

CITY OF ALBUQUERQUE



Planning Department
Suzanne Lubar, Director

Mayor Richard J. Berry

February 10, 2017

Mike Walla, P.E.
Walla Engineering
6501 Americas Parkway NE Suite 301
Albuquerque, New Mexico 87110

RE: **Kerschen Dental Office**
7400 Holly Ave. NE
Requested for Permanent C. O. - Accepted
Engineers Stamp Date 4/28/16 (C19D064)
Certification dated: 2-8-17

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Dear Mr. Walla,

Based upon the information provided in your submittal received 2/8/2017, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3999 or Totten Elliott at 924-3982.

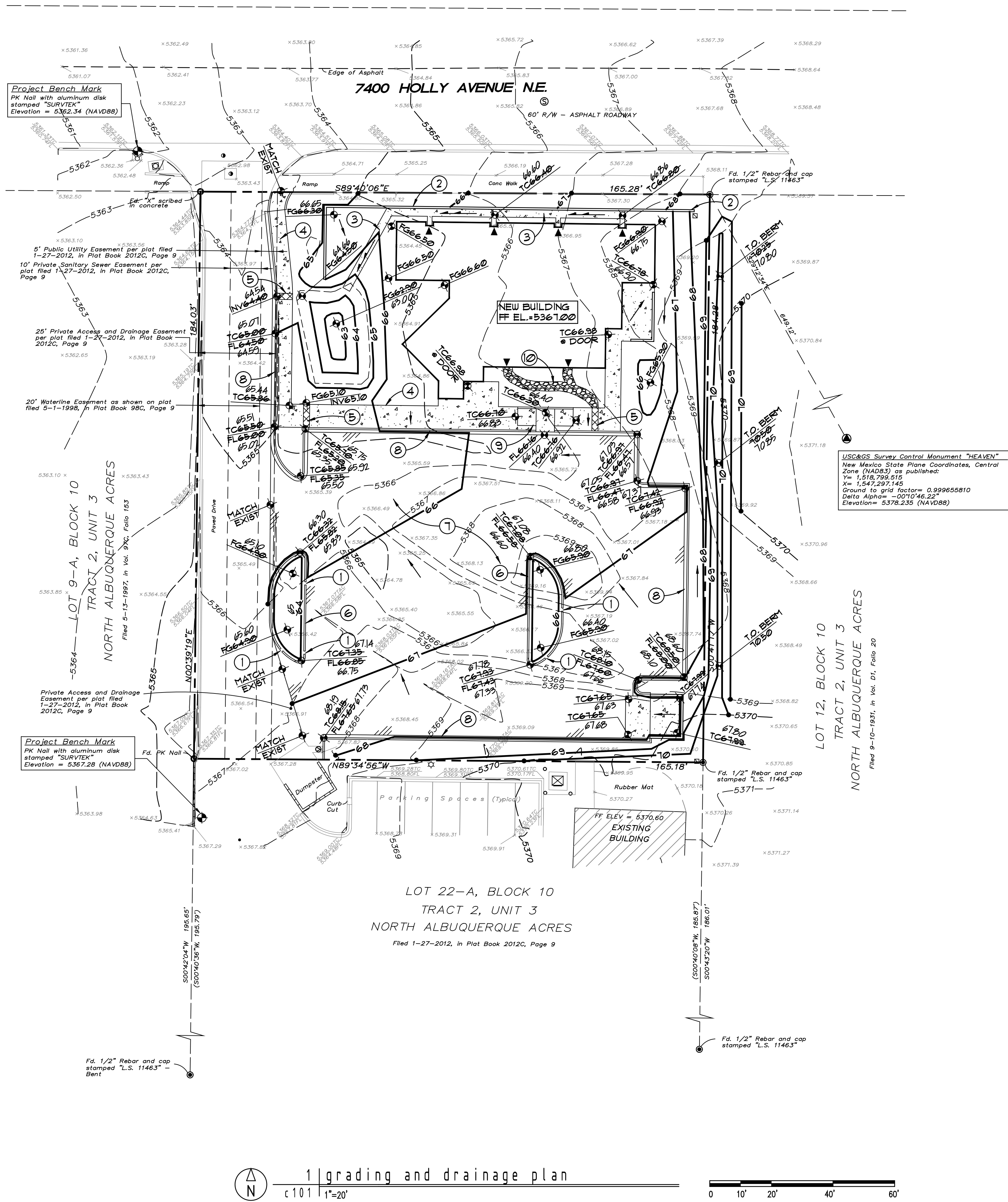
Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

