

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 5, 2021

Mike Walla, P.E.  
Walla Engineering  
6501 Americas Pwky NE, Suite 301  
Albuquerque, NM 87110

**RE: Pino Periodontics  
7413 Holly Ave. NE  
Grading & Drainage Plan  
Engineer's Stamp Date: 04/21/21  
Hydrology File: C19D068**

Dear Mr. Walla:

PO Box 1293

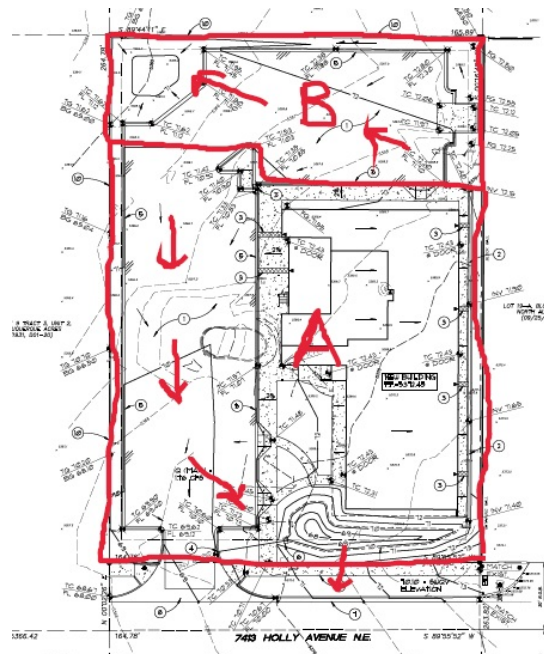
Based upon the information provided in your submittal received 04/22/2021, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. It appears that the site has two drainage areas. (See below) Therefore, please separate these two in the Proposed calculations as two separate areas. I just called them "A" & "B". It looks like "A" will drain through the SWQ pond and discharge the allowable discharge of 2.01 cfs into Holly. "B" looks like it will drain into a retention pond.

NM 87103

[www.cabq.gov](http://www.cabq.gov)



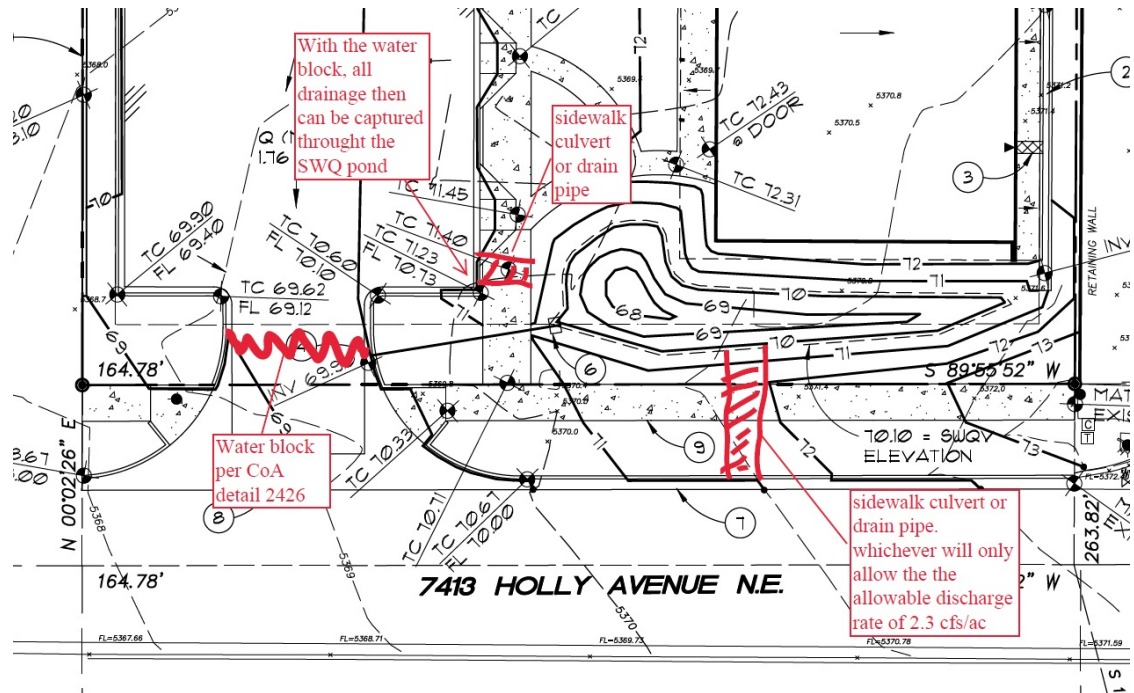
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2. A water block, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrance. With this water block, the drainage from Area "A" will drain through the SWQ pond and discharge the allowable discharge of 2.01 cfs into Holly.



