

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



January 25, 2016

Ron Hensley, P.E.  
The Group  
300 Branding Iron Rd. SE  
Rio Rancho, NM 87124

Richard J. Berry, Mayor

**RE: Oakland Heights Subdivision (File: C19D063)  
Grading and Drainage Plan, Engineer's Date 12-1-15**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 12-4-15, above referenced Plan is approved for Preliminary Plat action by the DRB.

However, the Plan cannot be approved for Grading Permit until the following comments are addressed:

1. Looking at the NAAMDP Appendix, the Land treatments for this sub-basin are 25%B, 15% C, and 50% D (not 60% D as implied in the Land Treatment , Fig. 2A). Revise the Table to reflect these numbers, also state the Basin # that this site is in.
2. Provide existing contours or existing spot elevations for the site west of this development.
3. The East property line will have an existing retaining wall at the time of construction. Show the TW/BW elevations and indicate that it is a retaining wall currently under construction per drainage report C19D062.
4. Indicate in the Narrative why this site does not accept offsite flows.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
- \_\_\_\_\_ ENGINEER'S CERT (ESC)
- \_\_\_\_\_ SO-19
- \_\_\_\_\_ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ GRADING CERTIFICATION
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ ESC PERMIT APPROVAL
- \_\_\_\_\_ ESC CERT. ACCEPTANCE
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



**T**he **H**ENSLEY **E**NGINEERING **G**ROUP

December 1, 2015

Hydrology Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Oakland Heights Subdivision – Grading and Drainage Plan

We are requesting a review of the attached plan in support of the Preliminary Plat and Grading Permit of Oakland Heights Subdivision. The subdivision is a replat of “Lot 12 Block 3 Unit 3 Tract 2 of North Albuquerque Acres” and is located at 7420 Oakland Ave. between Wyoming Blvd. and Louisiana Blvd. The plan covers the impact of the development on existing drainage infrastructure. We are requesting a review for compliance with City requirements.

