

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 26, 2024

Alejandro Sazo
RBA Architect, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Carmel Apartments
7330 Carmel Ave. NE
Traffic Circulation Layout
Architect's Stamp 03-03-22 (C19-D069)

Dear Mr. Sazo,

The TCL submittal received 03-27-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **AN APPROVED/ ACCEPTED ACCESS EASEMENT IS A CONDITION OF RELEASING THE FINAL CO.**

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

- ### KEYED NOTES
- 6' x 6' LANDING WITH ACCESSIBLE CURB RAMP. REF: DETAIL A8/AS-2.0.
 - 2'-0" CURB RADIUS, TYP., CURB PER C.O.A. STANDARD DWG. 2415A.
 - FIRE RISER ROOM WITH FIRE RISER, G.C. TO SUBMIT FIRE SPRINKLER PLANS TO THE FIRE MARSHALL'S OFFICE FOR REVIEW AND APPROVAL.
 - 6' RAISED CONCRETE CURB, TYP. PER C.O.A. STD. DWG 2443.
 - ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS; REF: DETAIL C1/AS-2.0.
 - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE. LOCATE SIGN (66-1-4.1 B NMSA 1978); REF: DETAIL A8/AS-2.0.
 - DUMPSTER ENCLOSURE, NOTE: DUMPSTER ENCLOSURE WALLS TO BE 8'-0" HIGH, REF: DETAIL A1/AS-2.0.
 - FIRE LANE, PAINT CONC., CURB RED AND ADD SIGNAGE TO CURBS 5' HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6' WIDE RED STRIPE, REF: FIRE ORD. 503.3.1
 - FIRE HYDRANT LOCATION, TYP. REF: UTILITY PLAN.
 - G.C. TO PROVIDE AND INSTALL ROOM SIGNAGE AT FIRE RISER ROOM DOOR STATING "FIRE RISER ROOM".
 - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F., TYP.
 - FIRE DEPARTMENT CONNECTION (FDC) LOCATION, NOTE: FDC LOCATION TO BE WITH 100 FEET OF FIRE HYDRANT.
 - 24" TRUNCATED DOMES, TYP. REFERENCE DETAIL A10/AS-2.0.
 - LANDSCAPING AREA, REF: LANDSCAPING PLAN.
 - ELECTRICAL VEHICLES CHARGING STATIONS.
 - COVERED PARKING SPACES.
 - NOT USED.
 - 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/AS-2.0.
 - PIV LOCATION.
 - CONCRETE WHEEL STOP, TYP.
 - 4" THICK CONCRETE SIDEWALK, TYP. REFERENCE DETAIL A5/AS-2.0.
 - CONSTRUCT NEW CONCRETE DRIVEWAY PER C.O.A. STANDARD DWG 2426 (WITH PARALLEL RAMP) WITH 6" VALLEY GUTTER PER C.O.A. STANDARD DWG 2420, REF: GRADING AND DRAINAGE PLAN.
 - ASPHALT PAVING OVER GRAVEL BASE COURSE, REF: GEO-TECH REPORT.
 - MOTORCYCLE PARKING SIGNAGE, PER C.O.A. STANDARDS, REF: DETAIL C5/AS-2.0.
 - BIKE RACK FOR (5) BICYCLES, REF: DETAIL C4-C6/AS-2.1
 - 30" TALL X 18" WIDE.
 - BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.
 - THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
 - THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 - EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 - THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
 - 6' WIDE ACCESSIBLE PEDESTRIAN PATH, TYP. REF: DETAIL A9/AS-2.0
 - CONSTRUCT NEW RAISED 8" STD CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A.
 - CONSTRUCT NEW 6" WIDTH CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. 2430, MATCHING EXISTING SIDEWALK (5:1 TAPER PROVIDED AT END OF SIDEWALK, IF NECESSARY).
 - START OF 6" CONCRETE SIDEWALK, PER C.O.A. STANDARD DWG. 2430 (5:1 TAPPER PROVIDE IF NECESSARY).
 - 6 FT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY (HATCHED AREA ONLY ON PLANS), REFERENCE DETAIL A5/AS-2.0
 - 11' x 11' CLEAR SITE TRIANGLE PER DPM, NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 - HANDICAP SYMBOL PER C.O.A. STANDARDS, TYPICAL PLACES, REF: C2/AS-2.0 FOR DETAILS.
 - "MC" PARKING ON ASPHALT PAVING IN CAPITAL LETTERS, 12" HIGH X 2" WIDE.
 - NOT USED.
 - CONTAINER FOR RECYCLING.
 - PAINTED "COMPACT" - WHITE ON PAVEMENT PER CABQ STANDARDS, WHERE IS SHOWN ON PLANS.
 - SECONDARY ACCESS ROAD.