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3. For Area "A", the SWQ pond volume will be  $0.42 \times \text{new impervious area (sf) of Area "A" only} \times 1/12$ . For Area "B", the SWQ pond volume will be included in the retention pond.
4. The drainage for Area "B" appears to drain into a retention pond. Therefore, please provide the calculations for the 100-year 10-day volume for Area "B". Also, please provide a spillway for the retention pond at the water surface elevation of the 100-year 10-day volume.
5. If you will use a sidewalk culvert on Holly, please add these two comments:
  - a. Please reference City of Albuquerque standard detail No. 2236 – Sidewalk Culvert with Steel Plate Top at the sidewalk culvert on Holly.
  - b. Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation  $Q = CLH^{2/3}$ .

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6. If you will use an outlet pipe on Holly, please add these two comments:
  - a. Please reference City of Albuquerque standard detail No. 2235 – Drainage Line Through Curb.
  - b. Please provide the pipe capacity calculations for the outlet pipe for the allowable discharge of 2.01 cfs.
7. Standard review fee of \$150 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** PINO PERIODONTICS **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LOT NUMBERED TWENTY-ONE (21) IN BLOCK NUMBERED NINE (9), IN NUMBERED TWO (2), UNIT NUMBERED THREE (3), NORTH ALBUQUERQUE ACRES, A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICT 3 AND 4, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION FILED ON THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN PLAT BOOD D1, PAGE 20.

**City Address:** 7413 HOLLY AVENUE , ALBUQUERQUE, NEW MEXICO

**Applicant:** WALLA ENGINEERING **Contact:** MIKE WALLA

**Address:** 6501 AMERICAS PARKWAY NE, SUITE 301, ALBUQUERQUE, NM 87110

**Phone#:** 505-881-3008 **Fax#:** 505-881-4025 **E-mail:** mikew@wallaengineering.com

**Other Contact:** JOE SLAGLE ARCHITECT **Contact:** JOE SLAGLE

**Address:** 413 2ND ST. SW, ALBUQUERQUE, NM 87102

**Phone#:** 505-246-0870 **Fax#:** \_\_\_\_\_ **E-mail:** joe@slaglearchitect.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 4-22-21 **By:** MIKE WALLA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

## HYDROLOGY CALCULATIONS

PINO PERIODONTICS - SITE AREA = 0.886 ACRES

DESIGN CRITERIA: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL - JUNE 2020  
CHAPTER 6 DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL  
PROCEDURE FOR 40-ACRE AND SMALLER BASINS

PRECIPITATION ZONE 3 PER SECTION 6-2(A)(1), TABLE 6.2.7 AND FIGURE 6.2.3

EXCESS PRECIPITATION, E, PER TABLE 6.2.13

PEAK DISCHARGE FOR SMALL WATERSHEDS, PER TABLE 6.2.14

PRE-DEVELOPMENT CONDITIONS

LAND TREATMENT	AREA (AC)	EXCESS PRECIP. 'E' (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.000	0.67	1.84	0.37
B	0.713	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.173	2.58	4.49	0.91

WEIGHTED E:  $[(0.713 \times 0.86) + (0.173 \times 2.58)]/0.886 = 1.196$  IN

$V_{960} = 1.196 \times 0.886 \times 43560/12 = 3846$  CF

TOTAL QP =  $(0.713 \times 2.49) + (0.173 \times 4.49) = 2.55$  CFS

POST-DEVELOPMENT CONDITIONS

LAND TREATMENT	AREA (AC)	EXCESS PRECIP. 'E' (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.000	0.67	1.84	0.37
B	0.213	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.673	2.58	4.49	0.91

