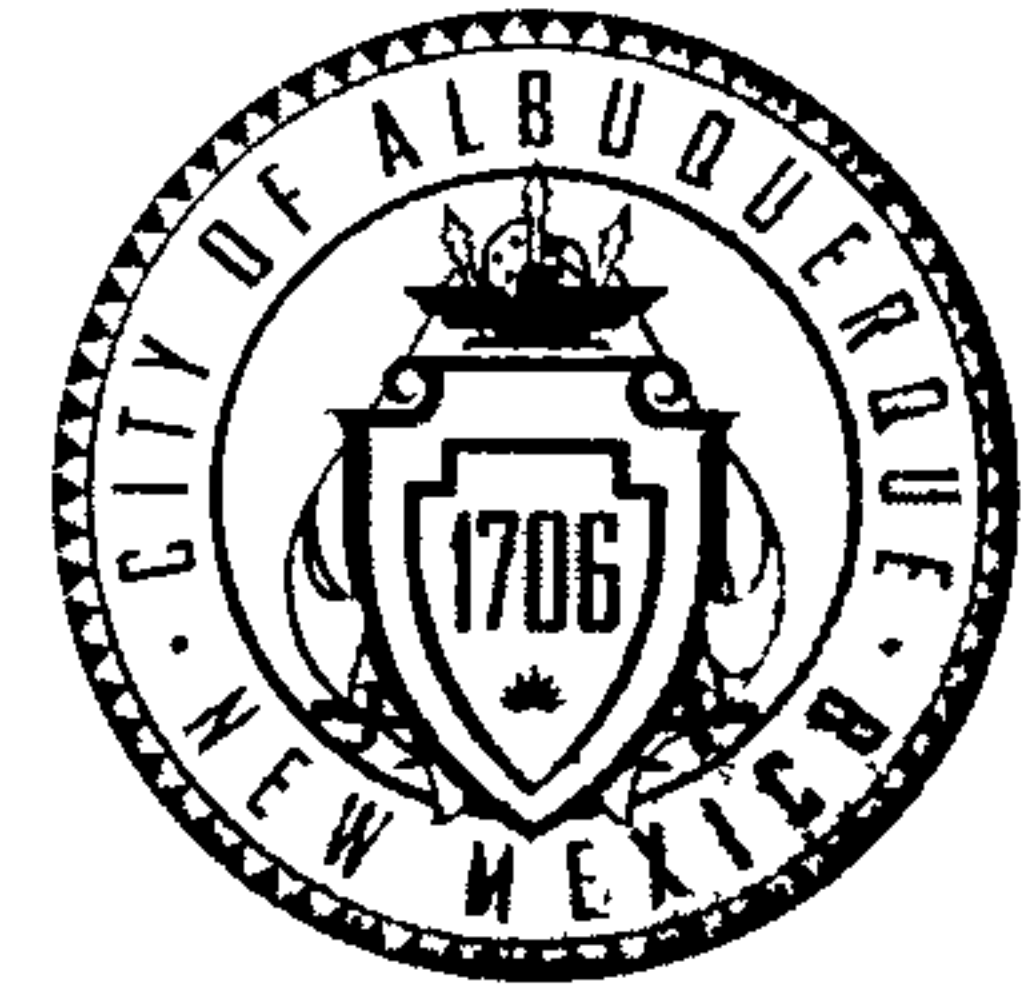


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

March 2, 2016

Ron Hensley, P.E.
The Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

**RE: Oakland Heights Subdivision (File: C19D063)
Grading and Drainage Plan, Engineer's Date 2-24-16**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 2-29-16, the above referenced Plan is approved for Grading Permit.

Prior to Building Permit approval, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig. Drainage file
c.pdf Addressee via Email



The HENSLEY ENGINEERING GROUP

February 25, 2016

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: C19D063 Oakland Heights Subdivision – Grading and Drainage Plan

We are requesting a review of the attached plan in support of the Grading Permit of Oakland Heights Subdivision. The subdivision is a replat of “Lot 12 Block 3 Unit 3 Tract 2 of North Albuquerque Acres” and is located at 7420 Oakland Ave. between Wyoming Blvd. and Louisiana Blvd.

