

September 12, 2014

Mike Walla, P.E. Walla Engineering 6100 Indian School Rd. NE Albuquerque, NM 87110

Re: Dental Office, 7500 Holly Ave. NE

Grading and Drainage Plan,

Engineer's Stamp Date 11/26/2013 (C-19/D058)

Certification Stamp Date 9-9-2014

Dear Mr. Walla,

Based on the Certification received 9/9/2014, the site is acceptable for a release of a Final Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: rharmon@cabq.gov.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Sincerely, /

Albuquerque

Rita Harmon, P.E.

New Mexico 87103

Senior Engineer, Planning Dept. Development Review Services

www.cabq.gov

Orig: Drainage file

c.pdf: via Email: recipient, CO Clerks—Katrina Sigala, Francis Connor, Carol

Quintana



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: DENTAL OFFICE D	· · · · · · · · · · · · · · · · · · ·	City Diamage w
Legal Description: \ n T 14 B1 \ \ T		Work Order#:
Legal Description: LOT 14, BLOCK 10, To City Address: 7500 HOLLY AVE	NE UNITS, NORTH	HUBUQUERQUE MCRES
Engineering Firm: WALLA ENGINEE	¥21416	Contact: Ad the second
Mudiess: 10501 HMERICAS PKWY, N	E SUITE 301, ALBUQ, 1	UM BJIID
Phone#: 505-881-300B Fax#:	505-881-4025	E-mail: mikew @ wally
Owner:		Chaineering, to
Address:		Contact:
Phone#: Fax#:		E-mail:
Architect: <u>SLAGLE HERR ARCHIT</u>	= C.75	
Address: 413 SECOUD 57. 5W. AL	BUG. WM 87102	Contact: DOE SLAGLE
Phone#: 505-246-0870 Fax#:		E-mail: joe @ slagle herr. com
Surveyor: HARRIS SURVEYING		Contact: Tony Horres
Address: 2412-D MONROE ST. A	JE, ALBUQ. NM B7117	
Phone#: 505-889-8056 Fax#: 5	305-889-8645	E-mail:
Contractor: TRINITY COUSTRUCT Address: PO ROY 14907 ALR	10N 8-2101	Contact: ERIC TOMORE
Phone#: 858-9960 Fax#:	277.6732	
	<u></u>	E-mail: ERICHTIMORE @ 9MAIL. CON
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVA	L/ACCEPTANCE SOUGHT:
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DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D A	PPREVAL
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GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	SEP 0 9 2014
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CLOMR/LOMR	CERTIFICATE OF OCCUPAN	ROYAL DEVELOPMENT SECTION
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT APPI	ROYAL DEVELOPMENT SECTION
ENGINEER'S CERT (TCL)	BUILDING PERMIT APPROV	AL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROV	AL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVAI	
SO-19 SO-19	WORK ORDER APPROVAL	ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION	OTHER (SPECIFY)
AS A PRE-DESIGN CONFERENCE ATTENDED:	Yes K No Copy	Provided
TE SUBMITTED: 9/9/4	By: MIKE WALA	
uests for approvals of Site Development Plans and/or Subdivision	on Plats shall be accompanied by a drainage en	ibmittal The portionier nature in action

Requ pment Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans

- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Larry Kennedy

From:

Ortiz, Monica <E06857@cabq.gov>

To:

Larry Kennedy

Sent:

Tuesday, September 9, 2014 1:59 PM

Subject:

Read: 7500 HOLLY

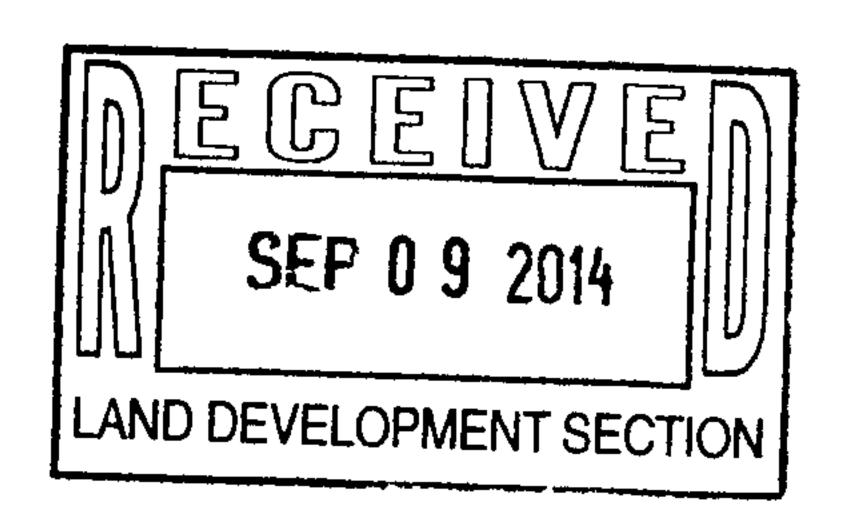
Your message

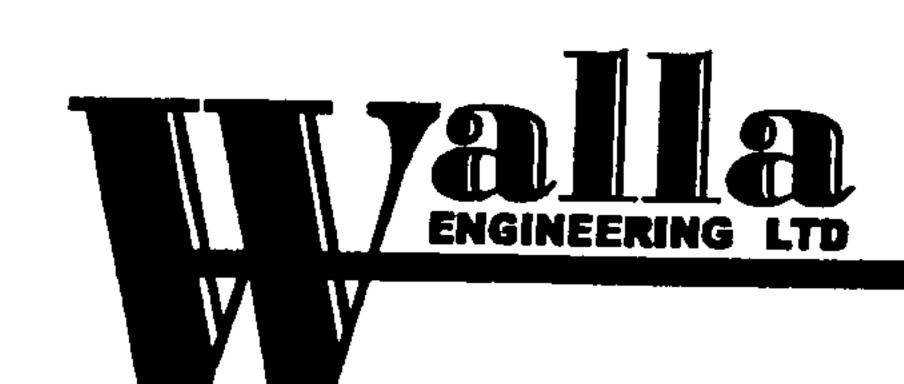
To:

Subject: 7500 HOLLY

Sent: Tuesday, September 9, 2014 1:59:10 PM (UTC-07:00) Mountain Time (US & Canada)

was read on Tuesday, September 9, 2014 1:59:06 PM (UTC-07:00) Mountain Time (US & Canada).





LETTER OF TRANSMITTAL

TO CITY OF A	LBUQ	DATE 994	OB NO.
		ATTENTION HYDROLC	64 DEPT.
		7500 HOLL	Y NE
<u></u>			
WE ARE SENDING YOU Atta	ched Under Separat	e Cover Via.	the following items:
☐ Plans ☐ Pri		☐ Specifications ☐	
☐ Report ☐ Cor	y of Letter Shop drawi	ngs Proposal Information	วก
☐ Samples ☐			
COPIES DATE NO	<u>+</u> _	DESCRIPTION	
EANAGRI	WATON SHEET FER'S CERTIF		
ENGL	ISR'S CERTIF	CATION	
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As Requested	For Review and Comment Correct and Resubmit	☐ Resubmittal Per Correction	er Loan To Us Not Required, Revise ons Noted, If Any
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SEP 0 9 2014			
DEVELOPMENT SECTION Park Lbuquerque 05) 881-3008	• New M	lexico. csimile (505)	Suite 301 87110 881-4025
ke J. Walla P.E.	•		E. Kennedy

From:

Rodriguez, Jason T.

To: Cc: Harmon Rita T.; Cherne, Curtis
"Eric Tidmore"; "lerry@gmail.com"

Subject:

7500 Holly

Date:

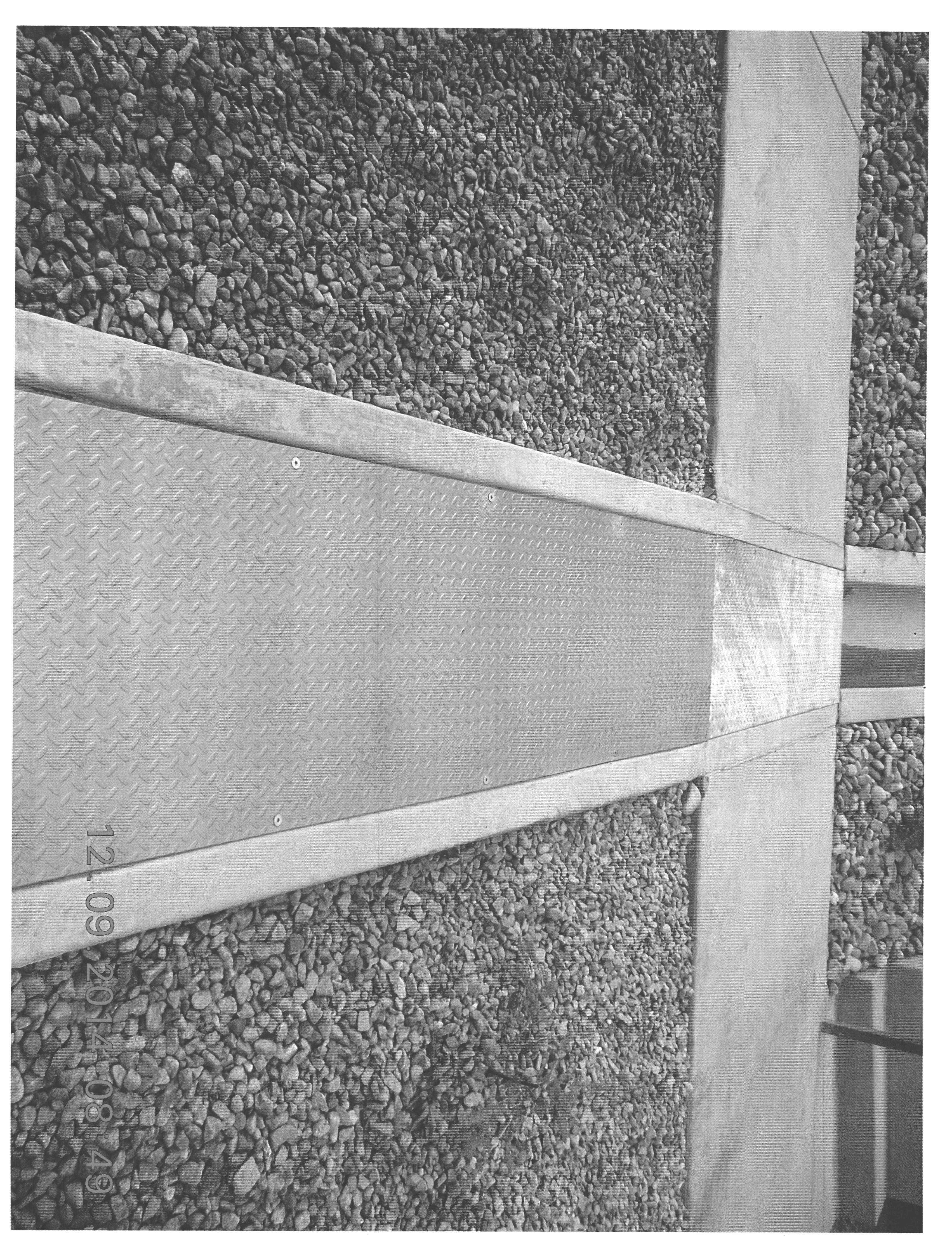
Friday, September 12, 2014 9:20:00 AM

Attachments:

DSCN1179.JPG DSCN1180.JPG

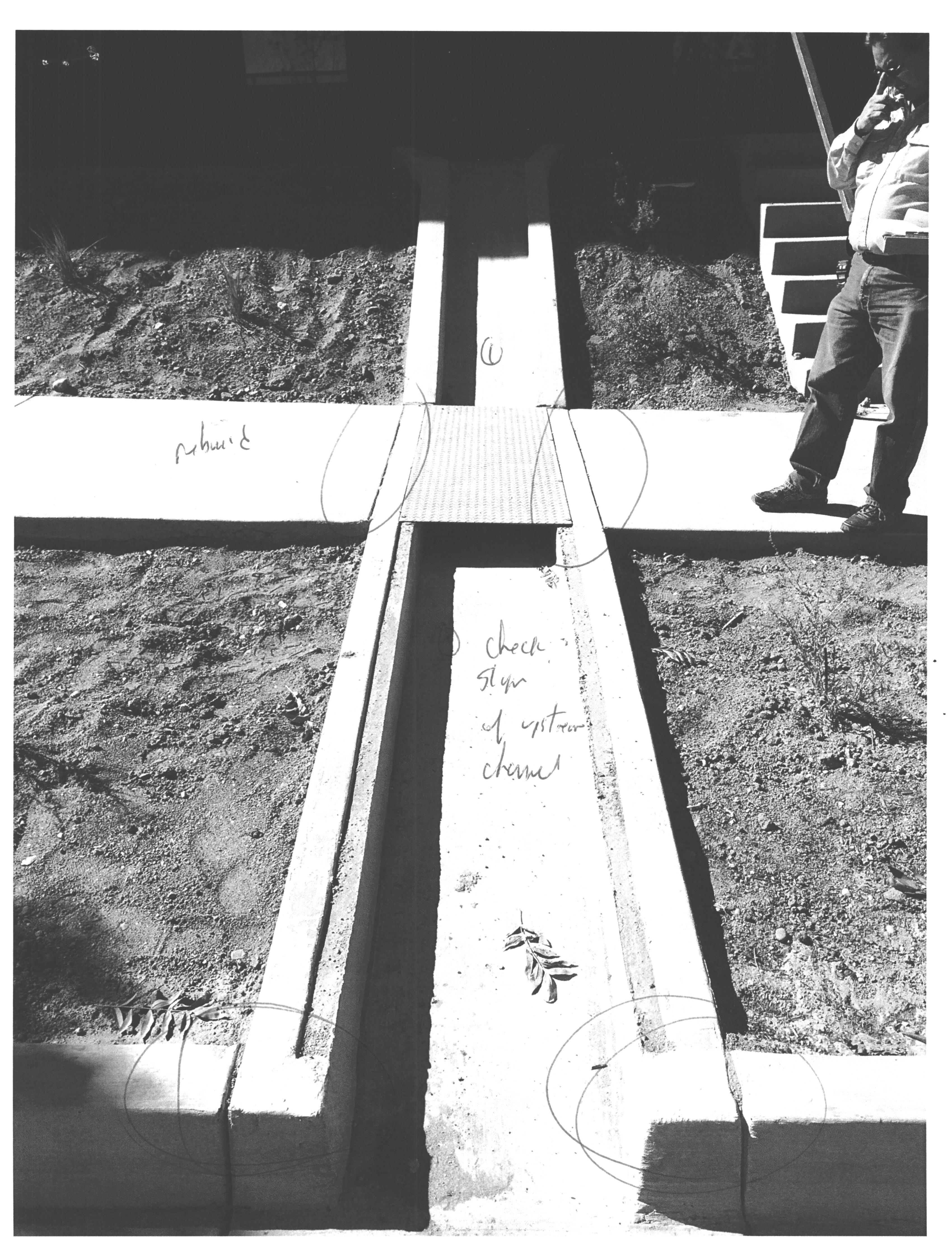
Good morning I was at the site this morning and the culvert and expansion joints are good the only thing is to tack weld the bolts so I called Larry and he is going to get it done today so it's a pass. If you need any more let me know.

Jason C.O.A.





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Harmon Rita T.

From: Harmon Rita T.

Sent: Friday, August 29, 2014 3:07 PM

To: Quintana, Carol S.

Cc: Ortiz, Monica; 'Mike Walla'; Cherne, Curtis

Subject: 7500 Holly NE, South Building

Carol,

Based on the information from the engineer, the site is acceptable for a release of a (30 day) Temporary Certificate of Occupancy by Hydrology.

If you have any questions, please call me.

Rita Harmon, P.E.