WEIGHTED E:  $[(0.213 \times 0.86) + (0.673 \times 2.58)]/0.886 = 1.92$  IN

$V_{960} = 1.92 \times 0.886 \times 43560/12 = 6174$  CF

TOTAL QP =  $(0.213 \times 2.49) + (0.673 \times 4.49) = 3.55$  CFS

RATIONAL METHOD CHECK: 12-MINUTE PEAK INTENSITY, I = 4.96 IN/HR

$Q = CIA = (0.50 \times 4.96 \times 0.213) + (0.91 \times 4.96 \times 0.673) = 3.56$  CFS OK

STORM WATER QUALITY VOLUME, (SWQV)

POST-DEVELOPMENT IMPERVIOUS AREA = 0.673 AC

BMP VOLUME REQUIRED:  $0.42A \times 0.673 \times 43560/12 = 1026$  CF

NORTH ALBUQUERQUE ACRES DMP ALLOWABLE RUNOFF = 2.27 CFS/AC

SUBJECT SITE MAXIMUM RUNOFF =  $0.886 \times 2.27 = 2.01$  CFS

FIRST FLUSH VOLUME REQUIRED:  $29,326$  SF  $\times 0.34'/12 = 831$  CF

POND VOLUME:	CONTOUR	AREA	VOLUME
	68	32 SF	
	69	345 SF	214 CF
	70	1025 SF	710 CF
	70.50	1411 SF	609 CF

TOTAL 1533 CF

4" DIAMETER PIPE CONTROLLED RELEASE FROM POND:  $Q = 0.213$  CFS

## DESIGN NARRATIVE

SUBJECT PROPERTY: PINO DENTAL OFFICE - 7413 HOLLY NE, ALBUQUERQUE, NM

AREA OF SITE: 0.886 ACRE

REFERENCE: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM)  
DATED JUNE, 2020

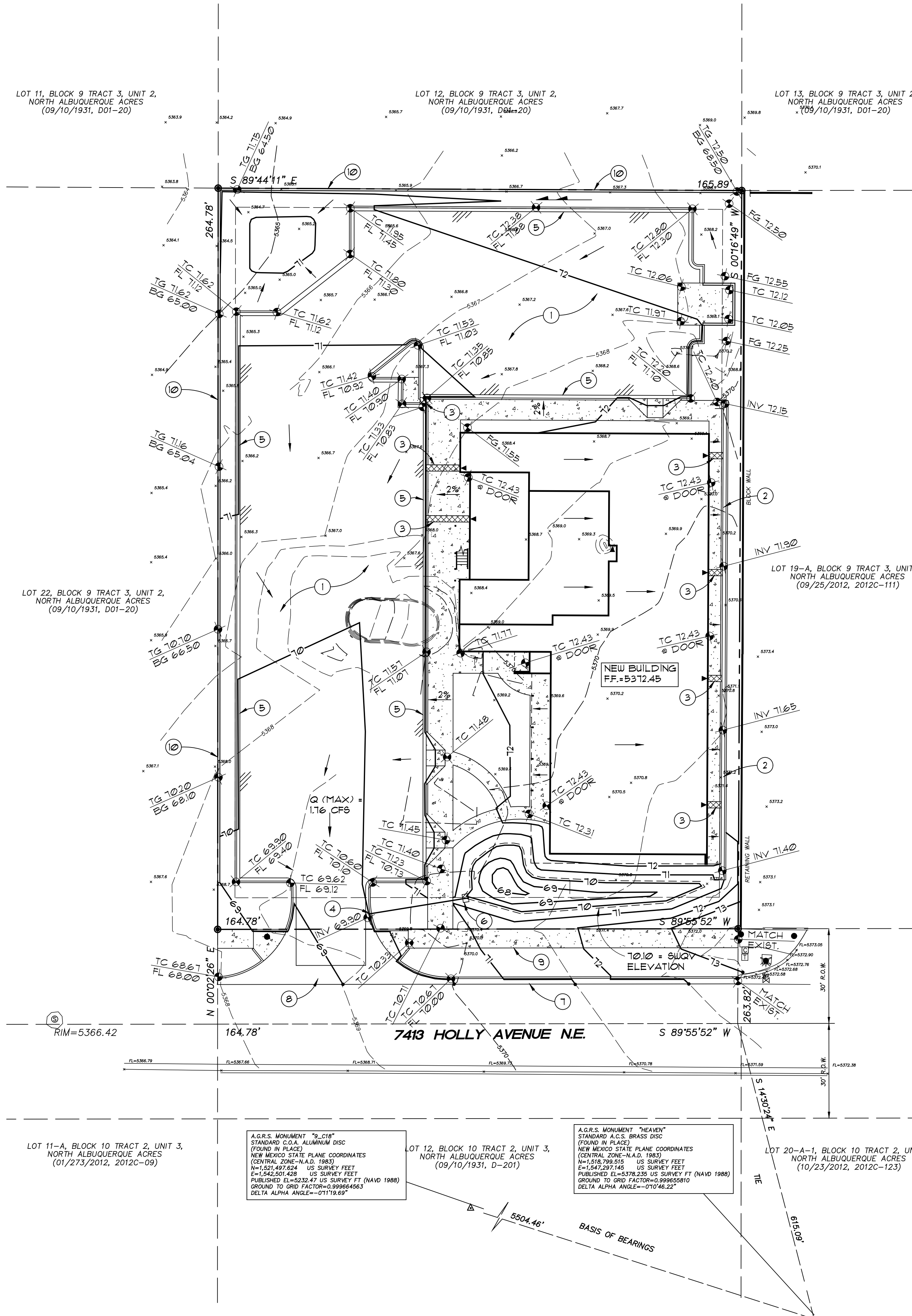
PROJECT DESCRIPTION: THE DEVELOPMENT IS THE CONSTRUCTION OF A NEW 8850 SF, PARTIAL TWO STORY STRUCTURE WITH APPROXIMATELY 20,450 SF OF CONCRETE AND ASPHALT PAVING FOR ACCESS SIDEWALKS AND VEHICLE PARKING.