GENERAL NOTES

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER BY ACCORDING TO THE APPROPRIATE CITY STANDARD DRAWING.

BUILDING "B"

1ST FLOOR	
(7) ONE BEDROOM APARTMENT HEATED AREAS:	729 S.F. EACH X 7 = 5,103 S.F.
(4) TWO BEDROOM APARTMENT HEATED AREAS:	926 S.F. EACH X 4 = 3,704 S.F.
HALLWAY	= 1,572 S.F.
COVERED PATIOS	= 703 S.F.
FIRE RISER ROOM AREA:	= 40 S.F.
TOTAL 1ST FLOOR AREA:	= 11,122 S.F.
GARAGES AREA:	
	= 1860 S.F.
2ND FLOOR	
(7) ONE BEDROOM APARTMENT HEATED AREAS:	729 S.F. EACH X 7 = 5,103 S.F.
(4) TWO BEDROOM APARTMENT HEATED AREAS:	926 S.F. EACH X 4 = 3,704 S.F.
HALLWAY	= 1,572 S.F.
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:	= 703 S.F.
TOTAL 2ND FLOOR AREA:	= 11,082 S.F.
3RD FLOOR	
(7) ONE BEDROOM APARTMENT HEATED AREAS:	729 S.F. EACH X 7 = 5,103 S.F.
(4) TWO BEDROOM APARTMENT HEATED AREAS:	926 S.F. EACH X 4 = 3,704 S.F.
HALLWAY	= 1,572 S.F.
UNHEATED BREEZEWAY AND COVERED PATIO AREAS:	= 703 S.F.
TOTAL 3RD FLOOR AREA:	= 11,082 S.F.
TOTAL BUILDING AREA:	33,286 S.F.

LANDSCAPING CALC.

LANDSCAPING CALC.
 AREA OF LOT = 38,829 S.F. / 43560 = .89 ACRES
 AREA OF BLDGS = 11,122 S.F.
 27,690 S.F. x 15% = 4,153
 LANDSCAPING PROVIDED = 9,671 SQ FT