Senior Engineer
Planning Department
Development & Review Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864

From: Mike Walla [mailto:mikew@wallaengineering.com]

Sent: Friday, August 29, 2014 2:19 PM **To:** Harmon Rita T.; Cherne, Curtis **Cc:** Eric Tidmore; Joe Slagle

Subject: 7500 Holly NE

Rita,

At the request of Eric Tidmore of Trinity Construction I have performed a site visit at the 7500 Holly NE Dental Office project today to verify the construction progress and the general compliance of the site construction with our approved Grading and Drainage Plan permitted for this project. The COA Hydrology approval letter was dated December 9, 2013 on our plan that was stamped on 11/26/2013.

The construction of the project is almost complete but lacks some small items to complete in order to be in full compliance with the plan. These issues include:

- Installation of permanent sidewalk culvert covers on site (2 each) and in the public R.O.W. on Holly Ave. (1 each). Apparently, the galvanized diamond plate that will be the final covers for these 3 structures has not yet been delivered by the supplier and so temporary covers have been installed. The temp covers do not extend the entire required length and have not been properly anchored but once the correct covers arrive they will be installed.
- Slope protective landscaping rock has not been completely installed on the north and west side of the site.
- An as-built topographic survey of the site has not been completed yet.

Until these items are complete we cannot submit our Engineer's Certification to the COA. However, the construction does appear to direct runoff flows as required to downstream drainage facilities and all other site improvement that are described, or referenced on our plan appear correctly installed. I can at this point say that all completed work on this site has been constructed in substantial compliance with our approved design and that only minor items remain to be finished. Once the Contractor's surveyor provides our office with his completed as-built survey, and the items mentioned above are completed, I will complete our Engineer's Certification for this project and submit that to your department in order to obtain a full Certificate of Occupancy. Until that time I can find no reason not to issue Trinity Construction a Temporary CO on this project as they are working quickly toward 100% completion and should be done very soon.

Thanks,



Michael J. Walla, P.E. President

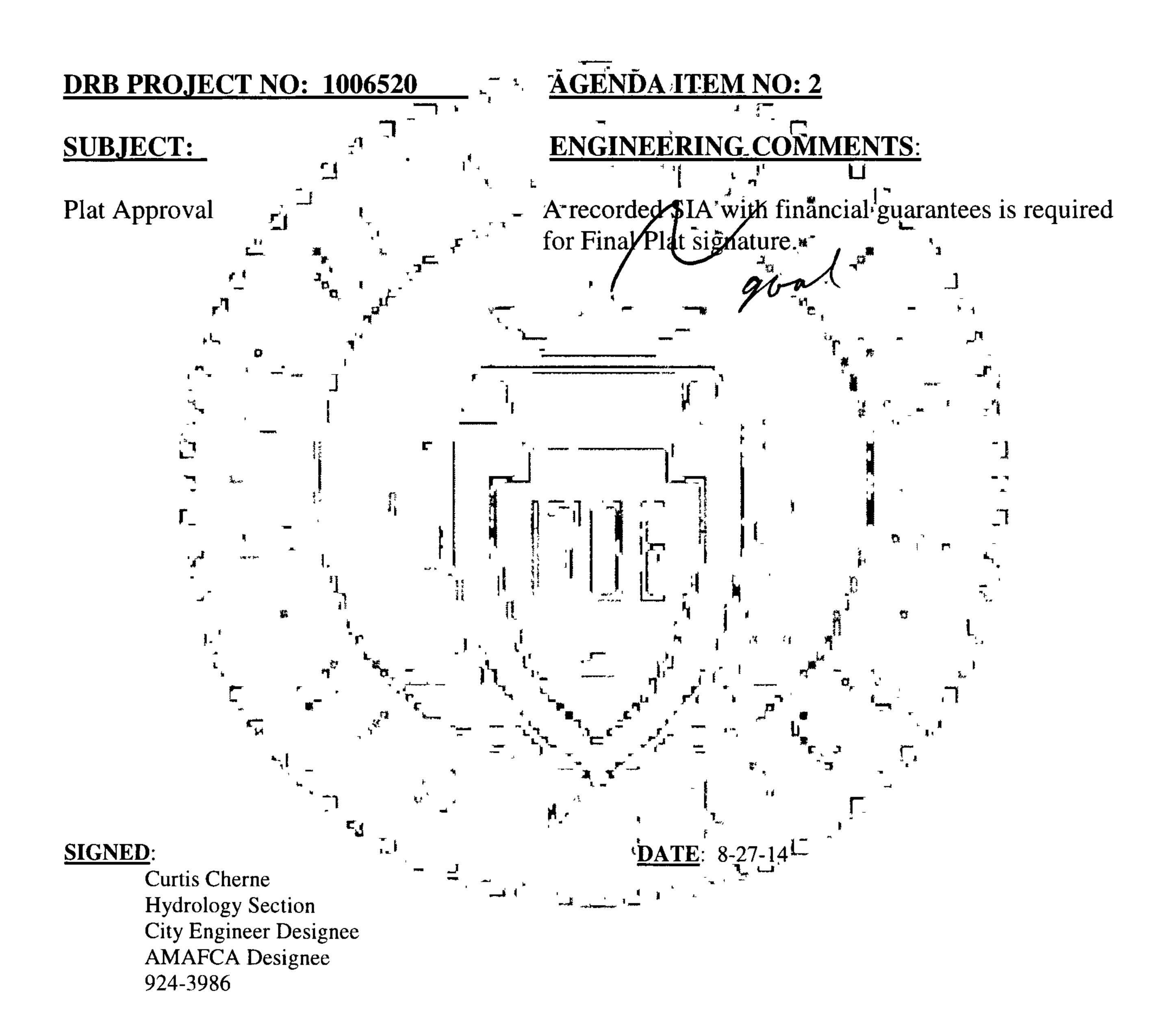
mikew@wallaengineering.com 6501 Americas Parkway NE Ste 301 Albuquerque, NM 87110 505-881-3008 (p) 505-881-4025 (f)

