

CITY OF ALBUQUERQUE



January 28, 2015

Ron E. Hensley, P.E.
The Group
300 Branding Iron Rd SE
Rio Rancho, NM 87124

**Re: Assisted Living Home, 7500 Oakland Ave NE
Grading and Drainage Plan
Engineer's Stamp Date 1-12-15 (C19/D062)**

Dear Mr. Hensley,

Based upon the information provided in your submittal received 1-13-15, the above referenced plan cannot be approved for Site Plan for Building Permit action by the DRB until the following comments are addressed:

1. The plan is to address and quantify offsite flows. The City recently constructed a sidewalk culvert in Oakland Ave (shown on your plan) to accept flows from the northern basin of the site to the east. These flows are to enter Oakland Ave, without flowing over the sidewalk.
2. There are also offsite flows which appear to enter the southern area of this site which are to be addressed, quantified and accepted.
3. Per the NAADMP this site is allowed 50% impervious area. It proposes more than that. It appears a detention pond will be required. In addition, Quail Springs Estates constructed a 15" storm drain in Oakland Ave. The construction plans show a flow of 12 cfs. The drainage plan is to address how it complies with the NAADMP and the Quail Springs Estates drainage report.
4. Provide existing contours.
5. The plan is to manage the first flush and state how it is doing so. Provide calculations for the first flush volume.