USABLE OPEN SPACE REQUIRED PER IDO

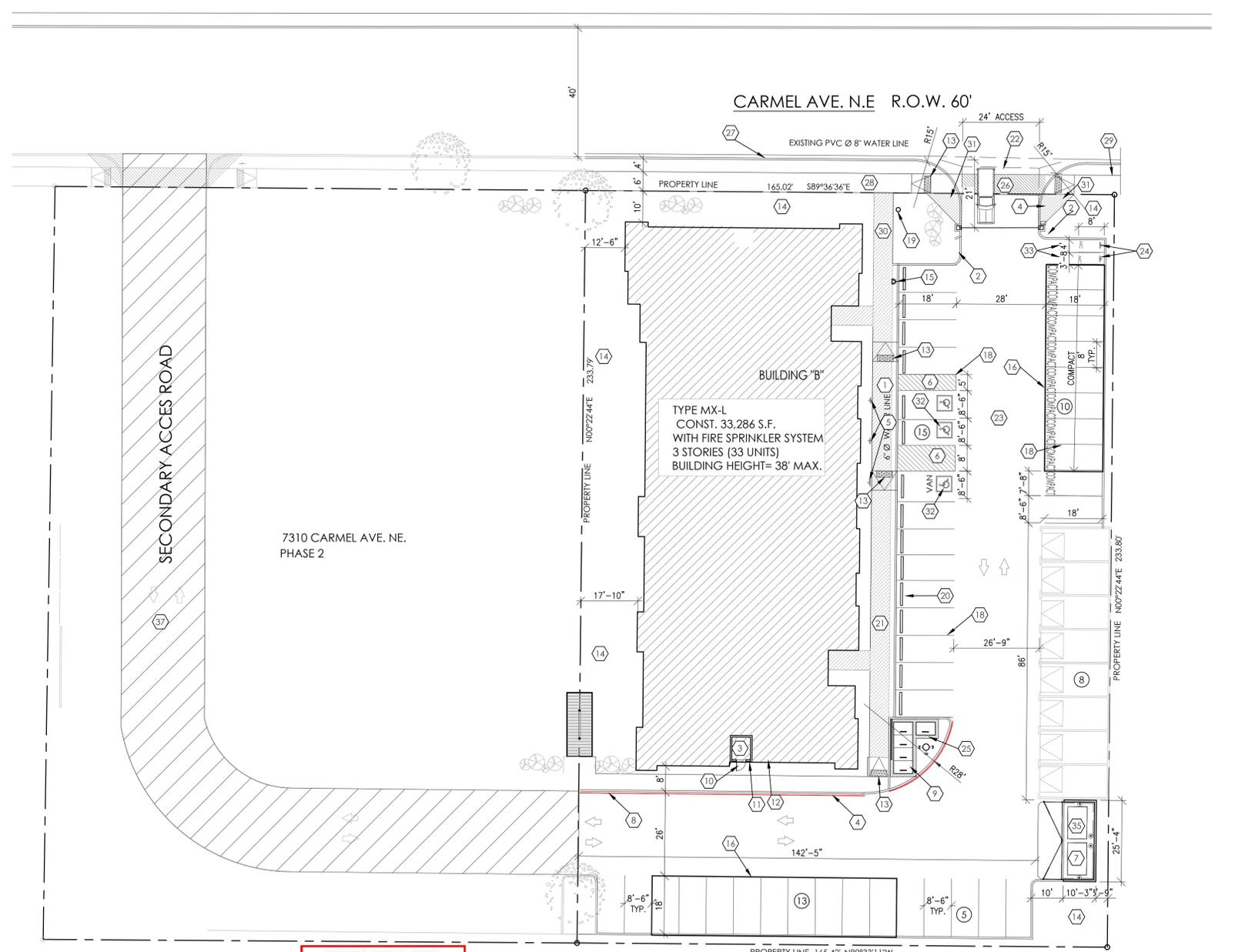
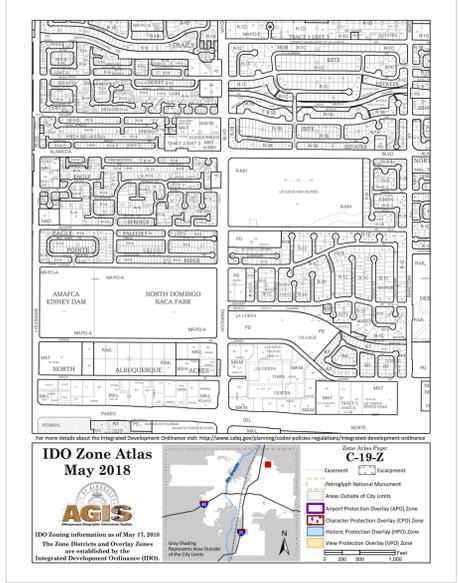
1 BDRM = 21 UNITS x 225 = 4,725 S.F. USABLE OPEN SPACE
 2 BDRM = 12 UNITS x 285 = 3,420 S.F. USABLE OPEN SPACE
 TOTAL = 8,145 S.F. U.O.S. REQUIRED
 TOTAL = 9,671 S.F. U.O.S. PROVIDED