TE/SB

C: e-mail,

Cordova, Camille C.; Connor, Miranda, Rachel; Sandoval, Darlene M.;
Blocker, Lois



KEYED NOTES

- 1'-0" WIDE CURB BREAK FOR DRAINAGE
- MASONRY RETAINING WALL PER DETAIL 5/C201
- CONCRETE SWALE PER DETAIL 3/C201
- 4" THICK, 4000 PSI CONCRETE WALK
- 2'-0" WIDE SIDEWALK CULVERT PER C.O.A. STD. DRAWING 7236
- DRAINAGE BASIN CONCRETE CURB PER DETAIL 4/C201
- ASPHALT PAVING PER DETAIL 1/C201
- STANDARD CONCRETE CURB AND GUTTER PER DETAIL 2/C201
- HANDICAP RAMP - SEE ARCH.
- LANDSCAPE ROCK LINED SWALE - COORDINATE WITH ARCH.

LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- EXISTING CONTOUR
- NEW CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- FL FLOW LINE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- B/F BOTTOM OF FOOTING
- INV INVERT
- NEW CONCRETE PAVING
- NEW AC PAVING
- ROOF DRAIN LOCATION
- SWALE

ENGINEERS CERTIFICATION

I, MIKE WALLA NMPE 11030, OF THE FIRM WALLA ENGINEERING, LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4-28-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM GARY GRITSKO NMPS #6686. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2-8-17 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MIKE WALLA

NMPE 11030



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4
DESIGN STORM: (IN)

EXISTING CONDITIONS		123		130		365		410		535	
LAND	AREA	F6	Q	V6	V24	V4DAY	V10DAY				
TRMT	(ACRE)	%	(CFB/AC)	(CFB)	(CF)	(CF)	(CF)				
A	0.000	0%	0.80	2.20	0.00	0	0	0	0	0	0
B	0.606	86%	1.08	2.92	1.71	2.376	2.376	2.376	2.376	2.376	2.376
C	0.000	0%	1.46	3.73	0.00	0	0	0	0	0	0
D	0.101	14%	2.64	5.25	0.53	972	1248	1634	2034		
TOTALS	0.707	100%		2.30	3.34	3.624	4.010	4.470			

PROPOSED CONDITIONS									
LAND	AREA	AREA	F6	Q	Q	V6	V24	V4DAY	V10DAY
TRMT	(ACRE)	%		(CFB/AC)	(CFB)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.80	2.20	0.00		0	0	0
B	0.115	25%	1.08	2.92	0.51	6.86	6.86	6.86	6.86
C	0.000	0%	1.46	3.73	0.00	0	0	0	0
D	0.532	75%	2.64	5.25	2.79	5.038	6.547	8.574	10.388
TOTALS	0.701	100%			3.30	5.784	7.233	9.260	11.674