The comments of January 25, 2016 have been addressed with the following:

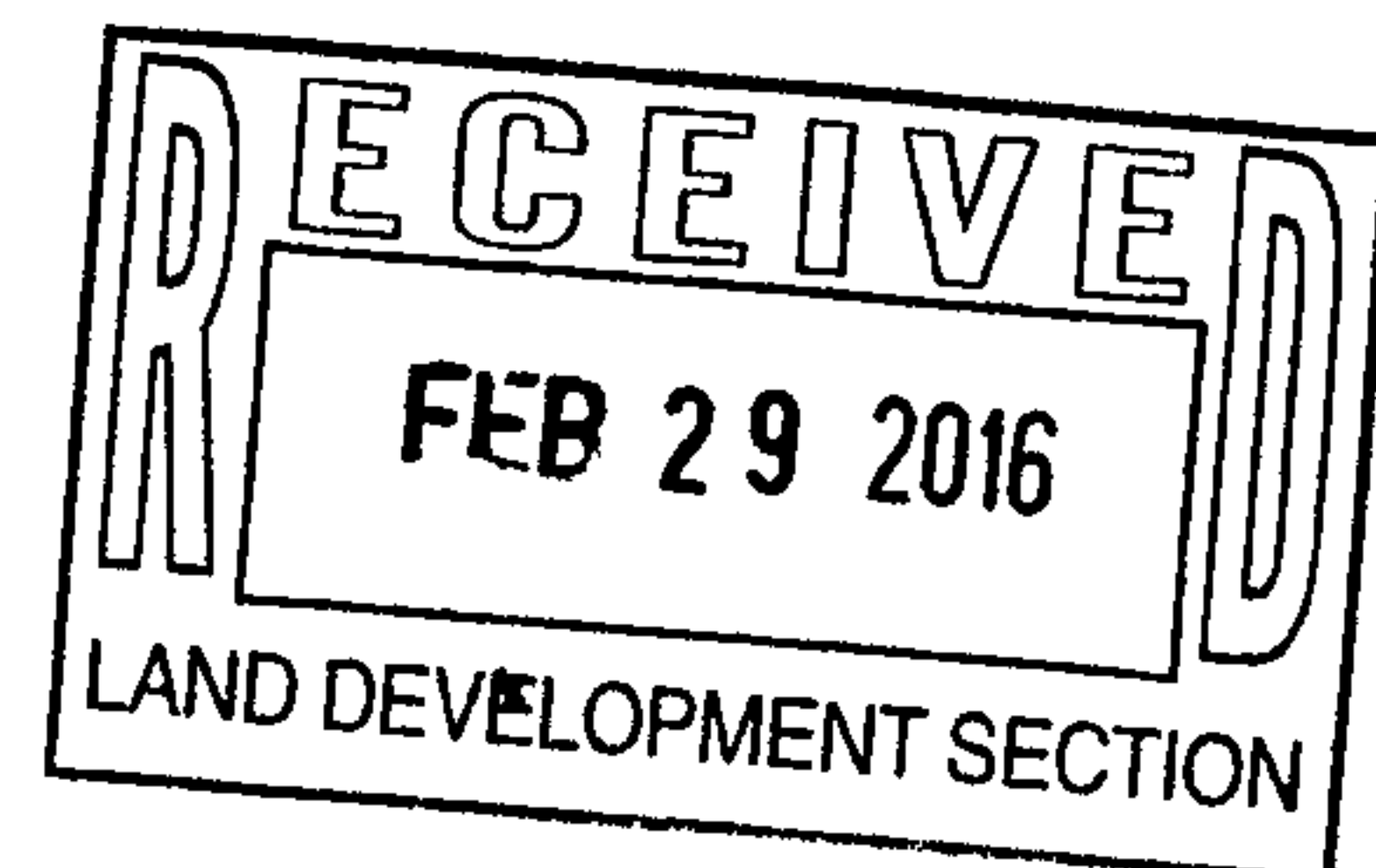
1. The land treatments and runoff for existing condition were changed.
2. Elevations adjacent to the site have been included.
3. The elevations for the wall east of site have been included.
4. Narrative was modified.

