

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 26, 2024

Alejandro Sazo
RBA Architect, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Carmel Apartments
7330 Carmel Ave. NE
Traffic Circulation Layout
Architect's Stamp 03-03-22 (C19-D069)

Dear Mr. Sazo,

The TCL submittal received 03-27-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **AN APPROVED/ ACCEPTED ACCESS EASEMENT IS A CONDITION OF RELEASING THE FINAL CO.**

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

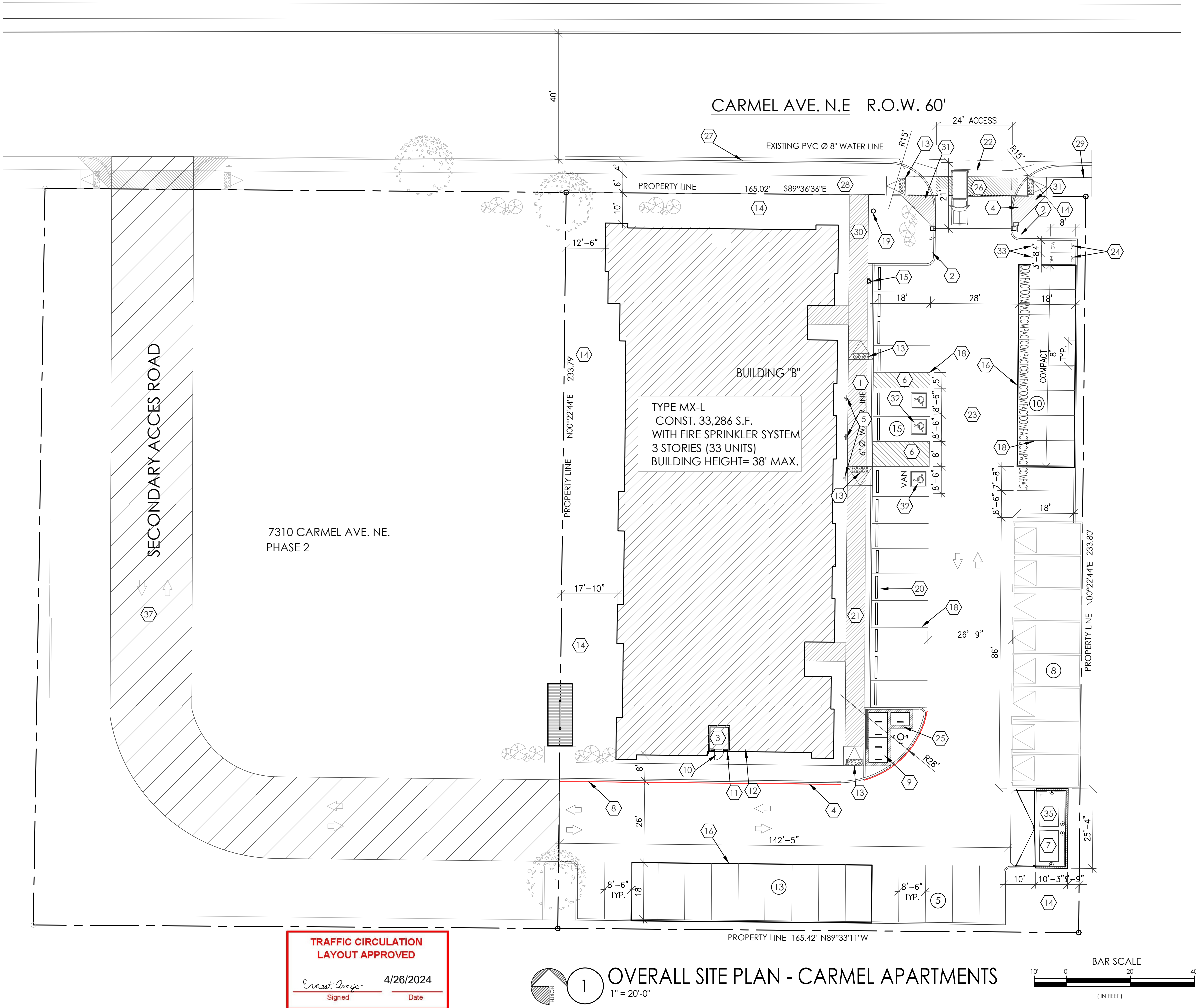
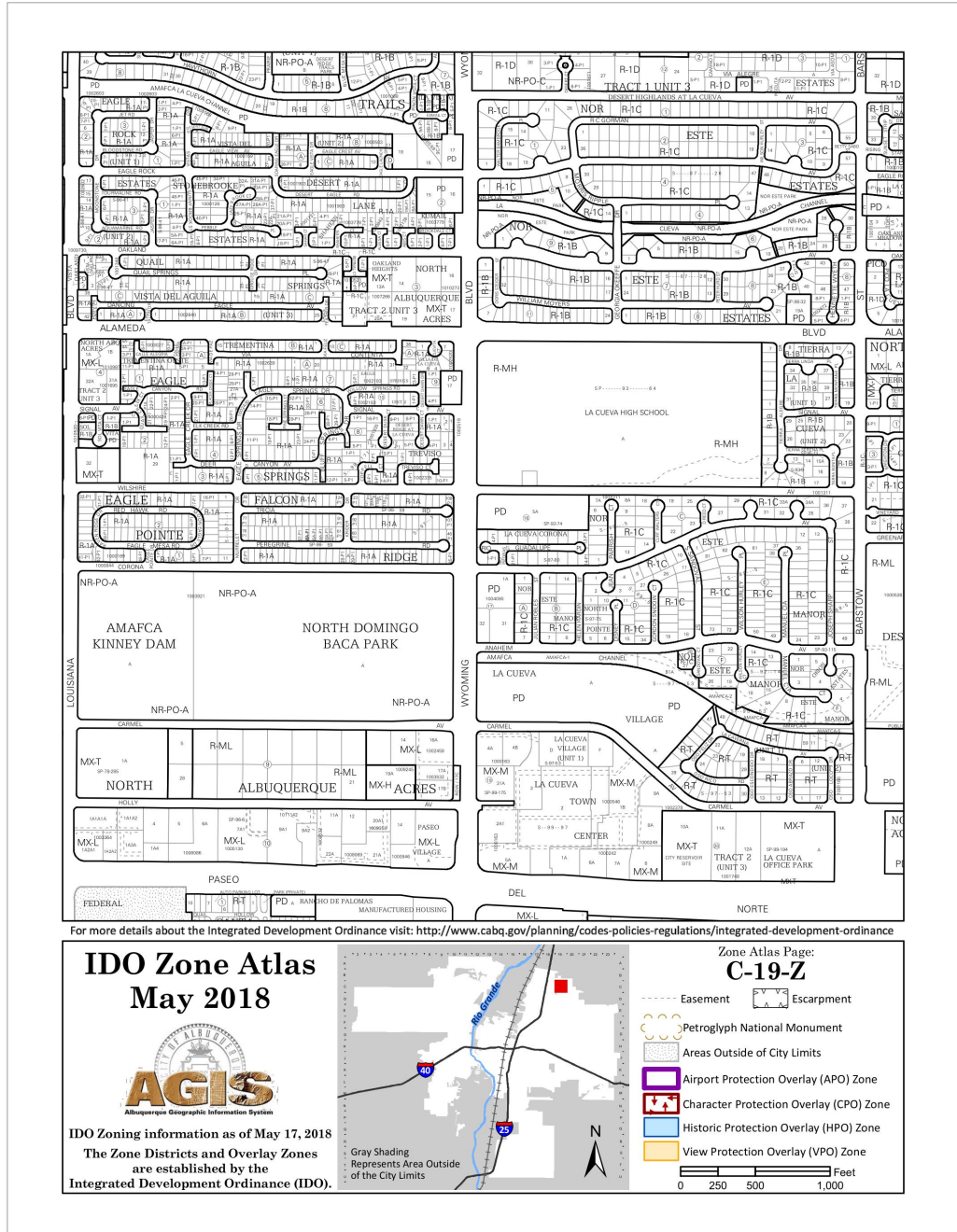
KEYED NOTES
1. 6' x 6' LANDING WITH ACCESSIBLE CURB RAMP, REF: DETAIL A8/AS-2.0.
2. 2'-0" CURB RADIUS, TYP., CURB PER C.O.A. STANDARD DWG. 2415A.
3. FIRE RISER ROOM WITH FIRE RISER, G.C. TO SUBMIT FIRE SPRINKLER PLANS TO THE FIRE MARSHALL'S OFFICE FOR REVIEW AND APPROVAL.
4. 6' RAISED CONCRETE CURB, TYP. PER C.O.A. STD. DWG 2443.
5. ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL C1/AS-2.0.
6. PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1, B NMSA 1978), REF: DETAIL A8/AS-2.0.
7. DUMPSTER ENCLOSURE, NOTE: DUMPSTER ENCLOSURE WALLS TO BE 8'-0" HIGH, REF: DETAIL A1/AS-2.0.
8. FIRE LANE, PAINT CONC., CURB RED AND ADD SIGNAGE TO CURBS 5' HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6' WIDE RED STRIPE, REF: FIRE ORD. 503.3.1
9. FIRE HYDRANT LOCATION, TYP. REF: UTILITY PLAN.
10. G.C. TO PROVIDE AND INSTALL ROOM SIGNAGE AT FIRE RISER ROOM DOOR STATING "FIRE RISER ROOM".
11. G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F., TYP.
12. FIRE DEPARTMENT CONNECTION (FDC) LOCATION, NOTE: FDC LOCATION TO BE WITH 100 FEET OF FIRE HYDRANT.
13. 24" TRUNCATED DOWNS, TYP. REFERENCE DETAIL A10/AS-2.0.
14. LANDSCAPING AREA, REF: LANDSCAPING PLAN.
15. ELECTRICAL VEHICLES CHARGING STATIONS.
16. COVERED PARKING SPACES.
17. NOT USED.
18. 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/AS-2.0.
19. PIV LOCATION.
20. CONCRETE WHEEL STOP, TYP.
21. 4" THICK CONCRETE SIDEWALK, TYP. REFERENCE DETAIL A5/AS-2.0.
22. CONSTRUCT NEW CONCRETE DRIVEWAY PER C.O.A. STANDARD DWG 2426 (WITH PARALEL RAMP) WITH 6" VALLEY GUTTER PER C.O.A. STANDARD DWG 2420, REF: GRADING AND DRAINAGE PLAN.
23. ASPHALT PAVING OVER GRAVEL BASE COURSE, REF: GEO-TECH REPORT.
24. MOTORCYCLE PARKING SIGNAGE, PER C.O.A. STANDARDS, REF DETAIL C5/AS-2.0
25. BIKE RACK FOR (5) BICYCLES, REF DETAIL C4-C6/AS-2.1
A. 30" TALL X 18" WIDE.
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED.
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
SEE THE IDO FOR ADDITIONAL INFORMATION.
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
26. 6' WIDE ACCESSIBLE PEDESTRIAN PATH, TYP. REF: DETAIL A9/AS-2.0
27. CONSTRUCT NEW RAISED 8" STD CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A.
28. CONSTRUCT NEW 6' WIDTH CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. 2430, MATCHING EXISTING SIDEWALK (5:1 TAPER PROVIDED AT END OF SIDEWALK, IF NECESSARY).
29. START OF 6' CONCRETE SIDEWALK, PER C.O.A. STANDARD DWG. 2430 (5:1 TAPPER PROVIDE IF NECESSARY).
30. 6 FT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY (HATCHED AREA ONLY ON PLANS), REFERENCE DETAIL A5/AS-2.0
31. 11' x 11' CLEAR SITE TRIANGLE PER DPM, NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
32. HANDICAP SYMBOL PER C.O.A. STANDARDS, TYPICAL PLACES, REF: C2/AS-2.0 FOR DETAILS.
33. "MC" PARKING ON ASPHALT PAVING IN CAPITAL LETTERS, 12" HIGH x 2" WIDE.
34. NOT USED.
35. CONTAINER FOR RECYCLING.
36. PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABQ STANDARDS, WHERE IS SHOWN ON PLANS.
37. SECONDARY ACCESS ROAD.