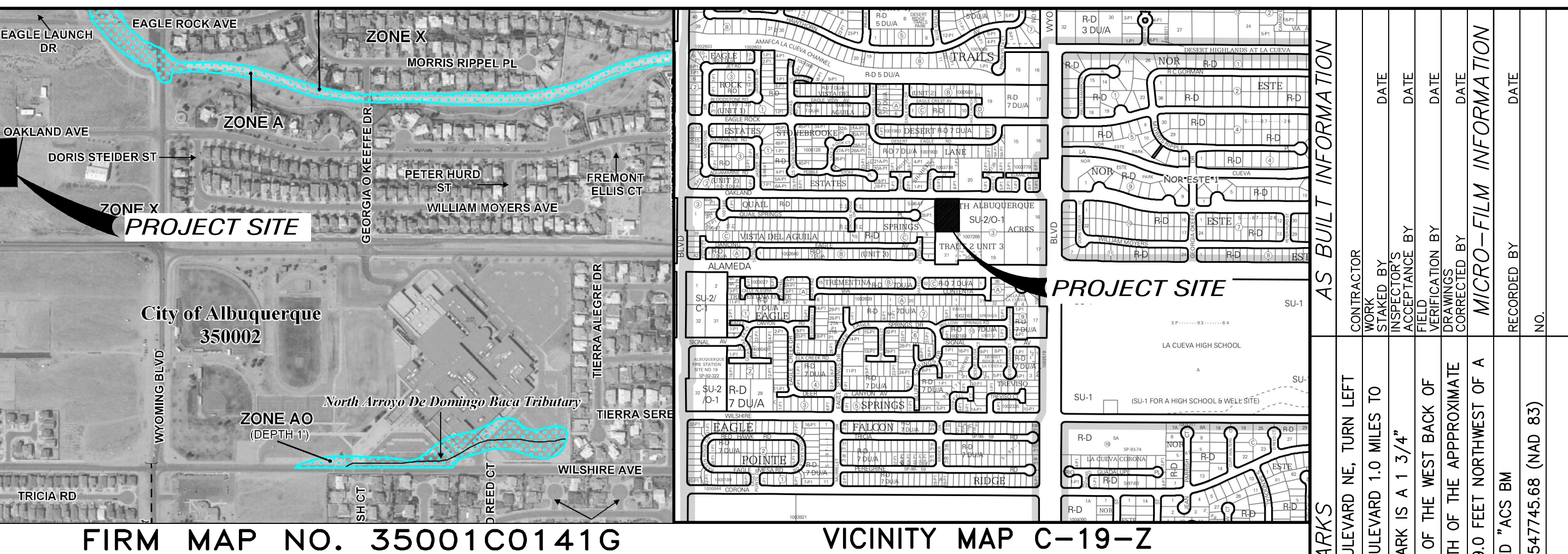
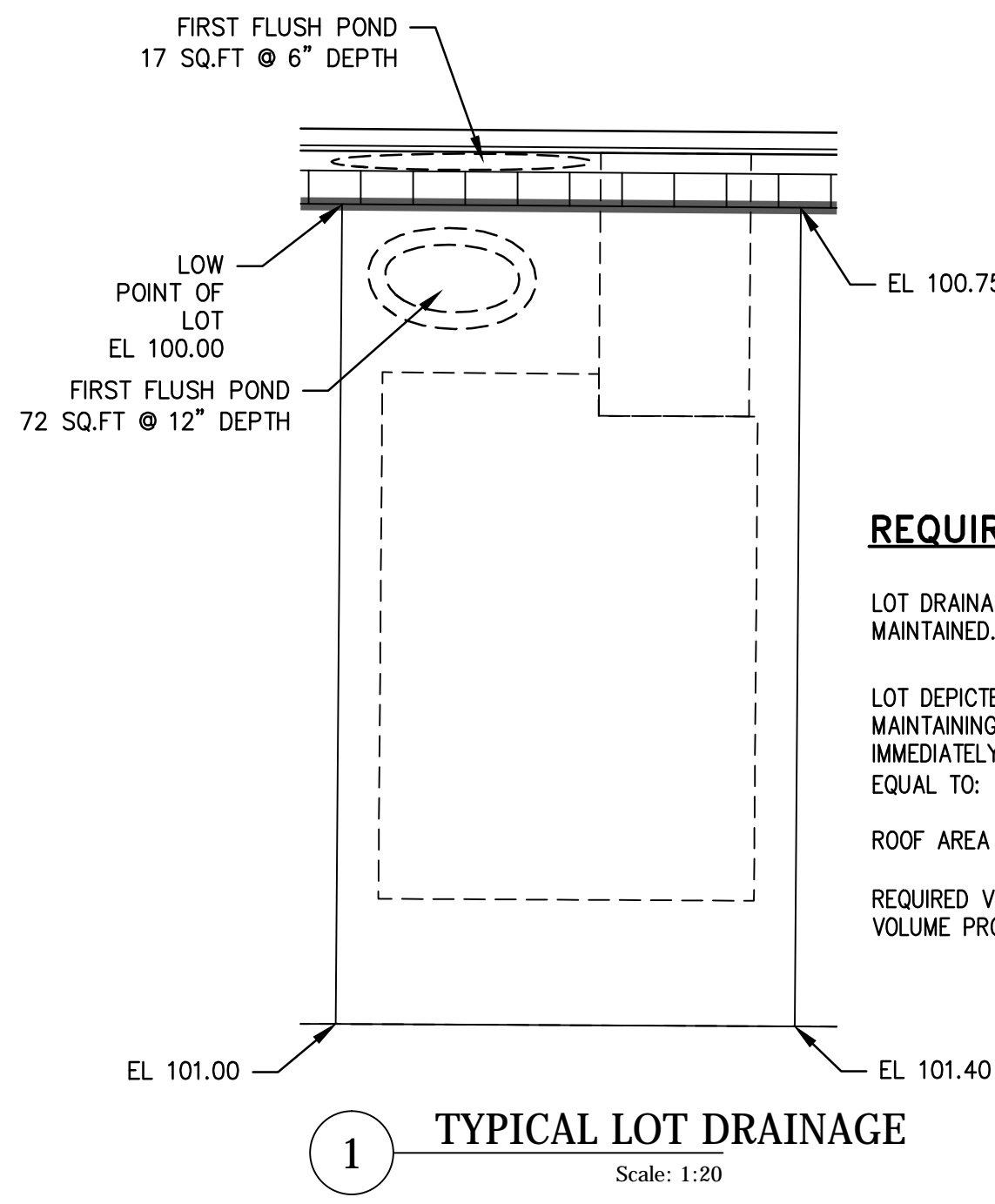
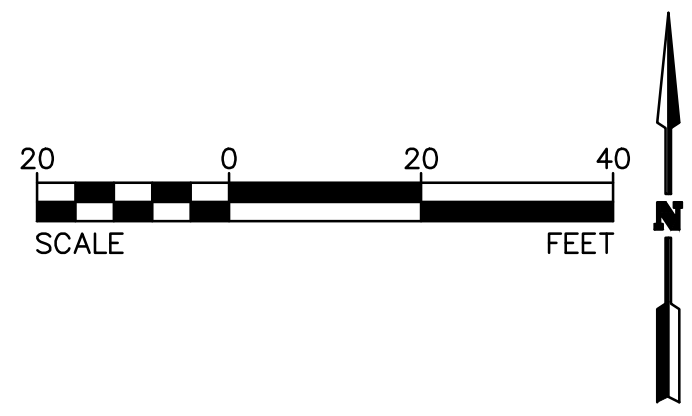