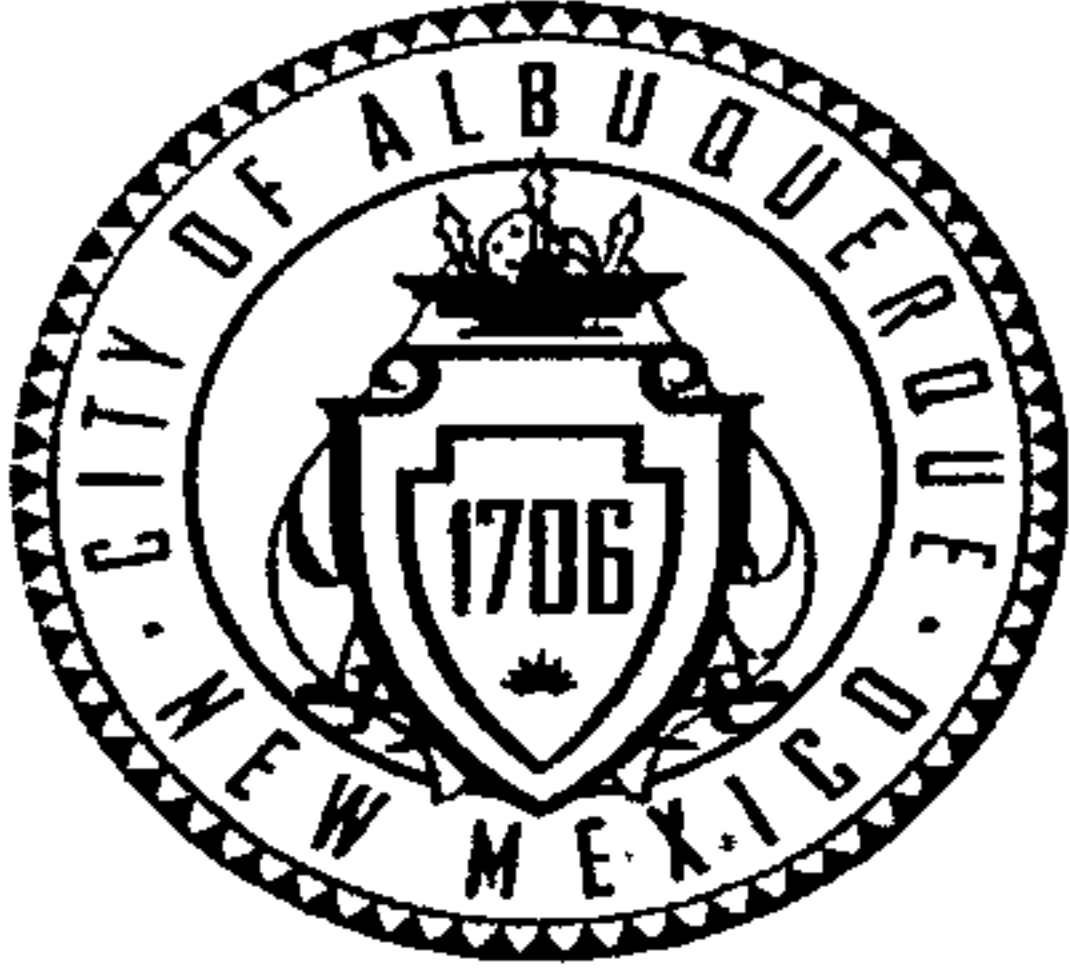
The plan covers the impact of the development on existing drainage infrastructure. We are requesting a review for compliance with City requirements.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.
ron@thegroup.cc