GENERAL NOTES

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER BY ACCORDING TO THE APPROPRIATE CITY STANDARD DRAWING.

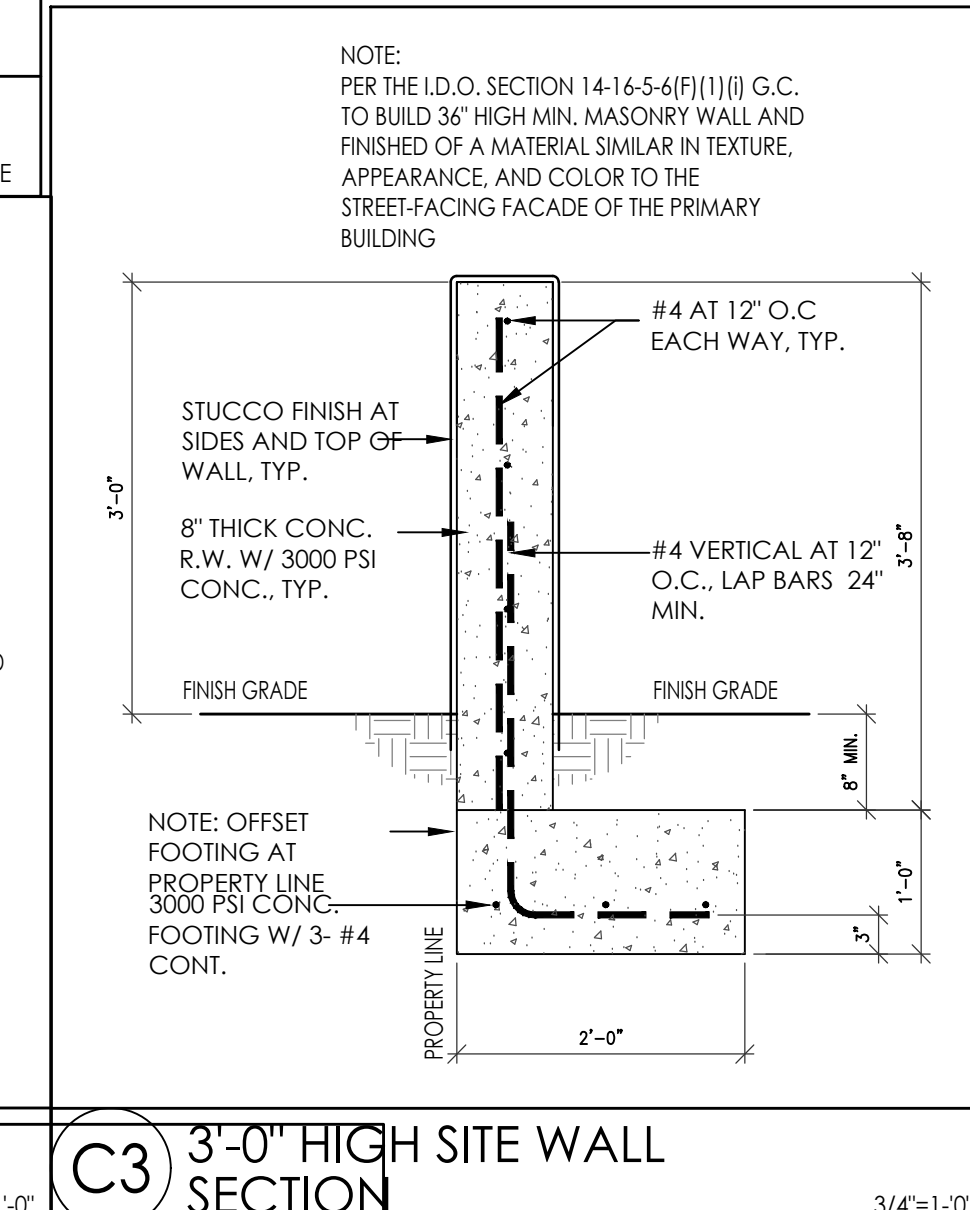
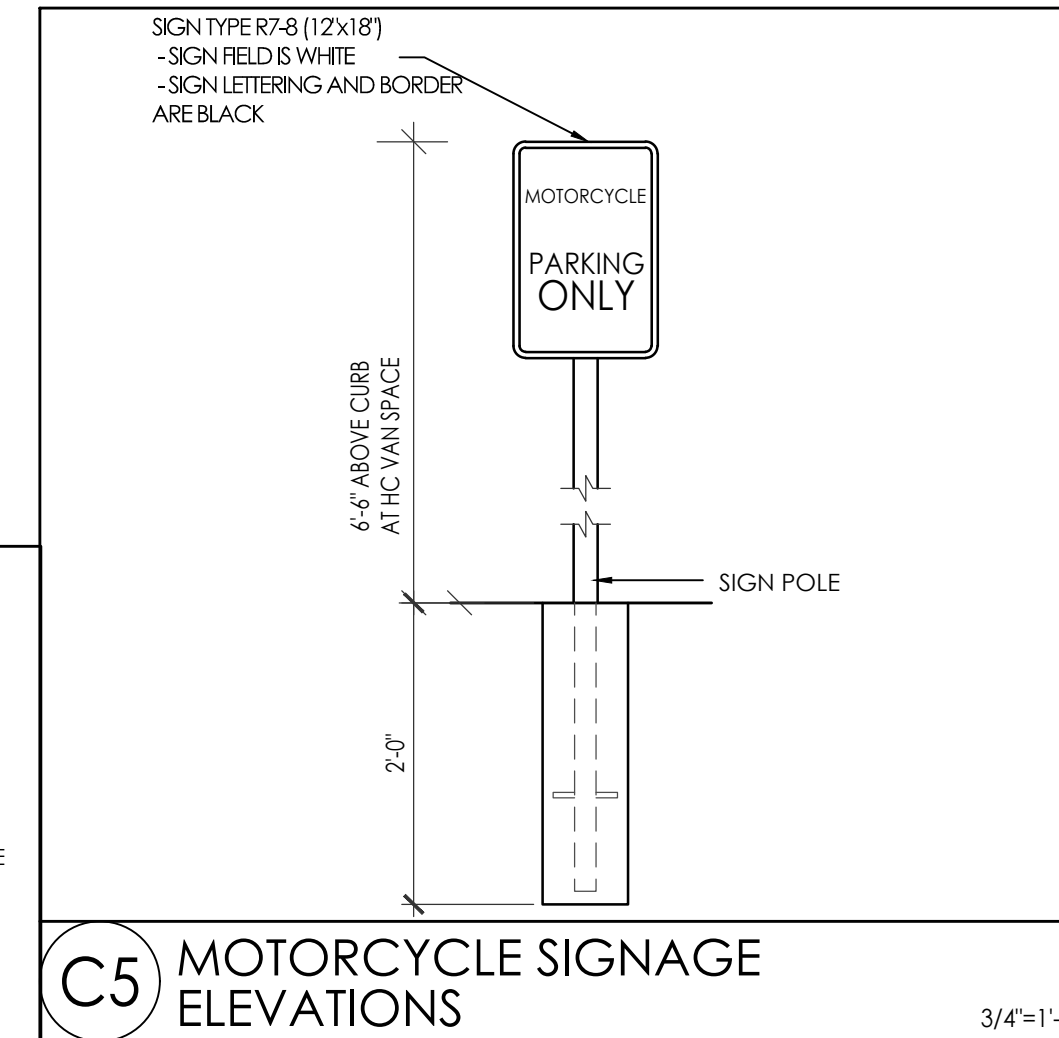
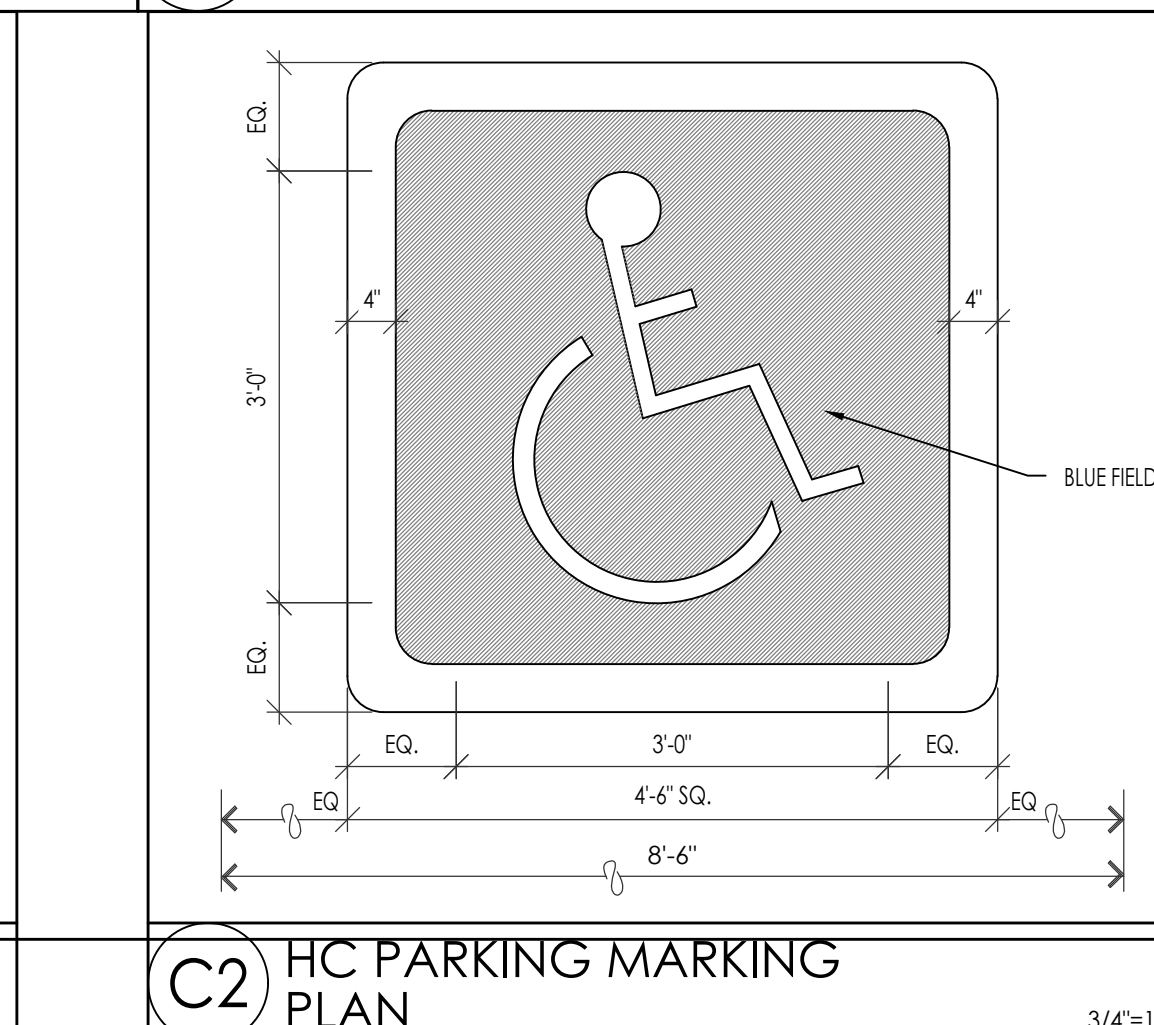