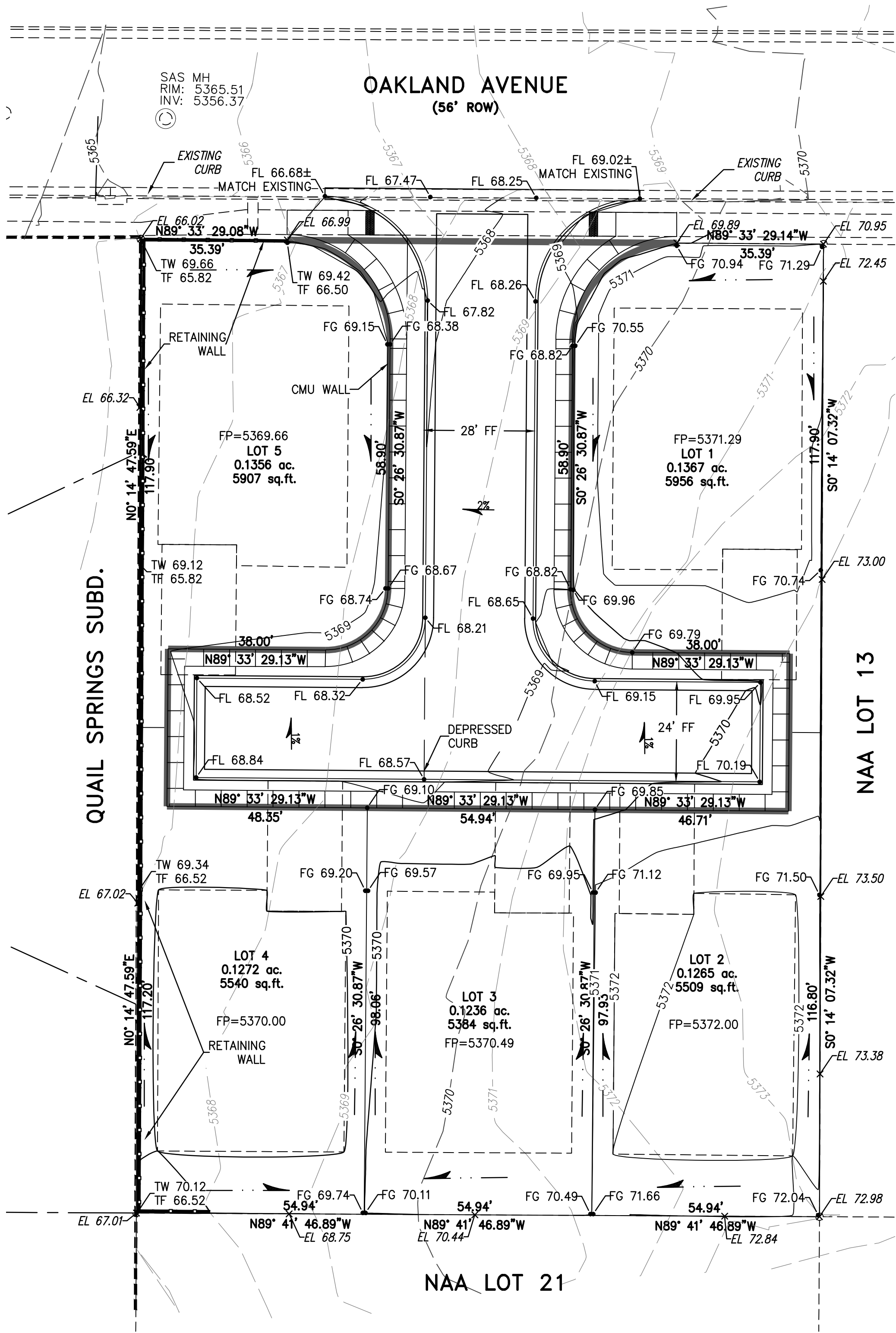
Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.