PO Box 1293

Albuquerque

New Mexico 87103

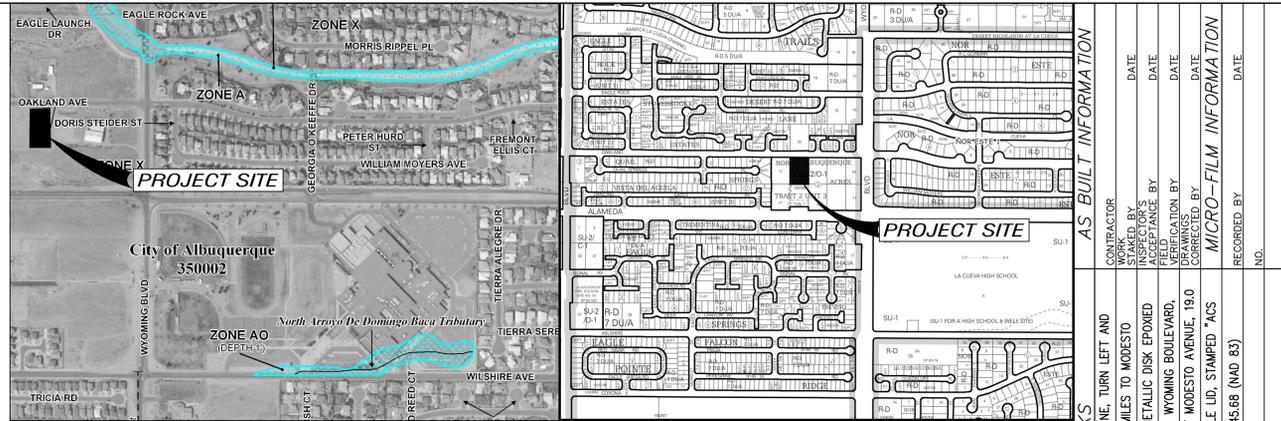
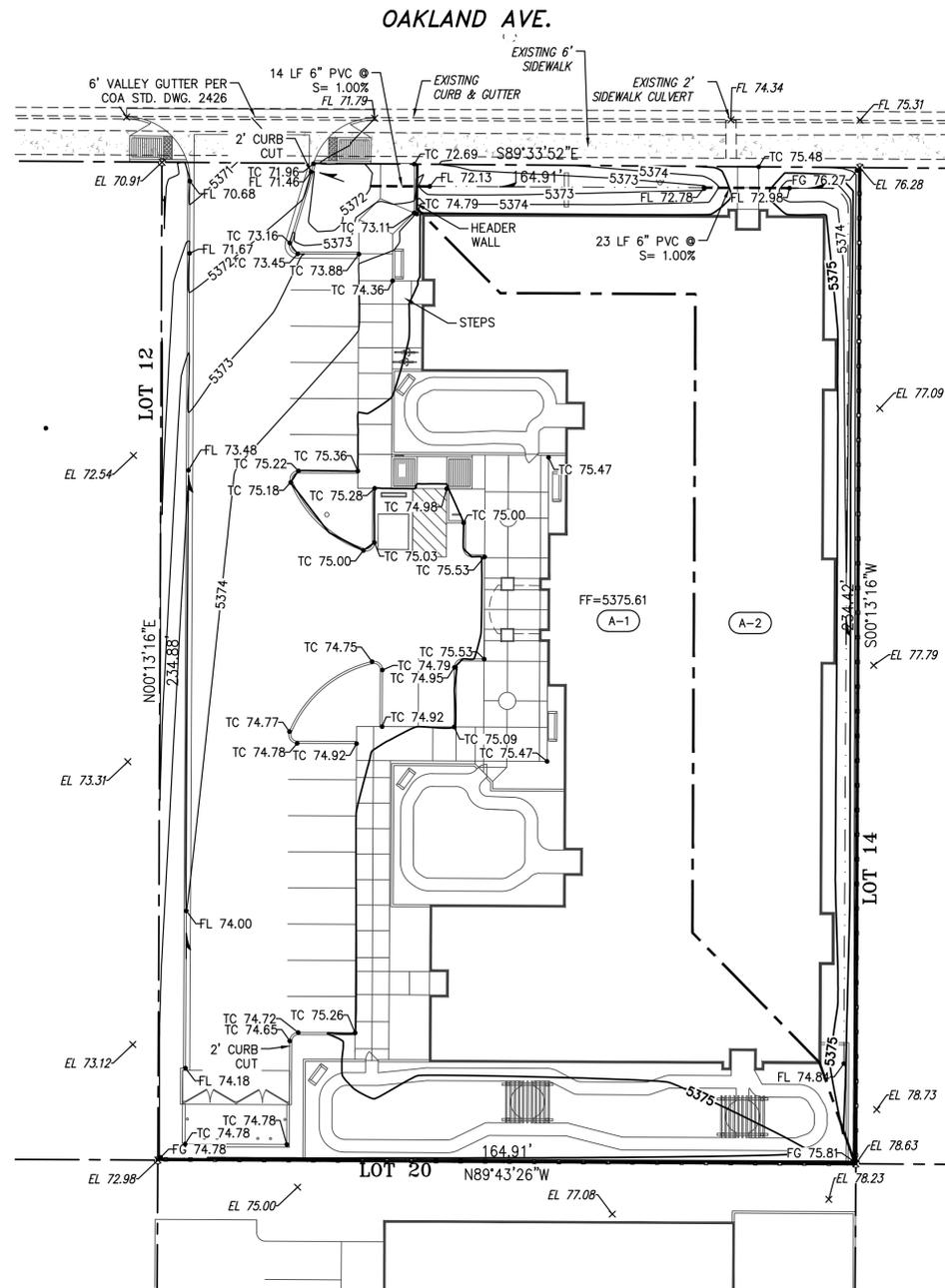
www.cabq.gov

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: e-mail



FIRM MAP NO. 35001C0141G

VICINITY MAP C-19-Z

DRAINAGE INFORMATION

LOCATION & DESCRIPTION
 THE PROPOSED SITE IS 0.72 ACRES LOCATED ON THE SOUTH SIDE OF OAKLAND AVENUE WEST OF WYOMING BLVD. AS SEEN ON THE VICINITY MAP. THE SITE IS CURRENTLY DEVELOPED AS A BASEBALL FIELD WITH ASSOCIATED STRUCTURES. THE ADJACENT PROPERTY TO THE WEST IS UNDEVELOPED. THE PROPERTIES TO THE SOUTH AND EAST ARE DEVELOPED AS A CHURCH. THE PROPOSED DEVELOPMENT WILL BE AN ASSISTED CARE FACILITY.

