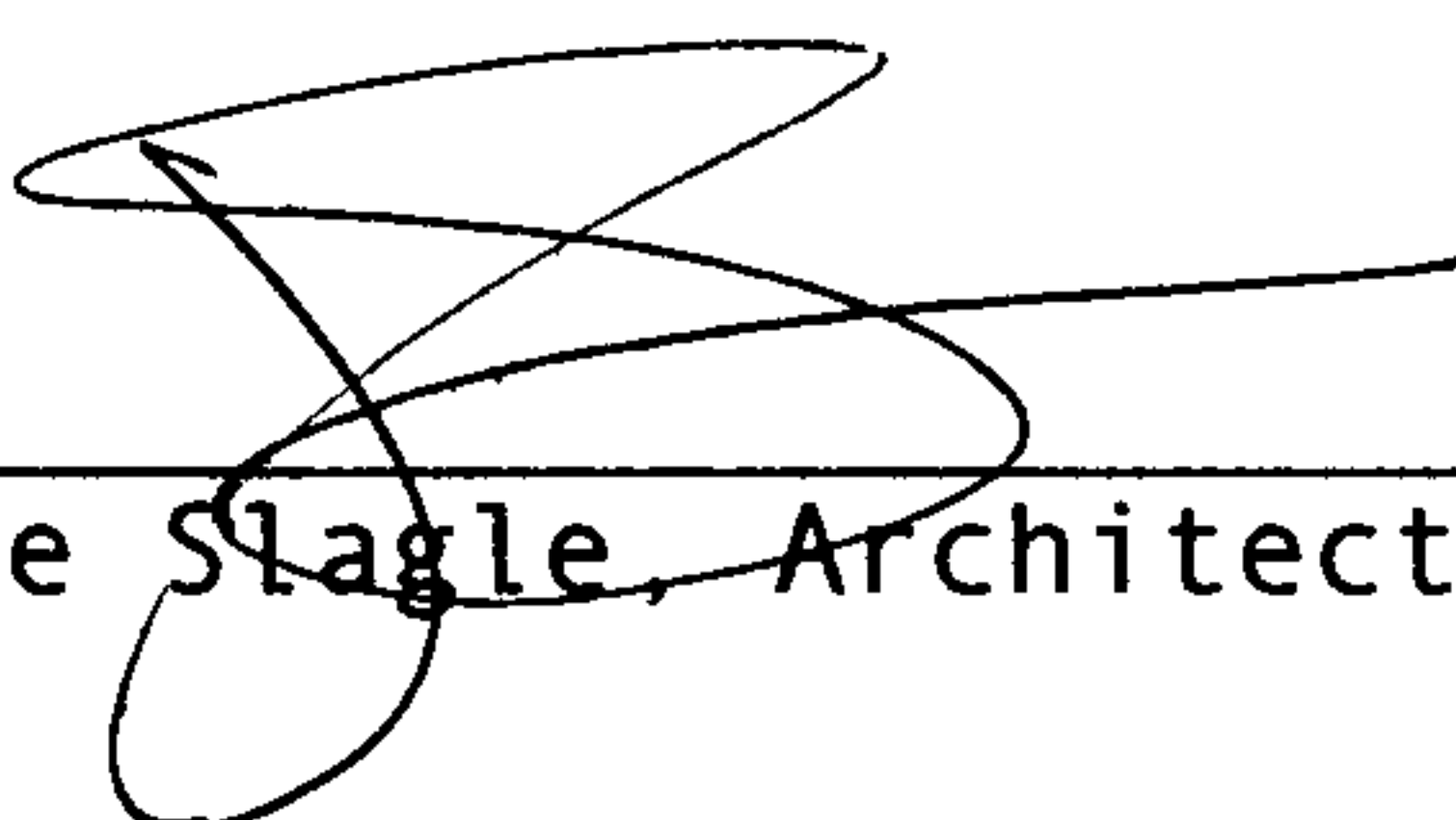
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

TRAFFIC CERTIFICATION FOR PERMANENT C.O.

RE: 7500 Holly Ave, NE

I, Joe L. Slagle, NMRA 2284, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 2-28-13 and approved 5-16-13. I certify that I have personally visited the project site on 8-27-14 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Joe Slagle, Architect

8.27.14

Date