PRE-DEVELOPED CONDITIONS: THE EXISTING SITE HAS A RESIDENCE AND 2 SMALL STRUCTURES ALONG WITH SOME CONCRETE PAVING. MUCH OF THE SITE IS UNIMPROVED WITH NATURAL SLOPES OF 2% TO 5% FROM SE TO NW ACROSS THE PROPERTY. MOST OF THE SITE IS LOWER THAN HOLLY AVENUE AND THEREFORE PRE-DEVELOPED RUNOFF FLOWS TO THE ADJACENT PROPERTIES ON THE NORTH AND WEST BOUNDARIES IN A SHEET FLOW.

DEVELOPED RUNOFF: THE NEW DEVELOPMENT WILL REMOVE ALL EXISTING STRUCTURES AND RE-GRADE THE ENTIRE SITE TO PREVENT ONSITE DEVELOPED STORM RUNOFF FROM AFFECTING ADJACENT PROPERTIES. A RETAINING WALL WILL BE CONSTRUCTED AT THE NORTH AND WEST BORDERS OF THE PROPERTY IN ORDER TO RAISE THE NORTH END OF THE SITE. AN ONSITE PONDING AREA WILL BE CREATED TO CAPTURE STORM WATER QUALITY VOLUME ON THE SOUTH SIDE OF THE NEW STRUCTURE ON THE SITE. RUNOFF VOLUME FROM THE POND IN EXCESS OF THE SWQV WILL DISCHARGE TO HOLLY AVENUE VIA A 4" DIAMETER CONTROLLED RELEASE PIPE THRU THE CURB IN THE ENTRY DRIVE WHERE IT WILL FLOW TO THE WEST AND COLLECT IN AN AMAFCA POND ON THE NORTH SIDE OF HOLLY DESIGNED TO STORE RUNOFF FROM PROPERTIES ON THIS BLOCK. TOTAL Q = 1.98 CFS WHICH IS LESS THAN THE MAXIMUM ALLOWED 2.01 CFS.

### DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1930, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



## LEGAL DESCRIPTION

LOT NUMBERED TWENTY-ONE (21) IN BLOCK NUMBERED NINE (9) IN TRACT NUMBERED TWO (2), UNIT NUMBERED THREE (3), NORTH ALBUQUERQUE ACRES, A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICT 3 AND 4, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN PLAT BOOK D1, PAGE 20.