PARKING REQUIRED PER THE IDO

DWELLING, MULTI-FAMILY
 1.2 PARKING SPACES PER 1BR UNIT = 21 UNITS X 1.2 = 25.2
 1.6 PARKING SPACES PER 2BR UNIT = 12 UNITS X 1.6 = 19.2
 PARKING SPACES REQUIRED = 44.4 = 45 SPACES
 3 ADA SPACES

PARKING SPACES PROVIDED

PARKING SPACES = 55 (INCLUDING 3H.C. SPACES)
 GARAGE SPACES = 8
 TOTAL PARKING SPACES PROVIDED = 53
 ELECTRIC VEHICLES SPACES = 1
 MOTORCYCLE PARKING SPACES PROVIDED = 2
 BIKE SPACES PROVIDED = 3



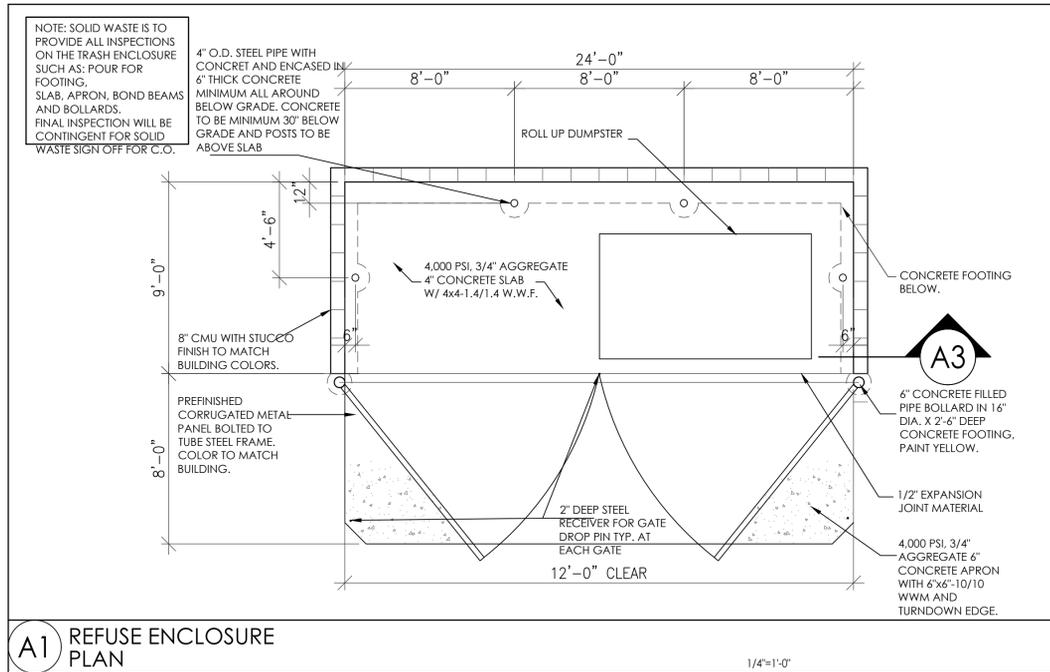
TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Amigo 4/26/2024
 Signed Date

OVERALL SITE PLAN - CARMEL APARTMENTS
 1" = 20'-0"