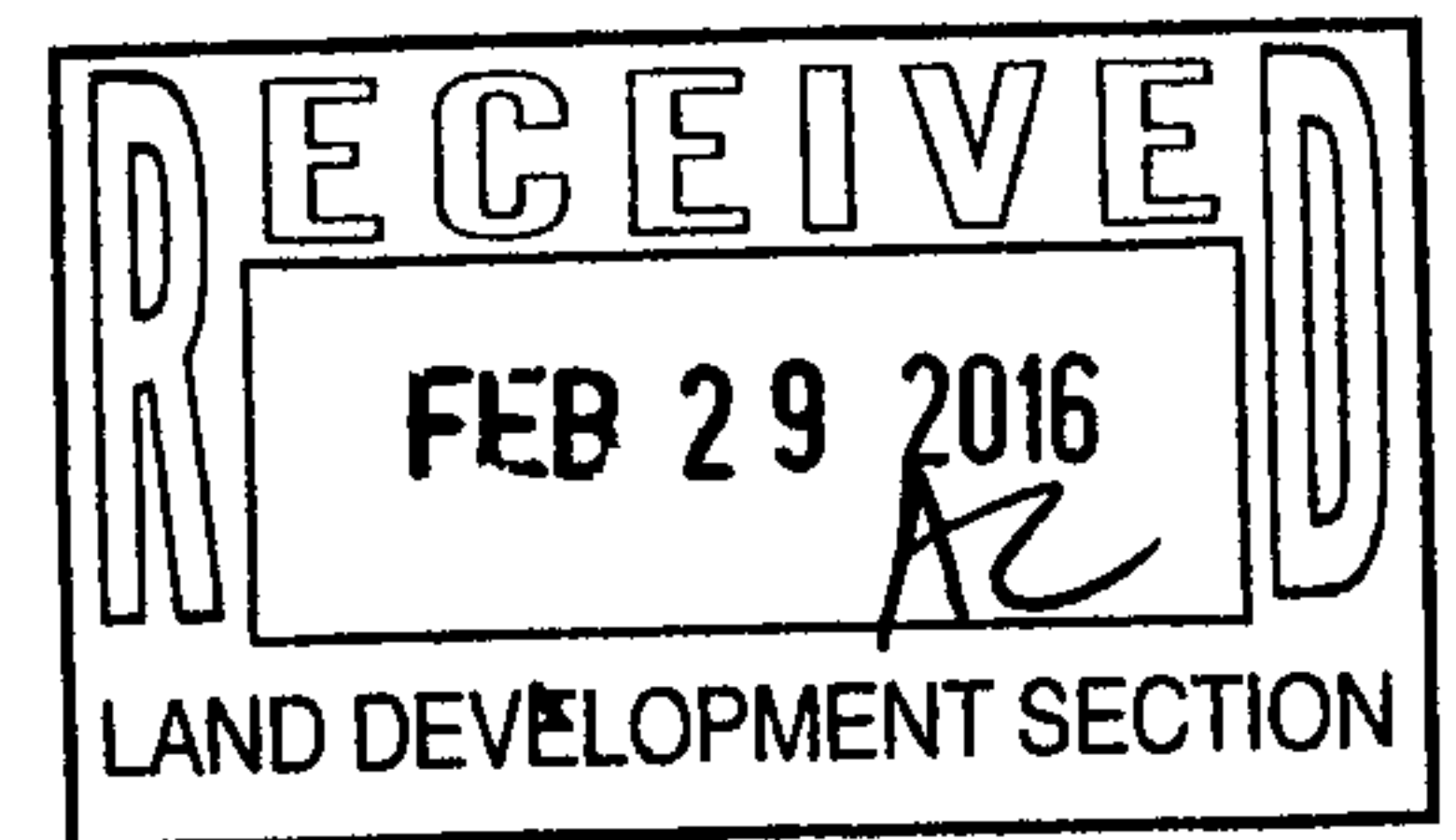
City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)