[ron@thegroup.cc](mailto:ron@thegroup.cc)





**DRAINAGE INFORMATION**

**LOCATION & DESCRIPTION**

THE PROPOSED SITE IS 0.72 ACRES LOCATED ON THE SOUTH SIDE OF OAKLAND AVENUE WEST OF WYOMING BLVD. AS SEEN ON THE VICINITY MAP. THE SITE WAS DEVELOPED AS AN ATHLETIC FIELD AND BUILDINGS. THE ADJACENT PROPERTIES TO THE WEST ARE DEVELOPED HIGHER DENSITY WALLED COMMUNITY. TO THE EAST IS THE CONSTRUCTION OF A GROUP LIVING SITE. THE PROPOSED DEVELOPMENT WILL BE FIVE (5) SINGLE FAMILY RESIDENTIAL LOTS ON A CUL-DE-SAC.

**FLOODPLAIN STATUS**

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

**METHODOLOGY**

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

**PRECIPITATION**

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

**EXISTING DRAINAGE**

THE SITE IS WITHIN THE AREA OF THE NORTH A ALBUQUERQUE ACERS DRAINAGE MASTER PLAN. THE LAND USE PERCENTAGES OF THAT STUDY ARE UTILIZED IN THE ANALYSIS LISTED BELOW. THIS SITE DRAINS TO THE EXISTING CURB AND GUTTER IN OAKLAND AVENUE.

**DEVELOPED CONDITION**









THIS SITE WILL BE DEVELOPED WITH A SINGLE STREET INTERCEPTING ALL OF THE SITE RUNOFF. THE RUNOFF WILL FREE DISCHARGE INTO OAKLAND AVENUE. OAKLAND AVENUE WILL CONVEY FLOW ALONG THE CURB TO INLETS LOCATED WEST OF THE SITE IN OAKLAND AVENUE. THE 0.27 CFS INCREASE, FOR THE 100-YEAR PEAK RUNOFF, DUE TO THIS DEVELOPMENT IS INSIGNIFICANT AND WILL HAVE MINIMAL IMPACT ON DOWNSTREAM FACILITIES.

HYDROLOGIC DATA -- NAADMP							
BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q <sup>100</sup> (cfs)
		A	B	C	D		
A	0.72	0	0	70	30	3.90	2.79

HYDROLOGIC DATA -- PROPOSED							
BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q <sup>100</sup> (cfs)
		A	B	C	D		
A	0.72	0	0	45	55	4.28	3.06

**LEGAL DESCRIPTION**

ALBESIA SUBDIVISION  
(BEING A REPLAT OF LOT 12, BLOCK 3, UNIT 3, TRACT 2)  
WITHIN NORTH ALBUQUERQUE ACRES  
IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST  
ELENA GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

REQUIRED FIRST FLUSH VOLUME		LEGEND	
LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.			FLOW ARROW
			SLOPE ARROW
LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO: ROOF AREA * (0.44-0.10)/12 IN CUBIC FEET.		EL=11.28	PROPOSED ELEVATION
		X 66.33	EXISTING ELEVATION
			GRADE BREAK
ROOF AREA = 2734 SQ.FT.			EXISTING CONTOUR
			EXISTING CONTOUR
REQUIRED VOLUME = 2734 * (0.44-0.10)/12 = 78 CU.FT.			PROPOSED EASEMENT
VOLUME PROVIDED = 80 CU.FT.		4.00%	PROPOSED GRADE
			EXISTING WALL
			PROPOSED WALL

- NOTES**
- THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
- THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.
- GENERAL NOTES:**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.
  - THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
  - THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
  - ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDDED OR LANDSCAPED
  - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

<b>THE Group</b> 300 Branding Iron Rd. SE Rio Rancho, New Mexico 87124 Phone:(505)514-0995	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP OAKLAND HEIGHTS SUBDIVISION BEING A REPLAT OF LOT 12, BLOCK 3, UNIT 2, TRACT 2, NAA GRADING & DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	Mo./DAY/YR.
CITY PROJECT No.	ZONE MAP NO.
1009843	C-19-Z
SHEET	OF
1	1

BENCH MARKS		AS BUILT INFORMATION	
*ACS BM 20-C18* ON WYOMING BOULEVARD NE, TURN LEFT AND TRAVEL NORTH ON WYOMING BOULEVARD 1.0 MILES TO MODESTO AVENUE NE. THE BENCHMARK IS A 1.3/4" METALLIC DISK EPOXYED TO THE TOP OF THE BACK OF CURB OF WYOMING BOULEVARD, NORTH OF THE APPROXIMATE CENTERLINE OF MODESTO AVENUE, 19.0 FEET NORTHWEST OF A STORM SEWER MANHOLE LID, STAMPED "ACS BM 20-C18" 1989" X=1547745.03 Y=1547745.68 (NAD 83) ELEV=5393.48 (NAVD 1988)		CONTRACTOR	DATE
NO.	DATE	INSPECTOR'S	DATE
BY	DATE	FIELD TACKLE BY	DATE
NO.	DATE	VERIFICATION BY	DATE
NO.	DATE	CORRECTED BY	DATE
NO.	DATE	MICRO-FILM INFORMATION	
NO.	DATE	RECORDED BY	DATE
NO.	DATE	NO.	DATE