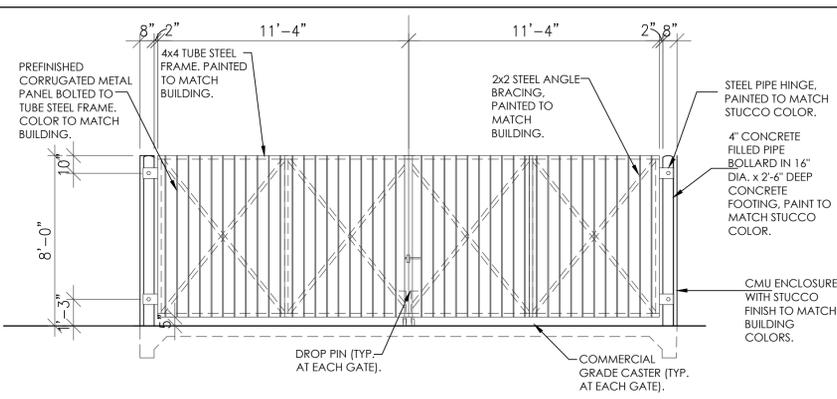


CARMEL APARTMENTS
 SITE PLAN B
 7330 CARMEL AVE. NE.
 ALBUQUERQUE, NM.
 PROJECT #2179

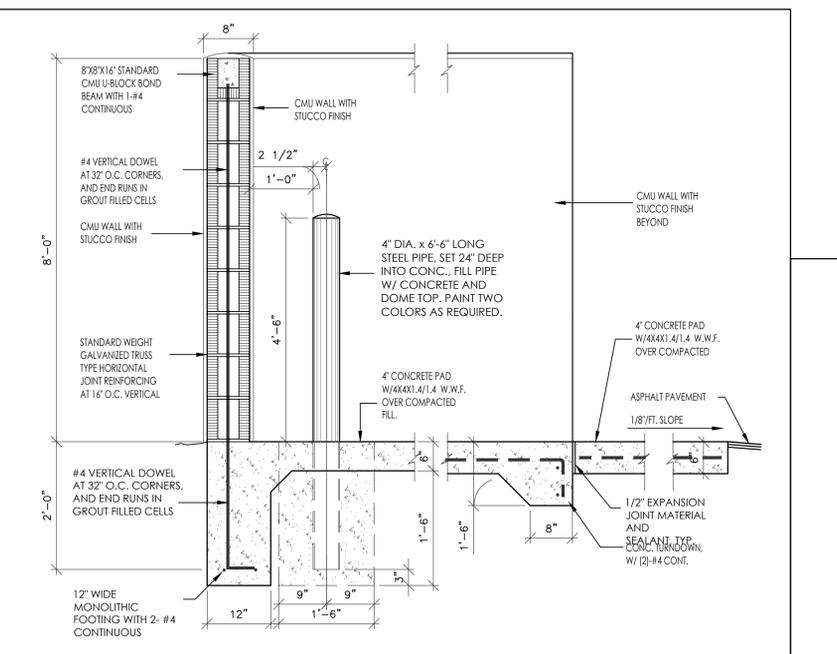
REVISION DATE
DATE 3/3/2022
SHEET NUMBER AS-1.0



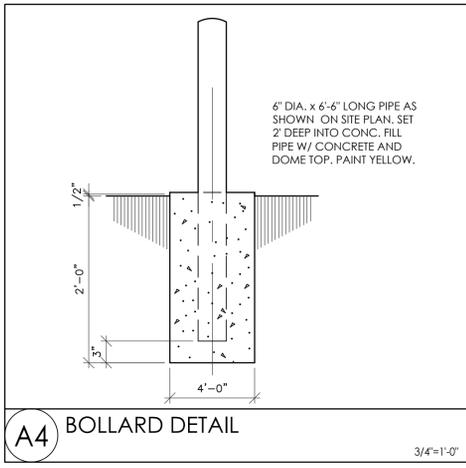
A1 REFUSE ENCLOSURE PLAN
1/4"=1'-0"



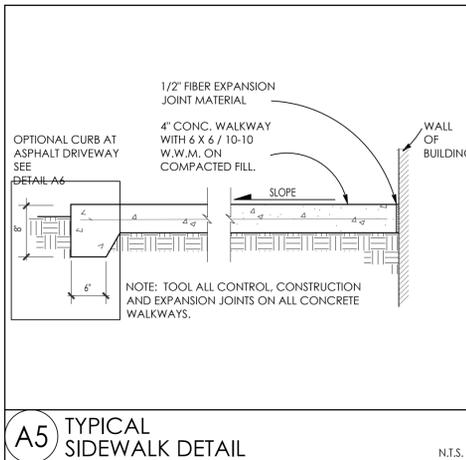
A2 REFUSE ENCLOSURE ELEVATION
1/4"=1'-0"