## BENCHMARK

AGRS. MONUMENT "HEAVEN"  
STANDARD A.C.S. BRASS DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1518,199.515 US SURVEY FEET  
E=1547,297.145 US SURVEY FEET  
PUBLISHED EL.=5312.235 US SURVEY FT (NAVD 1988)  
GROUND TO GRID FACTOR=0.999655810  
DELTA ALPHA ANGLE=-0°10'46.22"

## GENERAL NOTES

A ALL SIDEWALKS TO HAVE MAXIMUM 2% CROSS SLOPE

## KEYED NOTES

- 1 ASPHALT PAVING
- 2 CONCRETE TRENCH
- 3 2'-0" WIDE SIDEWALK CULVERT
- 4 4" PVC PIPE THRU CURB - 6" Ø218 CFS
- 5 CONCRETE CURB AND GUTTER
- 6 CONCRETE ENCASED PIPE INLET - INVERT = 70.10
- 7 NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG. #2415A
- 8 PRIVATE DRIVE ENTRANCE AND VALLEY GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG. #2426 AND #2420
- 9 CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG. #2430
- 10 RETAINING WALL

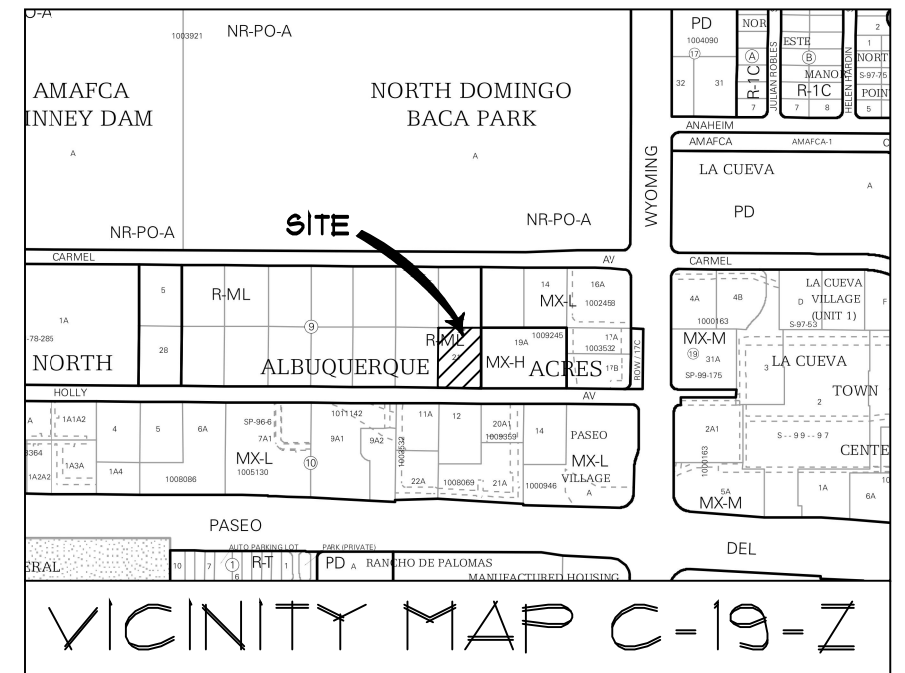
## LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- 5370 --- EXISTING CONTOUR
- 70 --- EXISTING CONTOUR
- × 5368.4 EXISTING SPOT ELEVATION
- 1030.4 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- SWALE
- FF FINISH FLOOR
- TC TOP OF CONCRETE OR CURB
- TG TOP GRADE
- BG BOTTOM GRADE
- FL FLOW LINE
- INV INVERT
- ▲ ROOF DRAIN LOCATION
- [Pattern] NEW CONCRETE PAVING/SIDEWALK
- [Pattern] NEW AC PAVING

joe slagle architect

413 2nd st sw  
abq nm 87102  
505 246 0870

**Walla** ENGINEERING LTD  
Structural Engineering  
Civil Engineering  
6501 Americas Parkway NE • Suite 301  
Albuquerque • New Mexico • 87110  
881-3008 • Facsimile 881-4025



## EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

A NEW DENTAL OFFICE FOR:  
**CURTIS PINO, DDS, MSD**  
7413 HOLLY AVENUE, NE  
ALBUQUERQUE, NM



## GRADING and DRAINAGE PLAN

revisions

date:  
4-21-21

sheet:  
C101

1 | grading and drainage plan  
C101 1"=20'-0"