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(3) it may be too steep south of sidence

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO





December 9, 2013

Mike Walla, P.E. Walla Engineering 6100 Indian School Rd. NE Albuquerque, NM 87110

Dental Office, 7500 Holly Ave. NE Re: Grading and Drainage Plan, Engineer's Stamp Date 11/26/2013 (C-19/D058)

Dear Mr. Walla,

Based upon the information provided in your submittal received 11-26-13, the above referenced plan is approved for building permit and SO-19 permit based on the following conditions:

- Show the handicap parking spaces and as-built grades as part of certification.
- Extended stem wall may be required at the northeast corner of the northerly building. Grades steeper than 3:1 will require slope treatment.

PO Box 1293

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriquez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

Albuquerque

New Mexico 87103

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

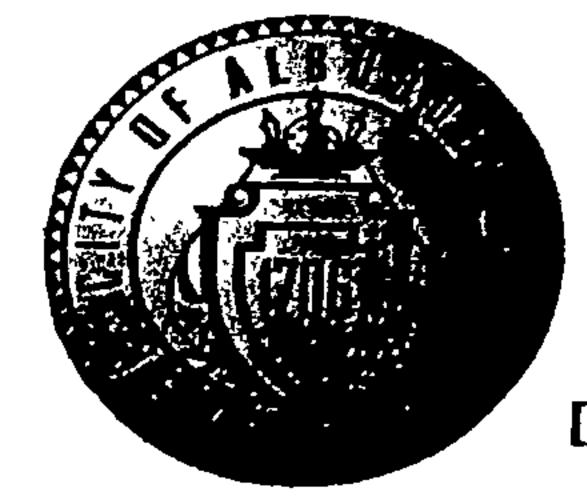
Sincerely,

Shahab Biazar, P.E.

Principal Engineer, Planning Dept.

Development Review Services

e-mail



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: DENTAL OFFICE DEVEL DRB#: EPC#:	OPMENT Building Perm	
Legal Description: LOT 14, BLOCK 10, TR. City Address: 7500 HOLLY AVE N	ACT 2, UNIT 3, NOR	Work Order#: TH ALBUQUERQUE MCRES
Engineering Firm: WALLA ENGINEER Address: 6501 HMERICAS PRWY, NE Phone#: 505-881-3008	SUITE 301 MANALIG	Contact: MIKE WALLA
Phone#: 505-881-300B Fax#: 5	VS-881-4025	E-mail: Mikew @ walla
Owner:		engineering. to w
Address:		Contact:
Dt U	······································	
Phone#: Fax#:		E-mail:
Architect: <u>5 LAGLE HERR ARCHITEC</u> Address: <u>413 SECOUD 57. 5W, ALB</u>	40. MM 87102	Contact: DOE SLAGLE
Phone#: 505- 2410-0870 Fax#:		E-mail: joe @ slagle herr. com
Surveyor: HARRIS SURVEYING		
Address: 2412-D MONROE ST. NE		Contact: Tony Hyrkes
	5-889-8645	E-mail:
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:		
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EROSION & SEDIMENT CONTROL PLAN (ESC)	SECTOR PLAN APPROVAL FINAL PLAT APPROVAL	
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SO-19	WORK ORDER APPROVA	
OTHER (SPECIFY)	GRADING CERTIFICATIO	
AS A PRE-DESIGN CONFERENCE ATTENDED:		opy Provided
TE SUBMITTED:	By: MIKE WALLA	- •
uests for approvals of Site Development Plans and/or Subdivision I		

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
 2. Drainage Plans: Required for building permits, grading permits, positive permits, and site of the first of the firs
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

∢.

November 25, 2013

Mike Walla, P.E. Walla Engineering 6100 Indian School Rd. NE Albuquerque, NM 87110

Re: Dental Office, 7500 Holly Ave. NE

Grading and Drainage Plan, Engineer's Stamp Date (C-19/D058)

Dear Mr. Walla,

Based upon the information provided in your submittal received 09-18-13, the above referenced plan cannot be approved based on the following comments:

- Provide flowline elevations on both sides of the sidewalk culverts.
- Extend the sidewalk culvert on Holly 2' (to the south) passed the sidewalk. Include a note to "tack weld the bolts at the plate".
- Depress the landscaping areas where possible.
- Is there an extended stem wall required at the northeast corner of the northerly building? The grades north of the building appear to be steeper than 3:1. What kind of the slope treatment is being proposed? Flowline elevation at the sidewalk culvert is +/- 5377.00 and finished contour just north of the sidewalk culvert is 5399.00.
- Show handicap parking spaces and grades to assure it meets ADA requirements.
- Provide spot elevation south of the southerly building to assure positive drainage away from the building either to the east or to the west.
- Is the wall along the westerly boundary a retaining wall? Please provide Top or retaining wall elevations? We recommend that the wall be extended to the south in order to drain the runoff south of the trash enclosure east to the parking lot.
- There is a FG of 82.90 west of the southerly building (by the door) that appears to be low.
- Clearly call out the top of the existing and proposed retaining walls along the boundary line.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Shahab Biazar, P.E.