Project Title: Oakland Heights Subdivision Building Permit #: _____ City Drainage #: C19D063
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 12, BLOCK 3, UNIT 3, TRACT 2, NORTH ALBUQUERQUE ACRES
City Address: 7420 Oakland Ave. NE

Engineering Firm: THE Group Contact: Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 Fax#: _____ E-mail: ron@thegroup.cc

Owner: Nazish LLC Contact: Shakeel Rizvi
Address: 8504 Waterford Pl. N.E., Albuquerque, NM, 87122
Phone#: 505-315-6563 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Terrametrics Contact: _____
Address: 4175 Montgomery Blvd., NE, Albuquerque, NM 87105
Phone#: 505-379-4301 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

Resubmitted

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No ☒ Copy Provided

DATE SUBMITTED: 2/25/2016 By: Ron Hensley

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



January 25, 2016

Ron Hensley, P.E.
The Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

Richard J. Berry, Mayor

**RE: Oakland Heights Subdivision (File: C19D063)
Grading and Drainage Plan, Engineer's Date 12-1-15**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 12-4-15, above referenced Plan is approved for Preliminary Plat action by the DRB.

However, the Plan cannot be approved for Grading Permit until the following comments are addressed:

1. Looking at the NAAMDP Appendix, the Land treatments for this sub-basin are 25%B, 15% C, and 50% D (not 60% D as implied in the Land Treatment , Fig. 2A). Revise the Table to reflect these numbers, also state the Basin # that this site is in.
2. Provide existing contours or existing spot elevations for the site west of this development.
3. The East property line will have an existing retaining wall at the time of construction. Show the TW/BW elevations and indicate that it is a retaining wall currently under construction per drainage report C19D062.
4. Indicate in the Narrative why this site does not accept offsite flows.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Oakland Heights Subdivision Building Permit #: _____ City Drainage #: C19D063

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 12, BLOCK 3, UNIT 3, TRACT 2, NORTH ALBUQUERQUE ACRES

City Address: 7420 Oakland Ave. NE

Engineering Firm: THE Group Contact: Ron Hensley

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124

Phone#: 505-410-1622 Fax#: _____ E-mail: ron@thegroup.cc

Owner: Nazish LLC Contact: Shakeel Rizvi

Address: 8504 Waterford Pl. N.E., Albuquerque, NM, 87122

Phone#: 505-315-6563 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Terrametrics Contact: _____

