CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

March 16, 2023

Joe Casares, PE JCII Group, llc 8105 Sand Springs Circle NW Albuquerque, NM 87114

Re: Precision Eye Center 7521 Alameda Blvd. NE Traffic Circulation Layout Engineer's Stamp 02-13-23 (C19-D070)

Dear Mr. Casares,

2.

3.

Based upon the information provided in your submittal received 03-16-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Per City standard Compact parking space should be minimum 15 ft. in length.

The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be

1. Identify all existing access easements and rights of way width dimensions.

PO Box 1293

Albuquerque

NM 87103

- 4. A 5 ft. keyway is required for dead-end parking aisles.
- 5. Please remove Plumbing details from Transportation details' sheet D-101.
 - 6. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.

www.cabq.gov

7. Provide a copy of Fire Marshal approval.

placed. (66-1-4.1. B NMSA 1978)

- 8. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
- 9. Please provide a letter of response for all comments given.
- 10. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).

Once corrections are complete resubmit

- 1. The Traffic Circulation Layout
- 2. A Drainage Transportation Information Sheet (DTIS)

CITY OF ALBUQUERQUE

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- 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
- 4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar Associate Engineer, Planning Dept. Development Review Services

PO Box 1293

\ma via: email C: CO Clerk, File

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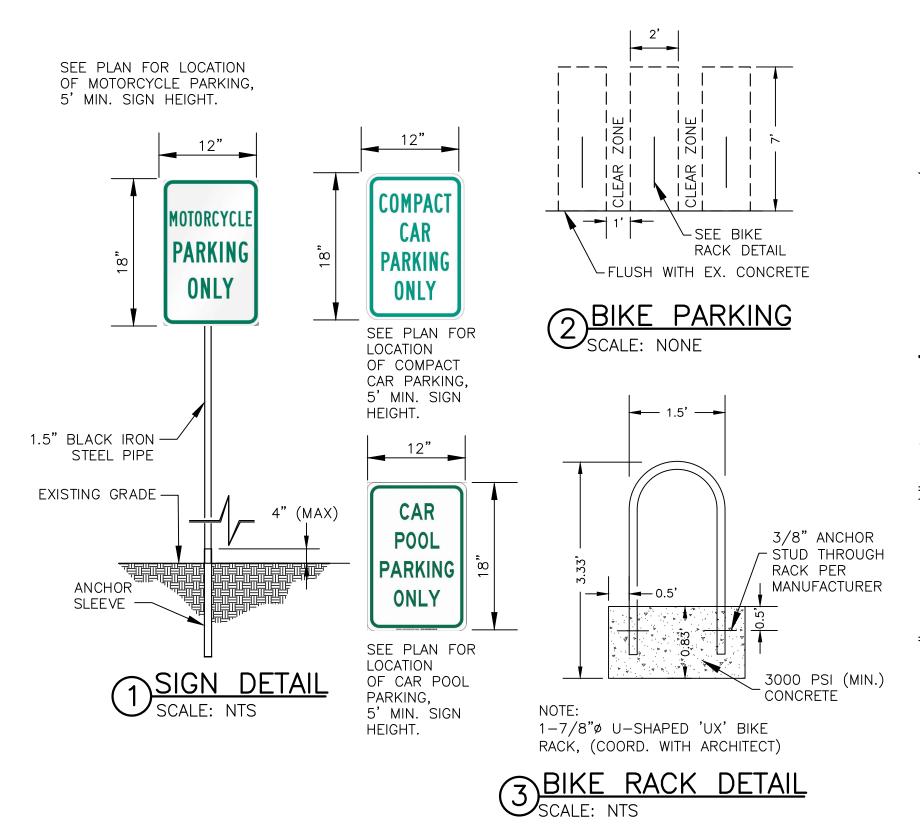
City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Precision Eye Center	Building Permit #:BP-2022-39517	Hydrology File #:
DRB#:	EPC#:	Work Order#:
Legal Description: Lot 19, Block 3, Tract 2,	Unit 3 North Abuquerque Acres; Section	<u>.18 T 11 N, R 4 E</u>
City Address: 7521 Alameda Blvd. NE, Albud	querque, NM 87113	
Applicant: JCII Group, LLC Address: 8105 Sand Springs Circle NW, Albu		
Phone#: (505) 264-6918		
Address: <u>8000 Paseo Del Norte NE</u>		
Phone#: (505) 291-1711	Fax#:n/a	E-mail: <u>robisgolfing@gmail.com</u>
TYPE OF SUBMITTAL: PLAT (# O IS THIS A RESUBMITTAL?:	Yes X No	
Check all that Apply:		
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN ORAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PERMIT ELEVATION CERTIFICATE CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TC) TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?	X BUILDING PL ON CERTIFICAT PRELIMINAE SITE PLAN F SITE PLAN F SITE PLAN F FINAL PLAT SIA/ RELEAS FOUNDATIO GRADING PE SO-19 APPRO DAVING PER CLOMR/LOM FLOODPLAI	SE OF FINANCIAL GUARANTEE ON PERMIT APPROVAL ERMIT APPROVAL OVAL MIT APPROVAL AD CERTIFICATION R APPROVAL
DATE SUBMITTED: 2/23/2023	By:By:	
COA STAFF:	ELECTRONIC SUBMITTAL RECEIVED:	
	FEE PAID:	