Principal Engineer, Planning Dept. Development Review Services

C: e-mail

Sincerely,



City of Albuquerque

Planning Department

Development & Building Services Division

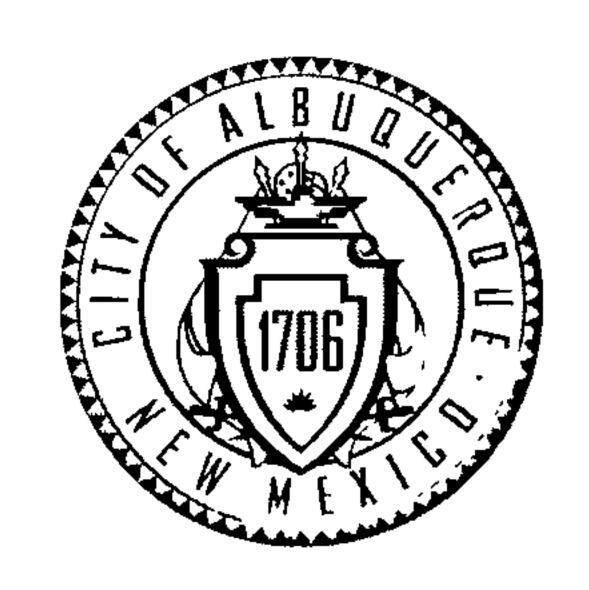
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Legal Description: Lot 14, BLOCK 10, TRACT 2, UNIT 3, LIGHTH ALBQUERGUE MCRES Engineering Firm: WALLA EAGLINEERLUG. Address: (ASO 1 AMERICAS PRIDY, NE SUITE 301 ARBUG. NET STITO Owner: Address: SDS-881-300D Fax#: SOS-881-4025 E-mail: mikew Pwaling Contact: MCRE Pwaline Address: Phone#: SDS-1461-8 HERR PARCHITECTS Address: 413 SECOND ST. SW. ALBUG. NT 57107 Phone#: SDS-1461-0870 Fax#: SURVEYOR: HARRAS SURNEYING Contact: Tony Harris Address: 2412-D MONROE ST. NE ALBUG. NT 57108 Surveyor: HARRAS SURNEYING Contact: Tony Harris Contact: Tony Harris Contact: Tony Harris Surveyor: Address: 2412-D MONROE ST. NE ALBUG. NT 57108 Surveyor: HARRAS SURNEYING Contact: Tony Harris Contact: Tony Harris Surveyor: Address: 2412-D MONROE ST. NE ALBUG. NT 57108 Surveyor: HARRAS SURNEYING Contact: Tony Harris Contact: Tony Harris Contact: Tony Harris Surveyor: Address: 2612-D MONROE ST. NE ALBUG. NT 57109 Surveyor: HARRAS SURNITAL: CHECK TYPE OF APPROVAL ACCEPTANCE ACTION Address: Fax#: SURNITAL: S. DEV. PLAN FOR SUBT APPROVAL DRAINAGE PLAN IS SUBMITTAL DRAINAGE PLAN IS SUBMITTAL DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN SUBMITTAL DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN SUBMITTAL DRAINA	Project Title: DENTAL OFFICE DENELO	PMENT Building Peri	
Engineering Firm: WALLA ENGINEERING Address: (p501 MMERICAS) PKDY, NE SUITE 301 MARIE, NT 97110 Phone#: 505-881-3000 Pax#: 505-891-4025 Contact:	DRB#: Legal Description: LOT 14, BLOCK 10, TRAC City Address: 7500 HOLLY AVE NO	CT 2, UNIT 3, NOT	Work Order#: TH ALBUQUERQUE MCRES
Phone: 505-881-300b Fax#: 505-881-4025 E-mail: mikew & walls Contact: Contact: De Stagle Fax#: E-mail: Architect: SLAGLE HERR PREMITECTS Contact: DE Stagle Face Company of the first stagle for the	Engineering Firm: WALLA ENGILEERIA	<u>ا</u> ک	Contact: MIKE WALLA
Owner: Address: Phone#: Fax#: Fax#: Fax#: Architect: SLAGLE HERR PARCHITECTS Contact: SOS SLAGLE Address: Address: Address: Address: Surveyor: HARRIS SURNEYING Contact: Surveyor: HARRIS SURNEYING Contact: Tony Harris Address: Address: Address: Phone#: SPS BA BA BOSIL Fax#: SOS DRA BAUG. NM BYILD Contact: Contractor: Address: Phone#: Fax#: CHECK TYPE OF APPROVALIACCEPT ANCE-SOTIGHT: TYPE OF SUBMITTAL: DRAINAGE PLAN IS SUBMITTAL DRAINAGE PLAN IS SUBMITTAL DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN SO BAUNG PLAN FROSION & SEDIMENT CONTROL PLAN (ESC) ENGINEER'S CERT (HYDROLOGY) CLOMRJOM TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEER'S CERT (TCL) ENGINEER'S CER	Phone#: 505-881-300b Fax#: 50	5-881-4025	
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Architect: SLAGLE HERR ARCHITECTS Contact: DE SLAGLE Address: 413 SECOLD 57. SW. HUBUG. LIM STIPE Phone#: 505-144-0810 Fax#: Contact: Contact: Tony Harris Address: 2A12-D MONIROE 57. NE ALBUR. NM BYLO Phone#: 505-149-0050 Fax#: 505-009-1645 E-mail: Contractor: Contact: Address: Phone#: Fax#: CHECK TYPE OF APPROVAL ACCEPT AND SOUGHT. WE SOUGHT. CONTACT STAFFING ADDRESS CONCEPTUAL & DRAINAGE REPORT STAFFING ADDRESS CONCEPTUAL & DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL & DRAINAGE PLAN SECTION SECTION PLAN (ESC) ENGINEER'S CERT (HYDROLOGY) EROSION & SEDIMENT CONTROL PLAN (ESC) ENGINEER'S CERT (HYDROLOGY) CLOMBRIS CERT (HYDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) CRADING PLAN CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TCL TEMP) FOUNDATION PERMIT APPROVAL SO-19 APPROVAL SO-19 APPROVAL SO-19 WORK ORDER APPROVAL SO-19 APPROVAL SO-19 GRADING CERTIFICATION OTHER (SPECIFY) WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided		 	E-mail:
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Phone#: SOS- 140-0870 Fax#: E-mail: 10e @ slagle herr. com Surveyor: Harea: Surneylang Contact: Tomy Hareas Address: 2412-D Monroe St. No Alang. No Brito Phone#: 505-389-8050 Fax#:			Contact: 30E SCAGCE
Surveyor: HARRIS SURVEYING Address: ZAIZ - D MONIROE ST. NE ALBUG. NM 87110 Phone#: 505 - 8 9 - 80510 Fax#: 505 - 809 - 81645 E-mail: Contractor: Contractor: Contact: Cont		7(5. KJ. 1 B) [] C L	E-mail: ine @ slaale herr. com
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	DATE SUBMITTED: 10-18-13	 -	LA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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- 3. Drainage Report. Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