FLOODPLAIN STATUS
 THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

PRECIPITATION
 THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

EXISTING DRAINAGE
 THIS SITE DRAINS TO THE EXISTING CURB AND GUTTER IN OAKLAND AVENUE VIA SURFACE FLOW AND A SIDEWALK CULVERT.

DEVELOPED CONDITION
 THE SITE WILL BE DEVELOPED WITH A SINGLE STRUCTURE WITH ALL OF THE SITE RUNOFF ROUTED TO THE EXISTING CURB AND GUTTER. THE RUNOFF WILL FREE DISCHARGE INTO OAKLAND AVENUE. OAKLAND AVENUE WILL CONVEY FLOW ALONG THE CURB TO INLETS LOCATED WEST OF THE SITE IN OAKLAND AVENUE. THE 0.76 CFS INCREASE, FOR THE 100-YEAR PEAK RUNOFF, DUE TO THIS DEVELOPMENT IS INSIGNIFICANT AND WILL HAVE MINIMAL IMPACT ON DOWNSTREAM FACILITIES.

NOTES
 THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:
 1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
 2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
 3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED.
 5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

HYDROLOGIC DATA - EXISTING

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (ocft)
		A	B	C	D			
A	0.89	0	0	70	30	3.91	3.47	0.125

HYDROLOGIC DATA - PROPOSED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (ocft)
		A	B	C	D			
A-1	0.63	0	0	5	95	4.89	3.04	0.120
A-2	0.26	0	0	36	64	4.46	1.18	0.044

LEGAL DESCRIPTION
 LOT 13, BLOCK 3 UNIT 2, TRACT 2
 WITHIN NORTH ALBUQUERQUE ACRES
 IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST
 ELENA GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

- LEGEND**
- FLOW ARROW
 - ↘ SLOPE ARROW
 - EL=11.28 PROPOSED ELEVATION
 - 66.33 EXISTING ELEVATION
 - ~~~~ GRADE BREAK
 - 4966 — EXISTING CONTOUR
 - - - 4966 - - - EXISTING CONTOUR
 - - - 4.00% - - - PROPOSED EASEMENT
 - - - 4.00% - - - PROPOSED GRADE
 - - - - - EXISTING WALL
 - — — — — PROPOSED WALL

DRB No. 1010273

THE Group
 300 Branding Iron Rd. SE
 Rio Rancho, New Mexico 87124
 Phone: (505)514-0995

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
ASSISTED LIVING HOME
 LOT 13, BLOCK 3, UNIT 2, TRACT 2, NAA
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

CITY PROJECT No. _____ ZONE MAP NO. C-19-Z SHEET 1 OF 1

AS BUILT INFORMATION

CONTRACTOR	DATE
INSPECTOR'S	DATE
STAKED BY	DATE
FIELD DISTANCE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

BENCH MARKS

ACS BM 20-C18	ON WYOMING BOULEVARD NE, TURN LEFT AND TRAVEL NORTH ON WYOMING BOULEVARD 1.0 MILES TO MODESTO AVENUE NE. THE BENCHMARK IS A 1.3" METALLIC DISK EXPOSED TO THE TOP OF THE WEST BACK OF CURB OF WYOMING BOULEVARD, NORTH OF THE APPROXIMATE CENTERLINE OF MODESTO AVENUE, 190 FEET NORTHWEST OF A STORM SEWER MANHOLE I.D. STAMPED "ACS BM 20-C18" 1989" X=1547745.03 Y=1547745.66 (NAD 83) ELEV=5393.48 (NAD 1988)
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ENGINEER'S SEAL

RON E. HENSELEY
 NEW MEXICO
 21850
 PROFESSIONAL ENGINEER
 1/12/15

REVISIONS

NO.	DATE	REMARKS	BY

DESIGN REVIEW COMMITTEE

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development