GENERAL NOTES

- 1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
- 2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- 3. ALL UTILITIES NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- 6. SCARIFY AREA UNDER NEW CONCRETE AND PAVEMENT BASECOURSE TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
- 7. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- 8. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- 9. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
- 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
- 11. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
- 12. OWNER IS RESPONSIBLE FOR GEOTCHNICAL EVALUATION REPORT PREFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
- 13. WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
- 14. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
- 15. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
- 16. THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
- 17. SITE SURVEY IS PROVIDED BY THE OWNER AND EXISTING INFORMATION SHOWN HAS BEEN VERIFIED IN THE FIELD. COORDINATE WITH THE OWNER/CONTRACTOR FOR SURVEY DATA FILES.
- 18. PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
- 19. EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA: OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
- 20. ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES MAY EXIST IN THE AREA OTHER THAN WHAT IS SHOWN. NEW MEXICO ONE-CALL SHALL BE CONTACTED ALONG WITH UTILITY OWNERS PRIOR TO ANY DISTURBANCE OF EXISTING GRADE.



LEGEND

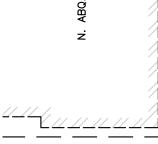
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EX. BUILDING

EX. BLOCK WALL

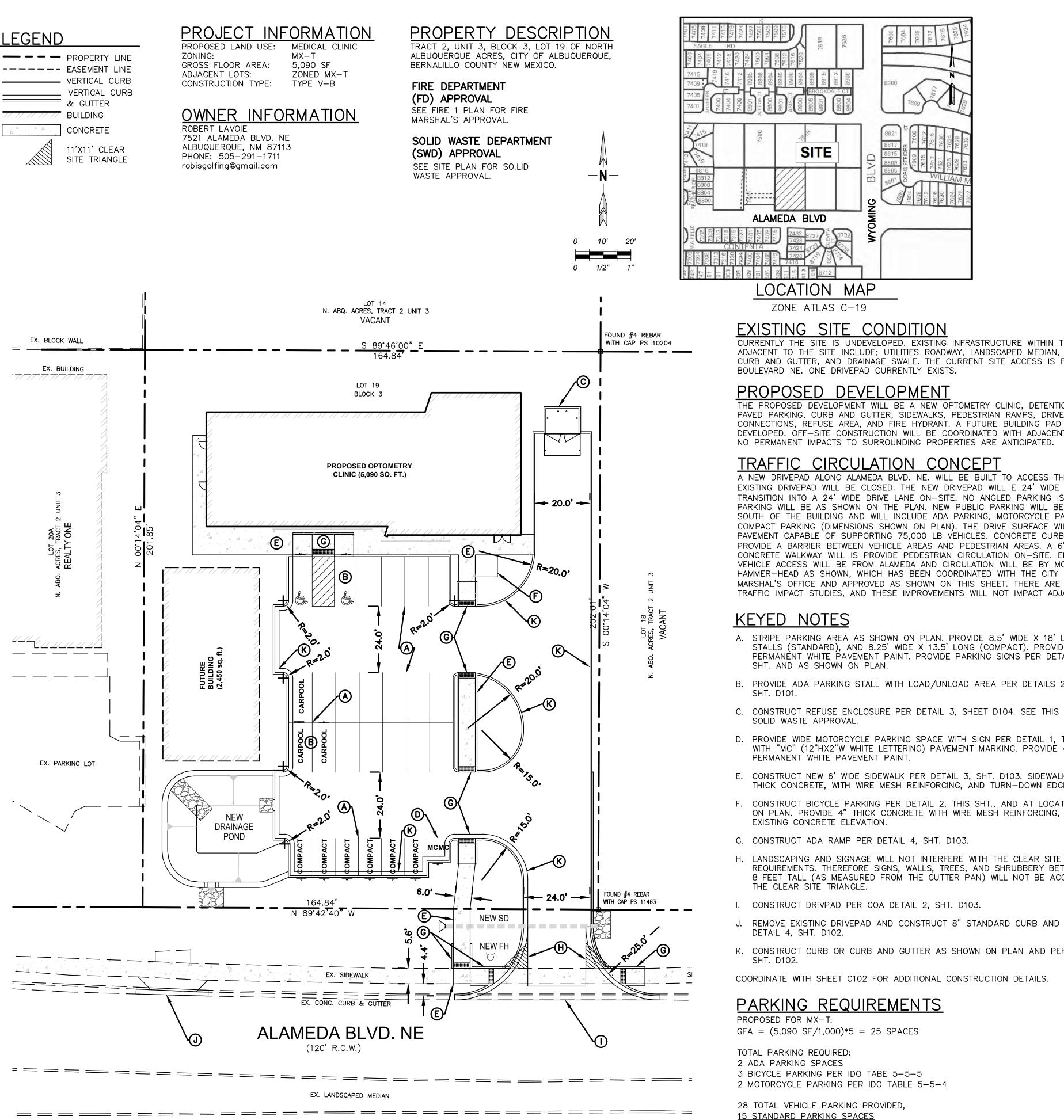
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<u>3 CARPOOL SPACES</u>