May 13, 2013

Mike Walla, P.E. Walla Engineering 6100 Indian School Rd. NE Albuquerque, NM 87110

Re: Dental Office, 7500 Holly Ave. NE, Conceptual Grading and Drainage Plan

Engineer's Stamp -no stamp- (C-19/D058)

Dear Mr. Walla,

Based upon the information provided in your submittal received 5-2-2013, the above referenced plan is approved for Site Plan for Building Permit action by the DRB.

Sincerely,

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Curtis Cherne, P.E. Principal Engineer

New Mexico 87103

C:

Development Review Services

www.cabq.gov

mikew@wallaengineering.com



City of Albuquerque

Planning Department

Development & Building Services Division

	AND TRANSPORTATION INFORMA (REV 02/2013)	1 · · · · · · · · · · · · · · · · ·
DRB#: 003537 Legal Description: 10114 Book	EPC#: OTRACT 2 UNIT 3 NO	City Drainage #: Work Order#:
Engineering Firm: WALA 606 Address: 6100 Main #61 Phone#: 901-3006 Owner: Address:		E-mail: MIKE C. WALLACOM Contact: MIKE C. WALLACOM Contact: MIKE C. WALLACOM Contact: Contact: Contact Contact Contact: Contact Cont
Phone#: Architect: Address:	Fax#:	E-mail: Contact:
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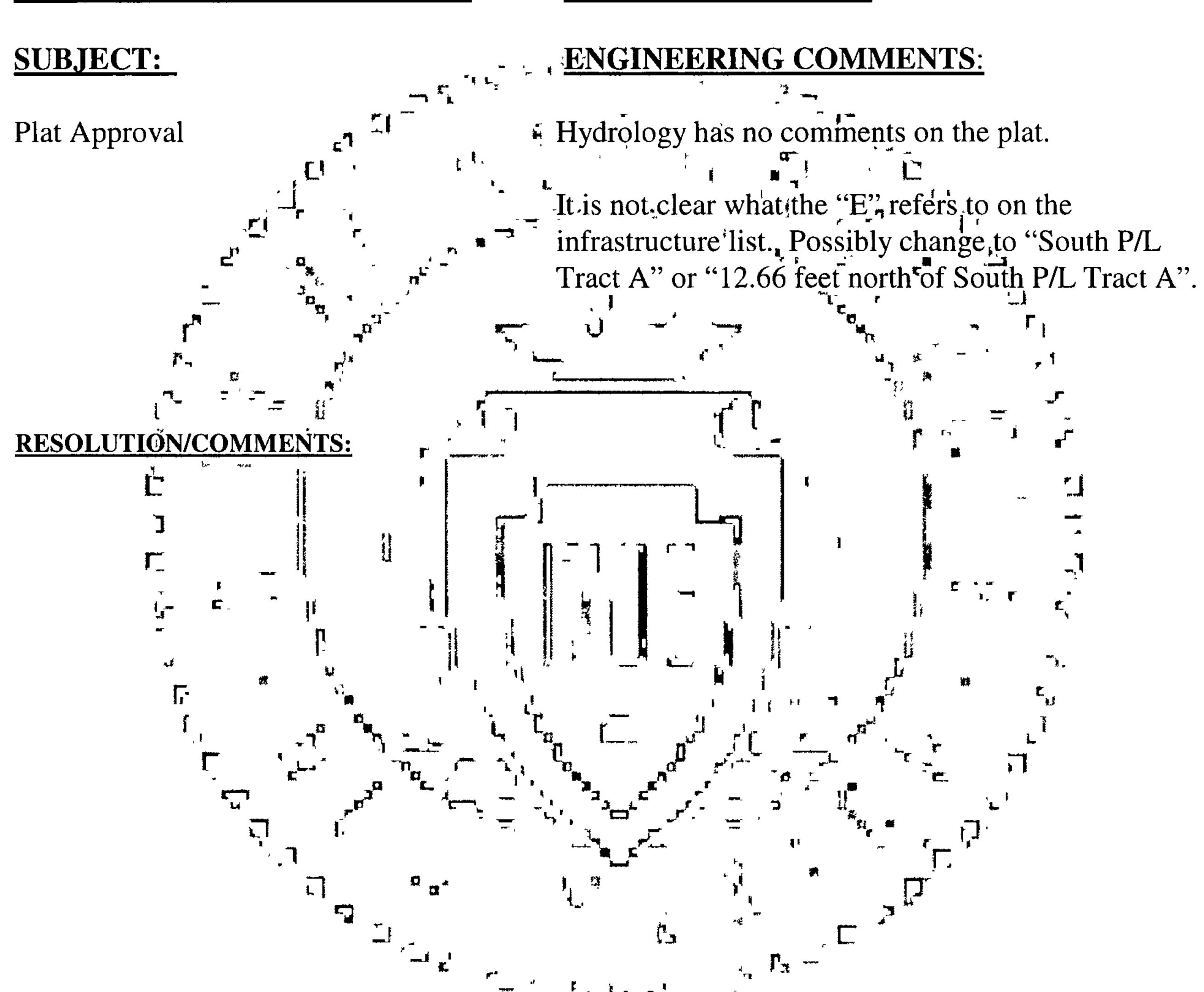
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1. 220-7106 1:27~