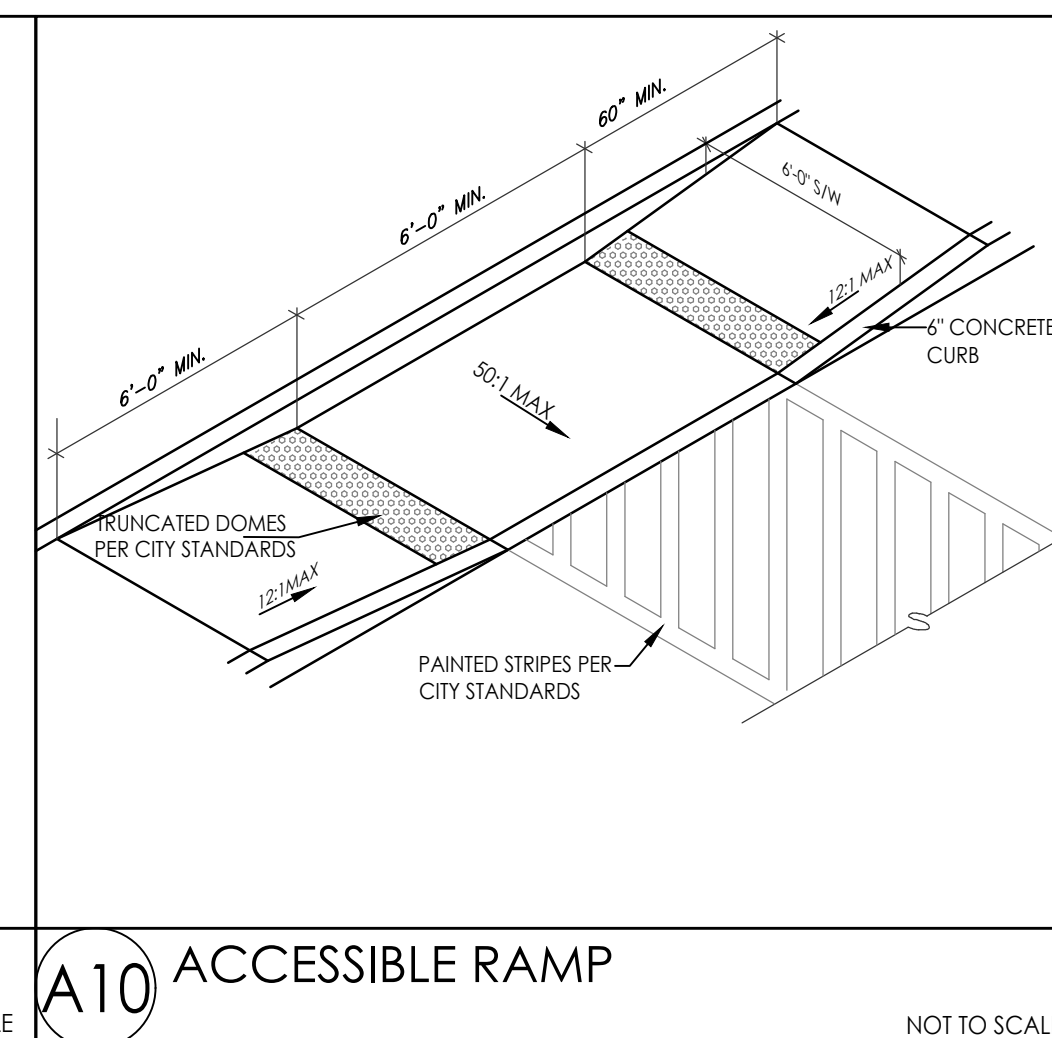
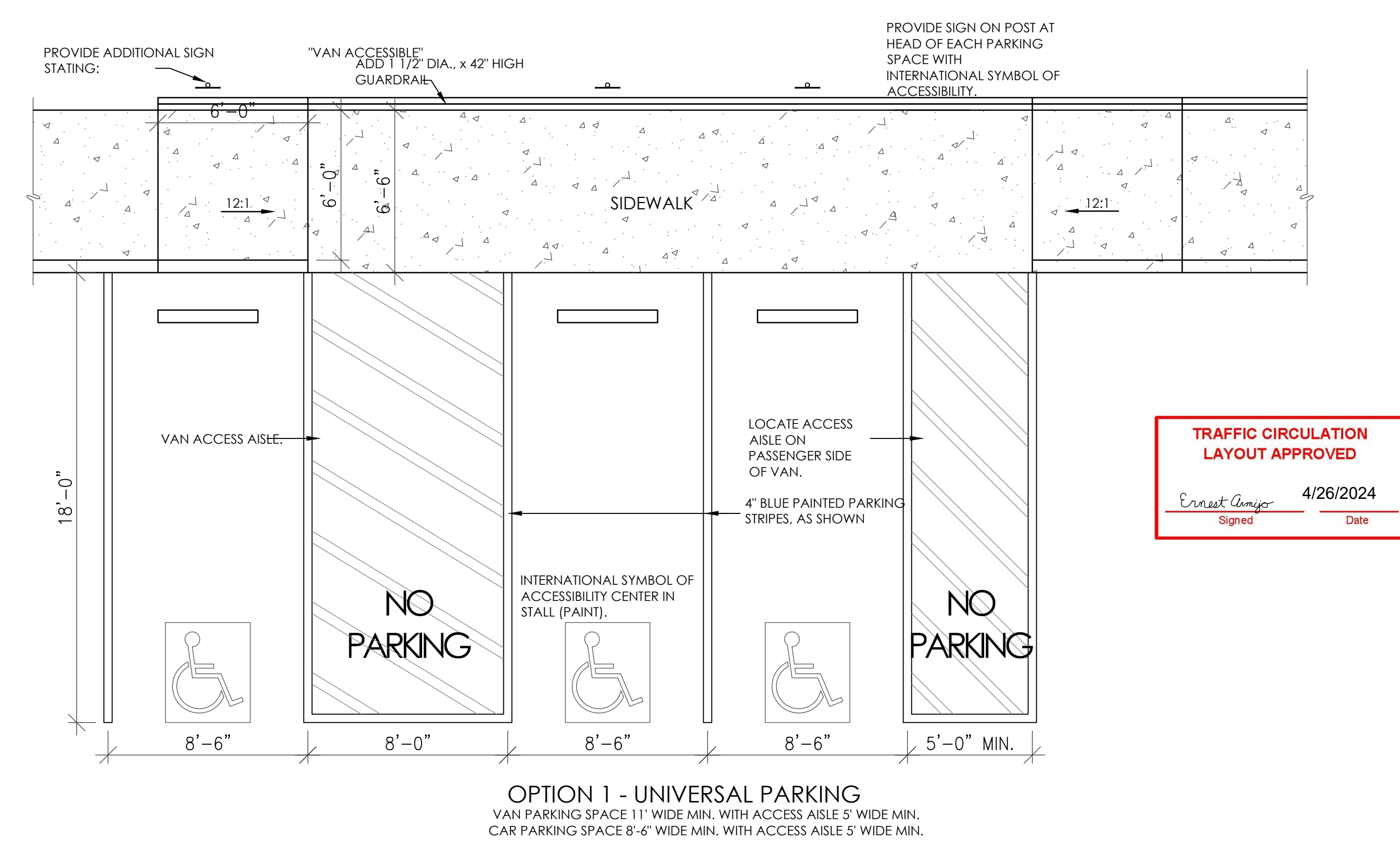
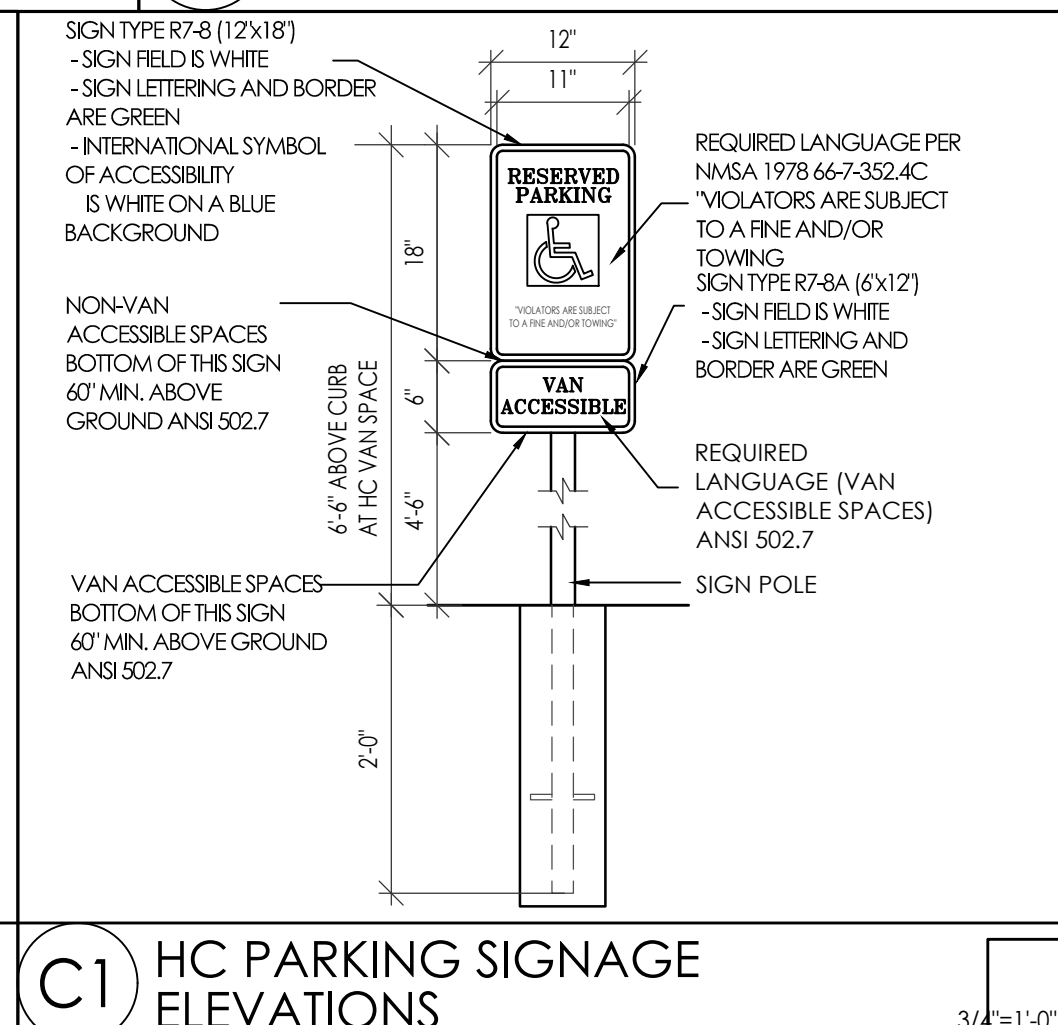
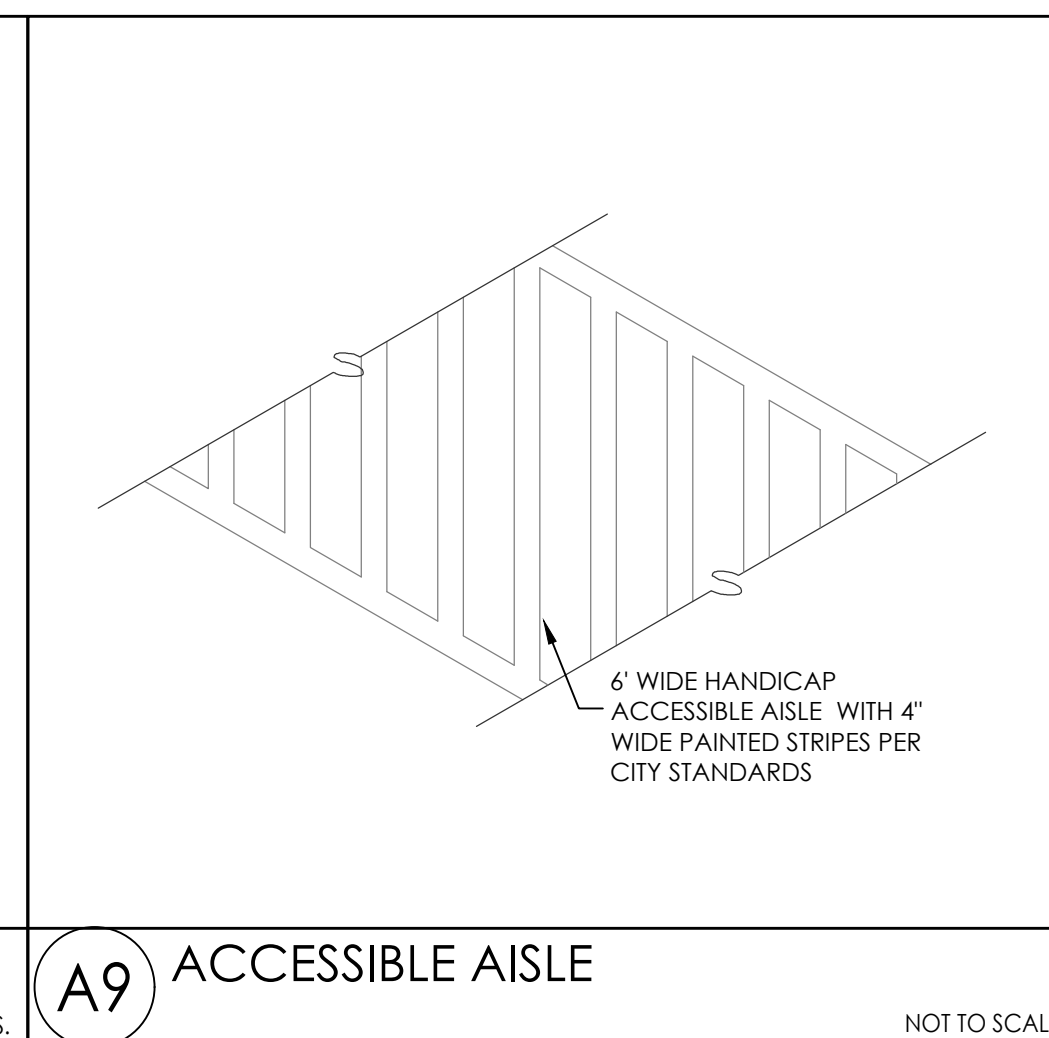
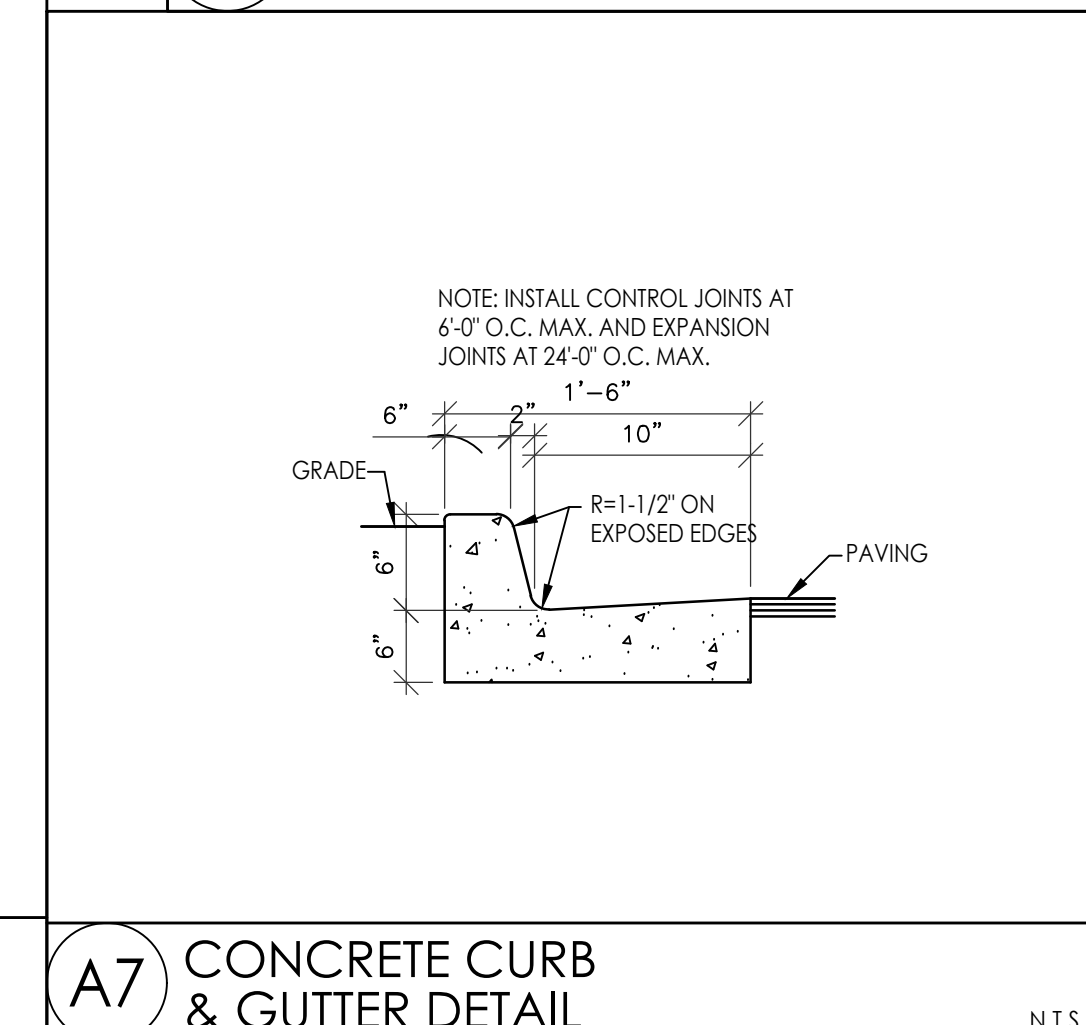
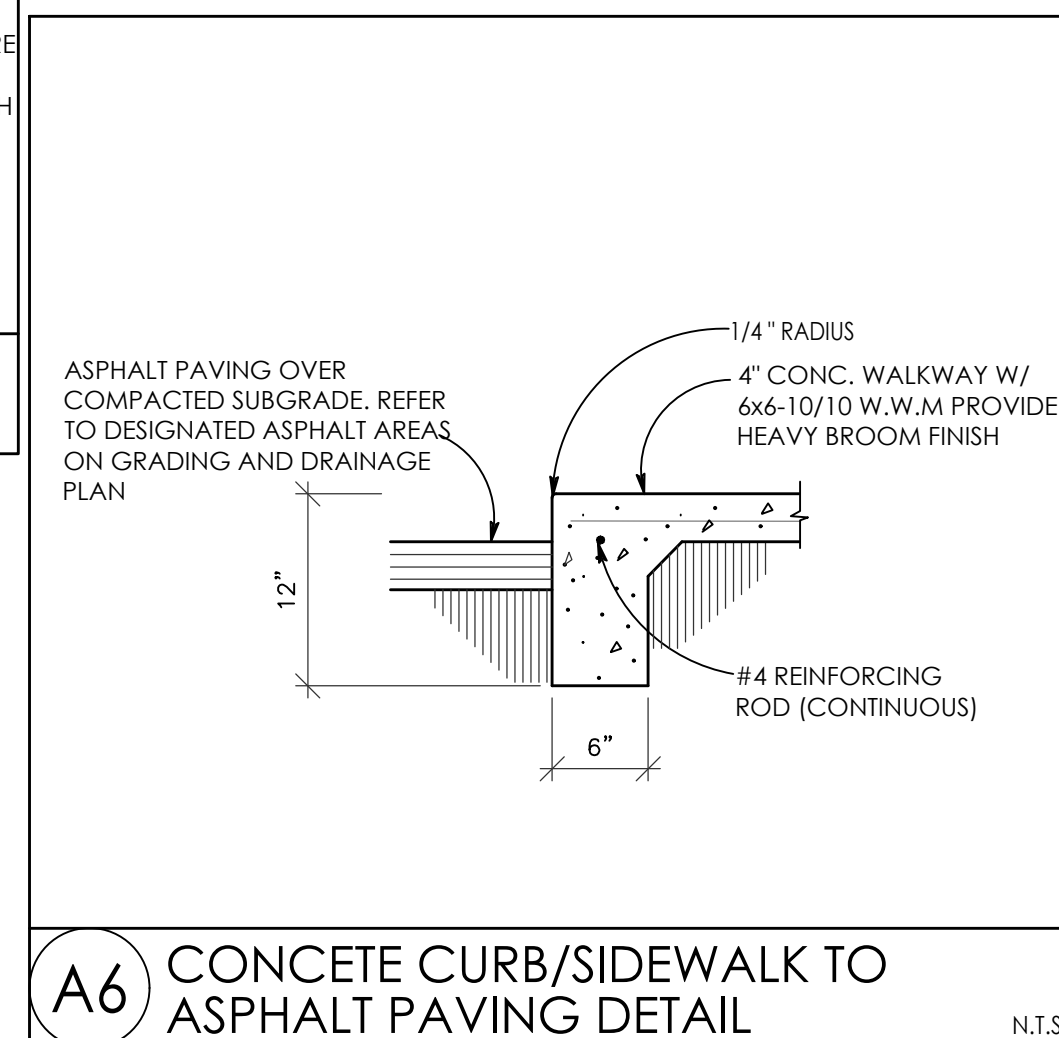