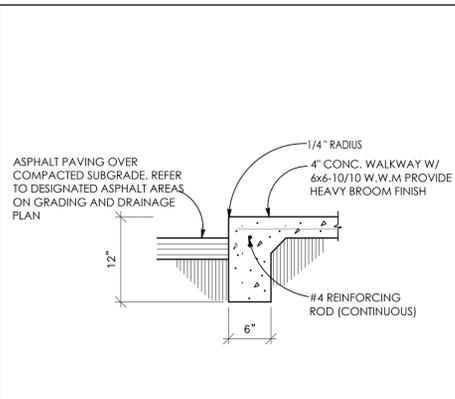
A3 ENCLOSURE CMU WALL DETAIL
3/4"=1'-0"



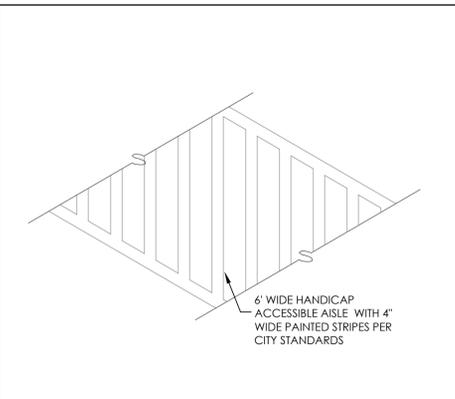
A4 BOLLARD DETAIL
3/4"=1'-0"



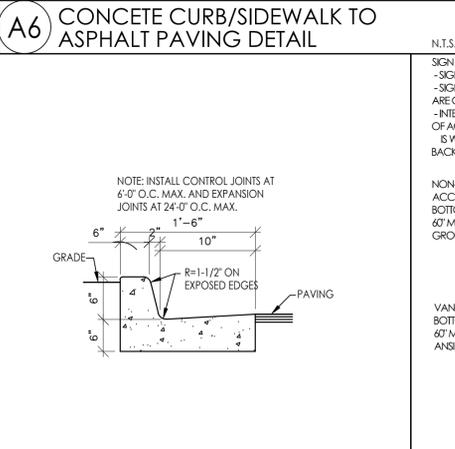
A5 TYPICAL SIDEWALK DETAIL
N.T.S.



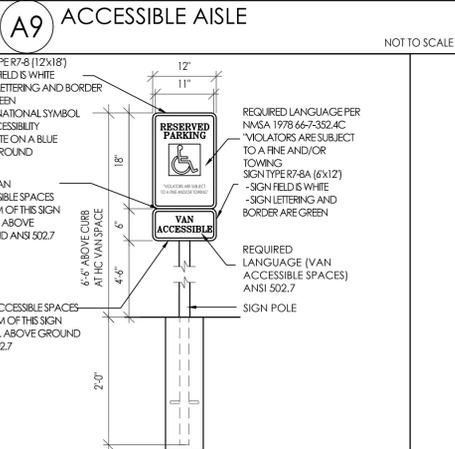
A6 CONCRETE CURB/SIDEWALK TO ASPHALT PAVING DETAIL
N.T.S.