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION DEVELOPMENT REVIEW BOARD MEMO

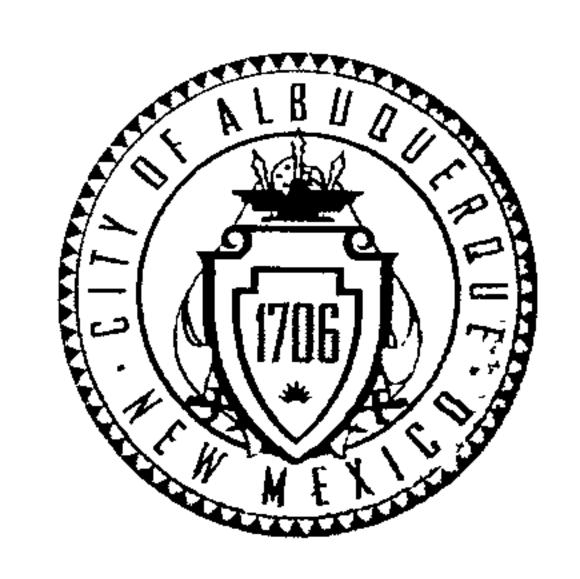
DRB PROJECT NO: 1009542 AGENDA ITEM NO: 4



DATE: 11-6-13

SIGNED:

Curtis Cherne Hydrology Section AMAFA Designee 924-3986



Planning Department Transportation Development Services

August 29, 2014

Joe Slagle, R.A. Slagle Herr Architects 1600 Rio Grande NW Albuquerque, NM 87104

Re: Dental Office Development, 7500 Holly Avenue NE

Certificate of Occupancy – Transportation Development

DRB Project Number 1003532 (C19-D058)

Certification dated 08-27-14

Dear Mr. Slagle,

Based upon the information provided in your submittal received 08-28-14, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293 Developing and Safety

If you have any questions, please contact me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

www.cabq.gov Development Review Services

c: File

CO Clerk

C19 D358



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2013)

Project Title:	Dental office deve	elopment	Buil	ding Permit #: T20139 2	2722 City Drainage #:
DRB#:	1003532	EPC#:	13EPC-40101		
Legal Descript	ion: Lot 14, Block 10	0, Tract 2, Unit 3	3, North Albuquerq	ue Acres	
City Address:	7500 Holly A	venue NE, Albu	querque NM		-d
Engineering F	irm:		······································	Contact:	
Address:	, <u></u>		···		
Phone#:		Fax#:	· · · · · · · · · · · · · · · · · · ·	E-mail:	
Owner:	Tred, LLC		<u></u>	Contact:	David Martinez
Address:	7500 Holly Ave I	NE, Abq NM 87	109		
Phone#:	314-0645	Fax#:		E-mail:	akidsdentist@hotmail.com
Architect:	Slagle Herr Archi	tects		Contact:	Joe Slagle
Address:	413 2nd St. SW,	Abq, NM 8710	2	······································	
Phone#:	246-0870	Fax#:		E-mail:	joe@slagleherr.com
Surveyor:				Contact:	
Address:					
Phone#:	<u></u>	Fax#:		E-mail:	
Contractor:	Trinity Construction	والمراوا والمستقد والمستوران والمراز والمراوا والمراوا والمراوا والمراوا والمراوا والمراوا والمراوا		Contact:	Vernon Ambos
Address:	8019 Edith NE, A	bq NM, 87113	······································		
Phone#:	858-9960	Fax#:	, , , , , , , , , , , , , , , , , , , 	E-mail:	vernon@trinityconstructionnm.co
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DATE SUBM	TTED: 8-28-20	14	By: Joe Slag	gle	

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TRAFFIC CERTIFICATION FOR PERMANENT C.O.

RE: 7500 Holly Ave, NE

I, Joe L. Slagle, NMRA 2284, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 2-28-13 and approved 5-16-13. I certify that I have personally visited the project site on 8-27-14 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Joe Slagle, Architect

Date Date

JOE L.
SLAGLE
No. 2284

Properties

27.14