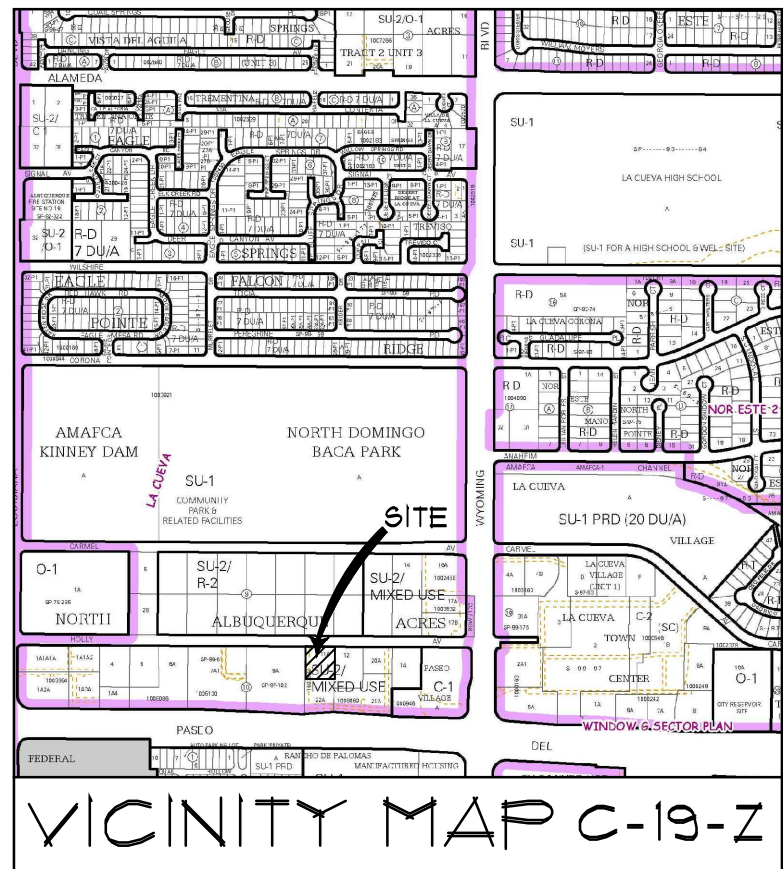
FIRST FLUSH: 22813 SF (ROOF + PAVING) x 0.44"/12 IN PER FT = 836 CF
FOND VOLUME: 4021 CF
DEPRESSED ISLANDS: 560 CF
TOTAL = 961 CF IS LESS THAN 836 CF

LEGAL DESCRIPTION

LOT NUMBERED ELEVEN-A (11-A), IN BLOCK NUMBERED TEN (10) OF TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 27, 2012, IN PLAT BOOK 2012C, FOLIO 9.

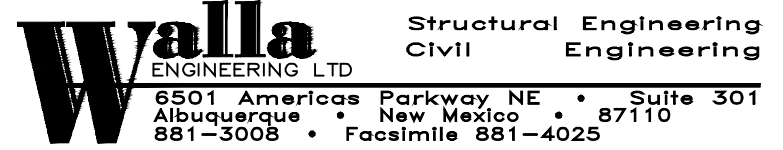
BENCHMARK

USC&GS SURVEY CONTROL MONUMENT "HEAVEN"
NEW MEXICO STATE PLANE COORDINATES,
CENTRAL ZONE (NAD83) AS PUBLISHED:
Y = 1,518,795.515
X = 1,547,297.145
GROUND TO GRID FACTOR = 0.999655810
DELTA ALPHA = -00°10'46.22"
ELEVATION = 5378.235 (NAVD88)



DESIGN NARRATIVE

THIS 0.707 ACRE SITE IS CURRENTLY UNIMPROVED EXCEPT FOR A PAVED ACCESS ROAD ON THE WEST EDGE. THIS ROAD WILL REMAIN AS IT PROVIDES ACCESS FOR AN ADJACENT PROPERTY. THE ONSITE IMPROVEMENTS INCLUDE A NEW 4000 SF BUILDING AND NEW PAVED PARKING LOT. THE SUBJECT SITE CURRENTLY ACCEPTS A VERY SMALL AMOUNT OF OFFSITE RUNOFF FROM THE ADJACENT PROPERTY ON ITS EAST BORDER AND THE NEW IMPROVEMENTS WILL NOT PROHIBIT THIS FLOW. THE SITE WILL NOT IMPACT ANY ADJACENT PROPERTIES WITH DEVELOPED RUNOFF AND WILL BE CONSTRUCTED WITH DEPRESSED ISLANDS IN THE PARKING LOT AS WELL AS A SMALL POND TO COLLECT A FIRST FLUSH VOLUME OF RUNOFF. ROOF RUNOFF WILL BE DIRECTED TO THE POND VIA A CONCRETE SWALE ON THE NORTH SIDE OF THE NEW BUILDING. STORM VOLUMES GREATER THAN THE ONSITE CAPACITY WILL BE DIRECTED TO DOWNSTREAM FACILITIES IN HOLLY AVE. VIA THE EXISTING PAVED DRIVE. THESE FLOWS ULTIMATELY COLLECT IN AN AMATECA POND ON THE NORTH SIDE OF HOLLY AVE, WEST OF THE SITE.



a new dental office
development for:

ROBERT C.
KERSCHEN, DMD

7400 holly avenue ne
albuquerque, new mexico



GRADING AND
DRAINAGE PLAN



revisions

date
4-28-16
sheet
C101



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development