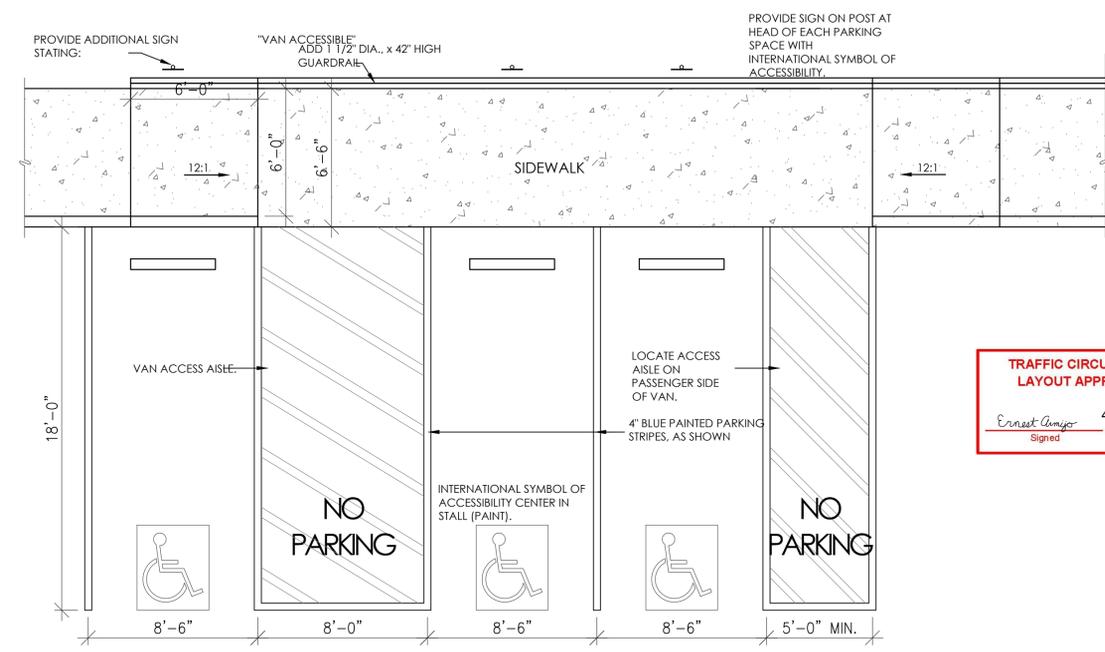
A9 ACCESSIBLE AISLE
NOT TO SCALE



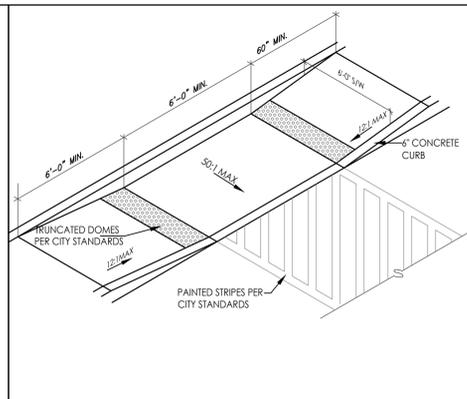
A7 CONCRETE CURB & GUTTER DETAIL
N.T.S.



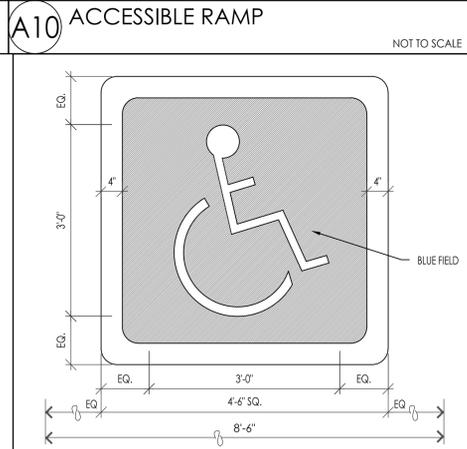
C1 HC PARKING SIGNAGE ELEVATIONS
3/4"=1'-0"



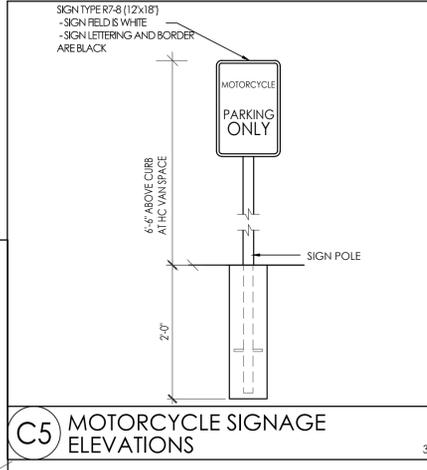
A8 HC PARKING STRIPING PLAN
1/4"=1'-0"