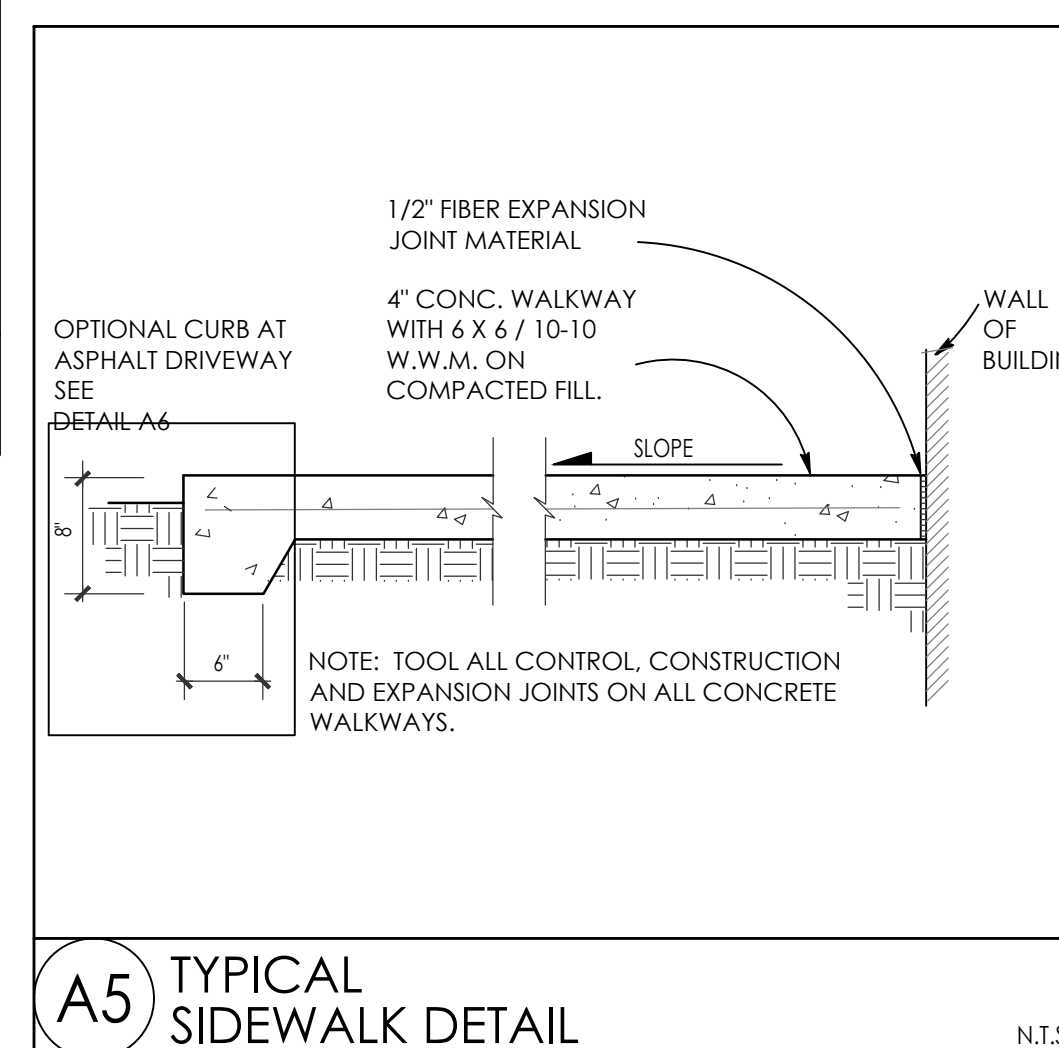
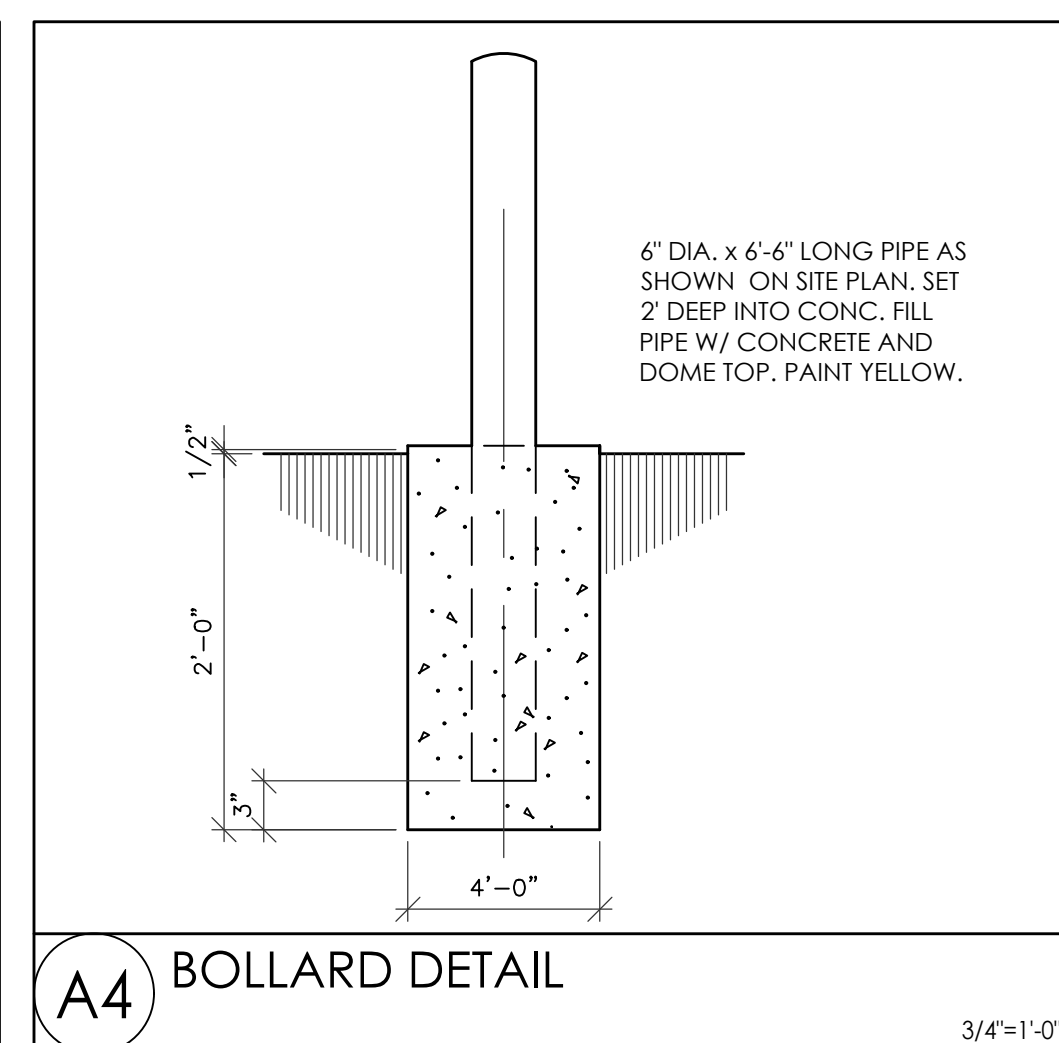
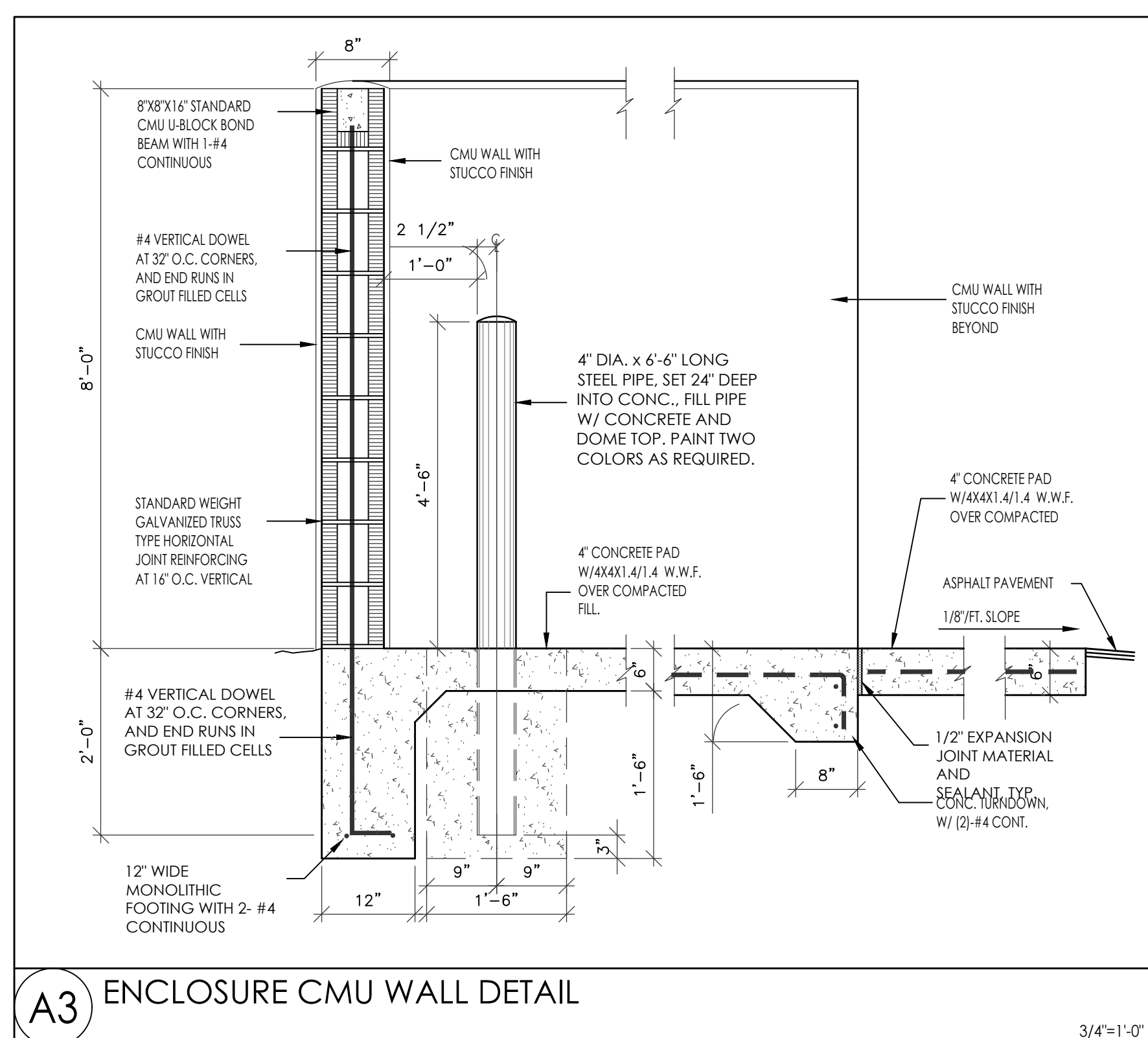
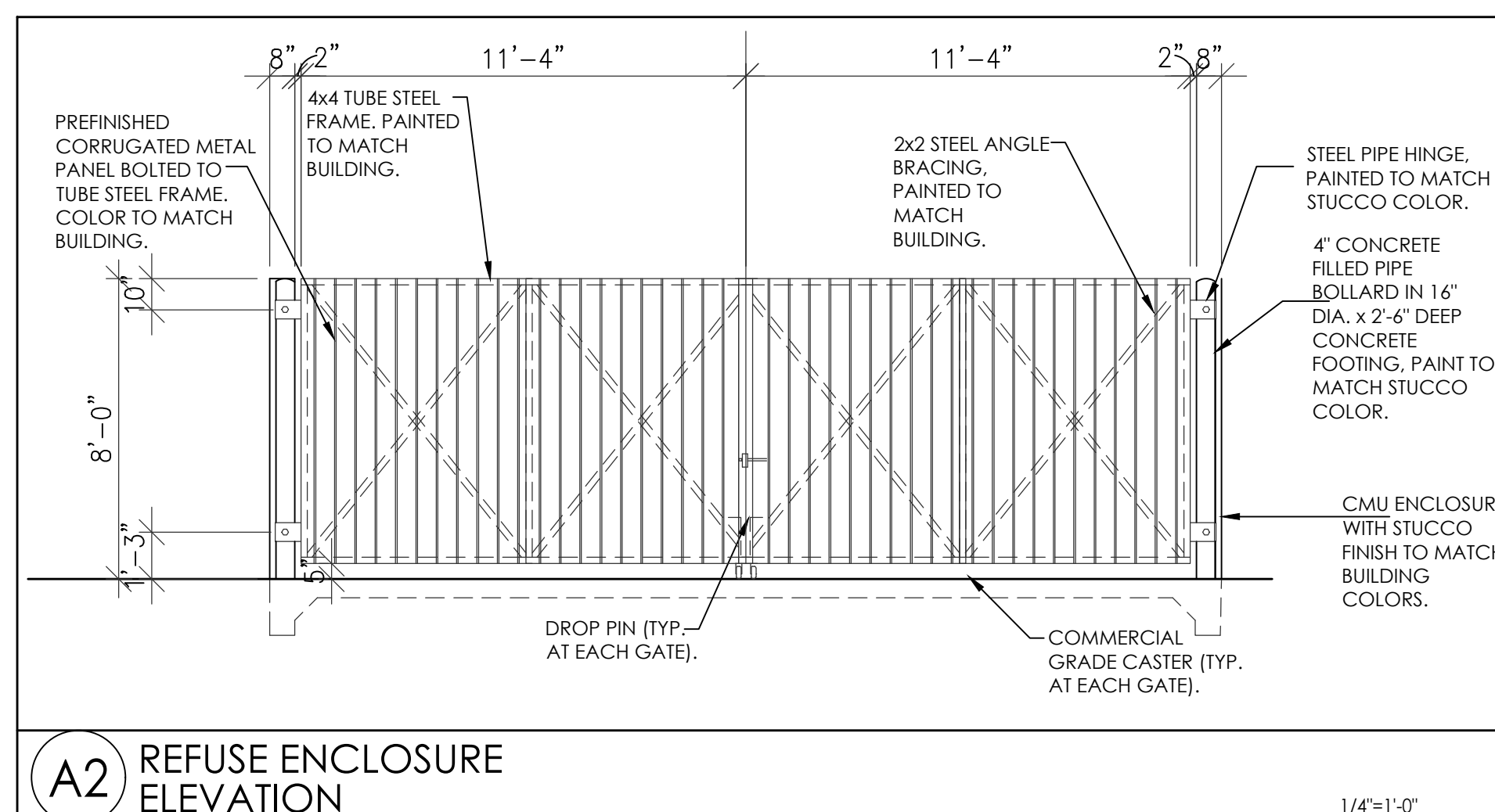
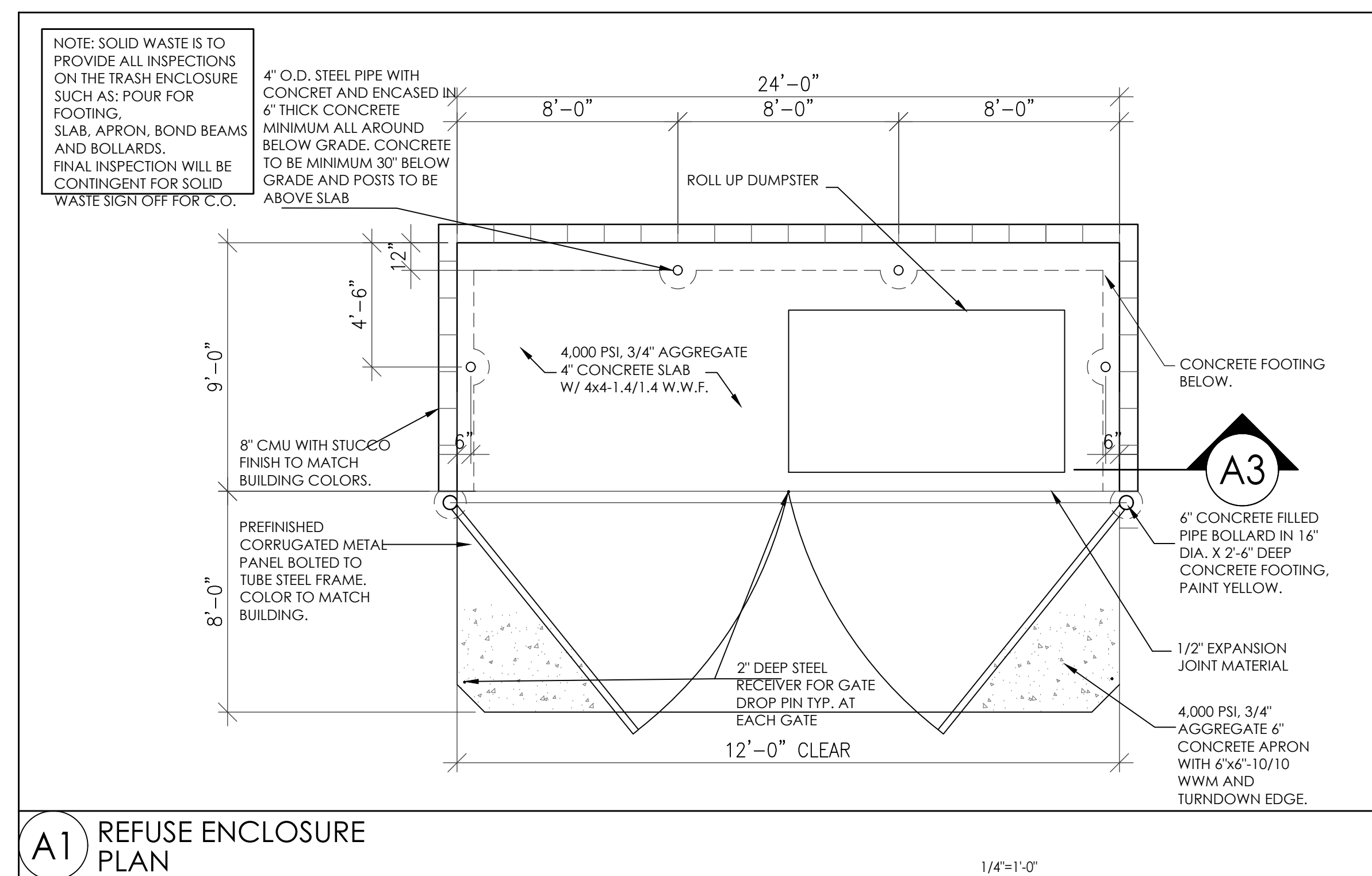
BUILDING "B"
1ST FLOOR
(7) ONE BEDROOM APARTMENT HEATED AREAS:
(4) TWO BEDROOM APARTMENT HEATED AREAS:
HALLWAY
COVERED PATIOS
FIRE RISER ROOM AREA:
TOTAL 1ST FLOOR AREA:
GARAGES AREA:
2ND FLOOR
(7) ONE BEDROOM APARTMENT HEATED AREAS:
(4) TWO BEDROOM APARTMENT HEATED AREAS:
HALLWAY
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:
TOTAL 2ND FLOOR AREA:
3RD FLOOR
(7) ONE BEDROOM APARTMENT HEATED AREAS:
(4) TWO BEDROOM APARTMENT HEATED AREAS:
HALLWAY
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:
TOTAL 3RD FLOOR AREA:
TOTAL BUILDING AREA:

IDO ZONE DISTRICT: MX-L
LANDSCAPING CALC'S
AREA OF LOT = 38,829 S.F./43560 = .89 ACRES
AREA OF BLDGS= 111,122 S.F.
27,490 S.F. x 15% = 4,153
LANDSCAPING REQUIRED = 4,153 SQ FT
LANDSCAPING PROVIDED = 9,671 SQ FT
USABLE OPEN SPACE REQUIRED PER IDO
1 BDRM = 21 UNITS x 225 = 4,725 S.F. USABLE OPEN SPACE
2 BDRM = 12 UNITS x 285 = 3,420 S.F. USABLE OPEN SPACE
TOTAL = 8,145 S.F. U.O.S. REQUIRED
TOTAL = 9,671 S.F. U.O.S. PROVIDED
PARKING REQUIRED PER THE IDO
DWELLING, MULTI-FAMILY
1.2 PARKING SPACES PER 1BR UNIT= 21 UNITS X 1.2 = 25.2
1.6 PARKING SPACES PER 2BR UNIT= 12 UNITS X 1.6= 19.2
PARKING SPACES REQUIRED= 44.4= 45 SPACES
3 ADA SPACES
PARKING SPACES PROVIDED
PARKING SPACES = 55 (INCLUDING 3H.C. SPACES)
GARAGE SPACES = 8
TOTAL PARKING SPACES PROVIDED = 53
ELECTRIC VEHICLES SPACES = 1
MOTORCYCLE PARKING SPACES PROVIDED =2
BIKE SPACES PROVIDED =3