Address: 4175 Montgomery Blvd., NE, Albuquerque, NM 87105

Phone#: 505-379-4301 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

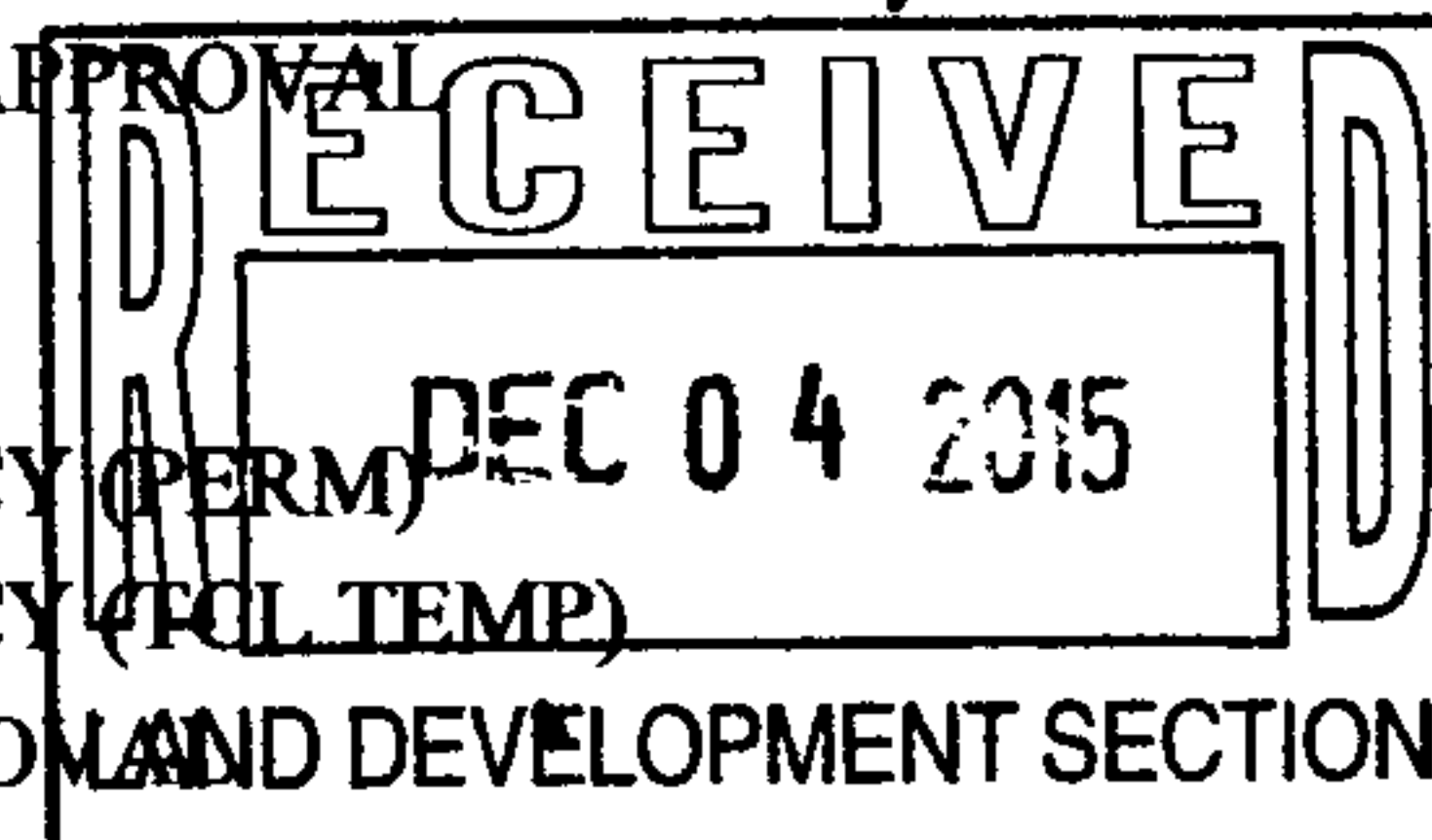
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
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- ☐ OTHER (SPECIFY) _____

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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No ☒ Copy Provided