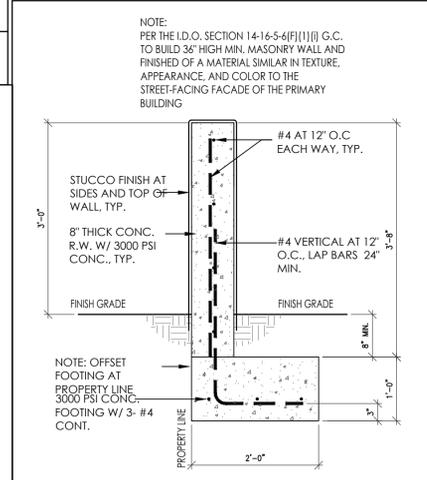
A10 ACCESSIBLE RAMP
NOT TO SCALE



C2 HC PARKING MARKING PLAN
3/4"=1'-0"



C5 MOTORCYCLE SIGNAGE ELEVATIONS
3/4"=1'-0"



C3 3'-0" HIGH SITE WALL SECTION
3/4"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Amigo
Signed Date 4/26/2024

CARMEL APARTMENTS
SITE PLAN DETAILS
7330 CARMEL AVE. NE.
ALBUQUERQUE, NM.
PROJECT #2179

REVISION DATE

STATE OF NEW MEXICO
REGISTERED ARCHITECT
RICHARD P. SIGNATURE
No. 1240
3/3/2022

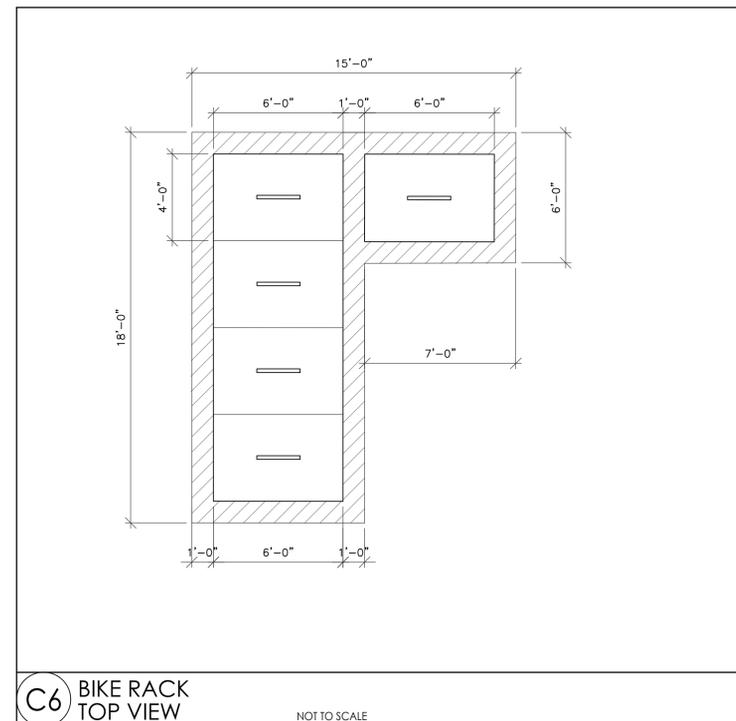
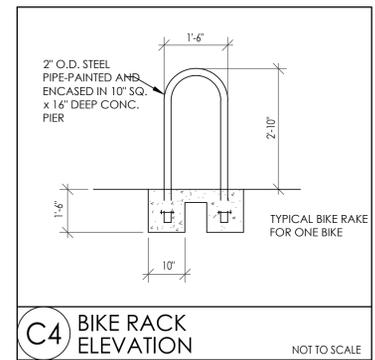
RBA ARCHITECTURE, PC
ARCHITECTURE
PLANNING
DESIGN
1000 UNIVERSITY BLVD. NE
ALBUQUERQUE, NM 87102
WWW.RBAARCH.COM

DATE
3/3/2022

SHEET NUMBER
AS-2.0

**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Ernest Amigo 4/26/2024
Signed Date



CARMEL APARTMENTS
SITE PLAN DETAILS
7330 CARMEL AVE. NE.
ALBUQUERQUE, NM.
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REVISION DATE
DATE 3/3/2022
SHEET NUMBER AS-2.1