CARMEL APARTMENTS
SITE PLAN B
7330 CARMEL AVE. NE.
ALBUQUERQUE, NM.
PROJECT #2179

REVISION	DATE
1	3/3/2022
STATE OF NEW MEXICO RICHARD P. BENNETT No. 1240 3/3/2022 REGISTERED ARCHITECT	
RBA ARCHITECTURE, PC ARCHITECTURE PLANNING DESIGN 1000 N. 10th Ave., Ste. 200 Albuquerque, NM 87102 www.rbaarch.com	
DATE	3/3/2022
SHEET NUMBER	AS-1.0




**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Amador 4/26/2024

Signed Date

CARMEL APARTMENTS
SITE PLAN DETAILS
7330 CARMEL AVE. NE.
ALBUQUERQUE, NM.
PROJECT #2179

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN

1101 Bank Ave. SW
Albuquerque, NM 87102
505/242-1899 505/242-2650
www.rba81.com

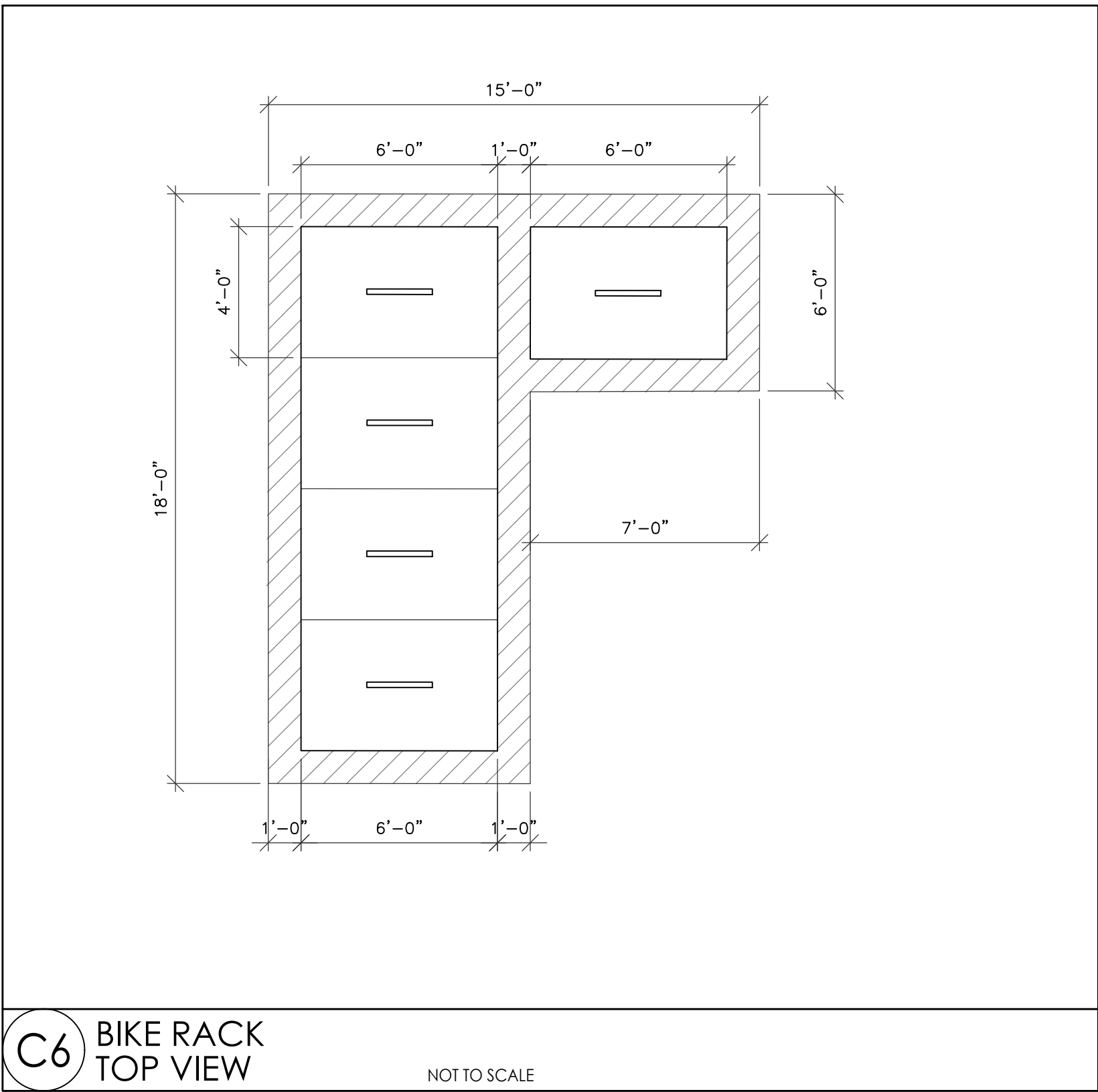
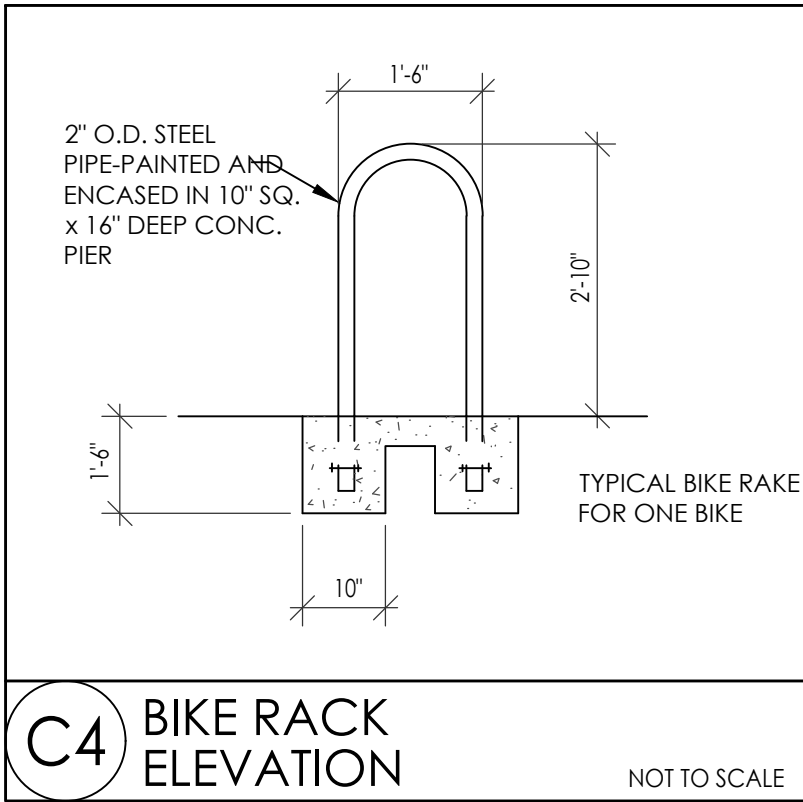
DATE
3/3/2022

SHEET NUMBER

AS-2.0

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amigo 4/26/2024
Signed Date



CARMEL APARTMENTS
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7330 CARMEL AVE. NE.
ALBUQUERQUE, NM.
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REVISION DATE	
DATE	3/3/2022
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