DATE SUBMITTED: 12/2/2015 By: Ron Hensley

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

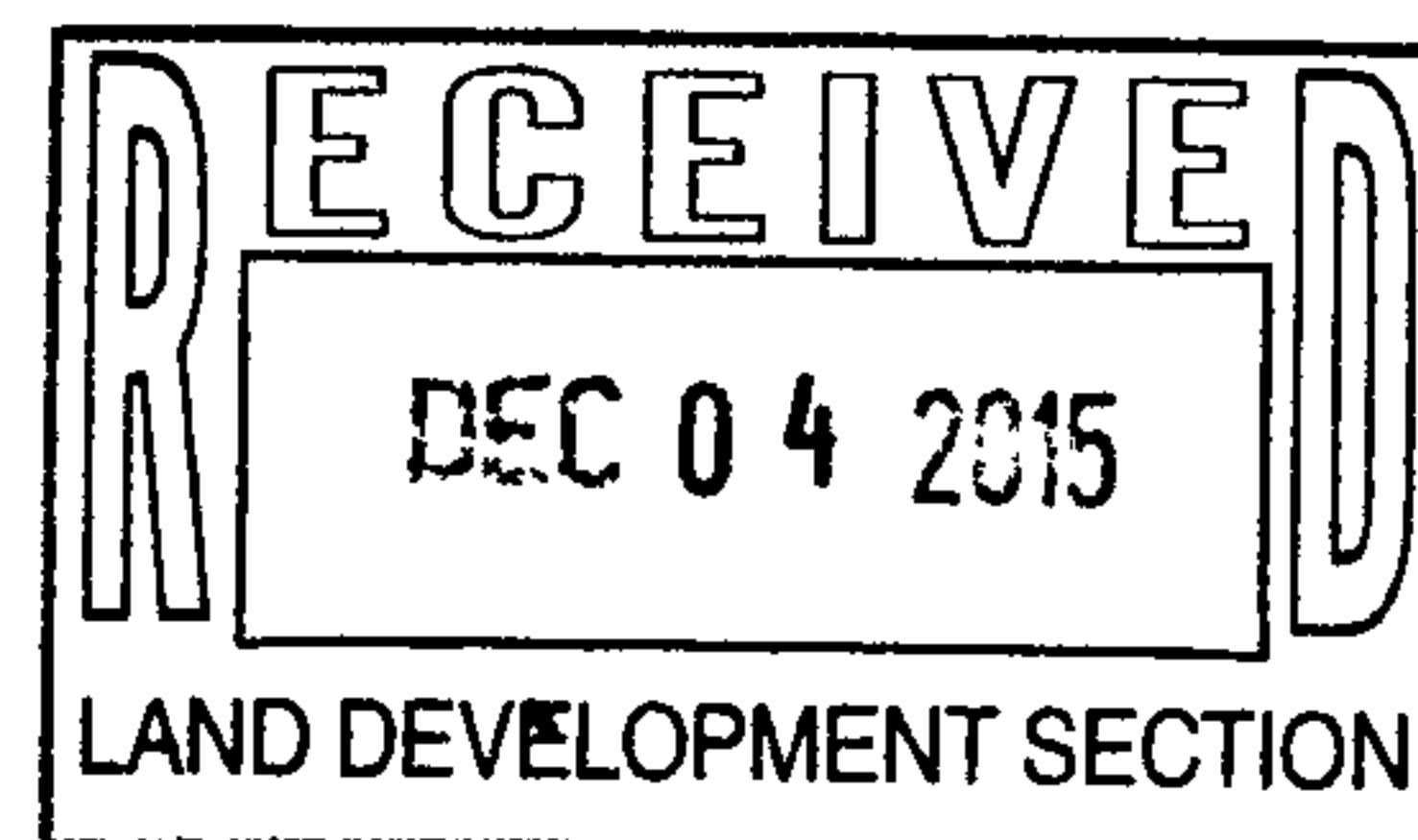
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Ron Hensley

From: Ron Hensley <ron@thegroup.cc>
Sent: Thursday, December 03, 2015 12:00 PM
To: plndrs@cabq.gov
Subject: Drainage Submittal - Oakland Heights Subdivision
Attachments: Oakland Heights Drainage Info Sheet.pdf; Oakland Heights Drainage Review.pdf; OAKLAND HEIGHTS GRADING.pdf

Attached are PDF copies of a drainage submittal I will be making today. Please call or email if you have any questions.

Thank You,
Ron Hensley
THE Group
ron@thegroup.cc
505-410-1622



C19



The HENSLEY ENGINEERING GROUP

December 1, 2015

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Oakland Heights Subdivision – Grading and Drainage Plan

We are requesting a review of the attached plan in support of the Preliminary Plat and Grading Permit of Oakland Heights Subdivision. The subdivision is a replat of “Lot 12 Block 3 Unit 3 Tract 2 of North Albuquerque Acres” and is located at 7420 Oakland Ave. between Wyoming Blvd. and Louisiana Blvd. The plan covers the impact of the development on existing drainage infrastructure. We are requesting a review for compliance with City requirements.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.
ron@thegroup.cc