CURRENTLY THE SITE IS UNDEVELOPED. EXISTING INFRASTRUCTURE WITHIN THE ROW ADJACENT TO THE SITE INCLUDE; UTILITIES ROADWAY, LANDSCAPED MEDIAN, SIDEWALK, CURB AND GUTTER, AND DRAINAGE SWALE. THE CURRENT SITE ACCESS IS FROM ALAMEDA

THE PROPOSED DEVELOPMENT WILL BE A NEW OPTOMETRY CLINIC, DETENTION POND, PAVED PARKING, CURB AND GUTTER, SIDEWALKS, PEDESTRIAN RAMPS, DRIVEPAD, UTILITY CONNECTIONS, REFUSE AREA, AND FIRE HYDRANT. A FUTURE BUILDING PAD WILL ALSO BE DEVELOPED. OFF-SITE CONSTRUCTION WILL BE COORDINATED WITH ADJACENT PROPERTIES. NO PERMANENT IMPACTS TO SURROUNDING PROPERTIES ARE ANTICIPATED.

A NEW DRIVEPAD ALONG ALAMEDA BLVD. NE. WILL BE BUILT TO ACCESS THE SITE. HE EXISTING DRIVEPAD WILL BE CLOSED. THE NEW DRIVEPAD WILL E 24' WIDE AND WILL TRANSITION INTO A 24' WIDE DRIVE LANE ON-SITE. NO ANGLED PARKING IS PROPOSED. PARKING WILL BE AS SHOWN ON THE PLAN. NEW PUBLIC PARKING WILL BE PROVIDED SOUTH OF THE BUILDING AND WILL INCLUDE ADA PARKING, MOTORCYCLE PARKING AND COMPACT PARKING (DIMENSIONS SHOWN ON PLAN). THE DRIVE SURFACE WILL BE PAVEMENT CAPABLE OF SUPPORTING 75,000 LB VEHICLES. CONCRETE CURBING WILL PROVIDE A BARRIER BETWEEN VEHICLE AREAS AND PEDESTRIAN AREAS. A 6' WIDE CONCRETE WALKWAY WILL IS PROVIDE PEDESTRIAN CIRCULATION ON-SITE. EMERGENCY VEHICLE ACCESS WILL BE FROM ALAMEDA AND CIRCULATION WILL BE BY MODIFIED HAMMER-HEAD AS SHOWN, WHICH HAS BEEN COORDINATED WITH THE CITY FIRE MARSHAL'S OFFICE AND APPROVED AS SHOWN ON THIS SHEET. THERE ARE NO KNOWN TRAFFIC IMPACT STUDIES, AND THESE IMPROVEMENTS WILL NOT IMPACT ADJACENT LOTS.

A. STRIPE PARKING AREA AS SHOWN ON PLAN. PROVIDE 8.5' WIDE X 18' LONG PARKING STALLS (STANDARD), AND 8.25' WIDE X 13.5' LONG (COMPACT). PROVIDE 4" THICK PERMANÈNT WHITE PAVEMENT PAINT. PROVIDE PARKING SIGNS PER DETAIL 1, THIS

B. PROVIDE ADA PARKING STALL WITH LOAD/UNLOAD AREA PER DETAILS 2, 3, AND 4,

C. CONSTRUCT REFUSE ENCLOSURE PER DETAIL 3, SHEET D104. SEE THIS SHEET FOR

D. PROVIDE WIDE MOTORCYCLE PARKING SPACE WITH SIGN PER DETAIL 1, THIS SHT. AND WITH "MC" (12"HX2"W WHITE LETTERING) PAVEMENT MARKING. PROVIDE 4" WIDE

E. CONSTRUCT NEW 6' WIDE SIDEWALK PER DETAIL 3, SHT. D103. SIDEWALK TO BE 4" THICK CONCRETE, WITH WIRE MESH REINFORCING, AND TURN-DOWN EDGE.

F. CONSTRUCT BICYCLE PARKING PER DETAIL 2, THIS SHT., AND AT LOCATION SHOWN ON PLAN. PROVIDE 4" THICK CONCRETE WITH WIRE MESH REINFORCING, MATCH

REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN

J. REMOVE EXISTING DRIVEPAD AND CONSTRUCT 8" STANDARD CURB AND GUTTER PER

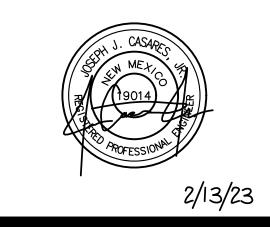
K. CONSTRUCT CURB OR CURB AND GUTTER AS SHOWN ON PLAN AND PER DETAIL 4,

COORDINATE WITH SHEET C102 FOR ADDITIONAL CONSTRUCTION DETAILS.

2 MOTORCYCLE SPACE 2 ADA PARKIUNG SPACES 6 COMPACT SPACES



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Project:

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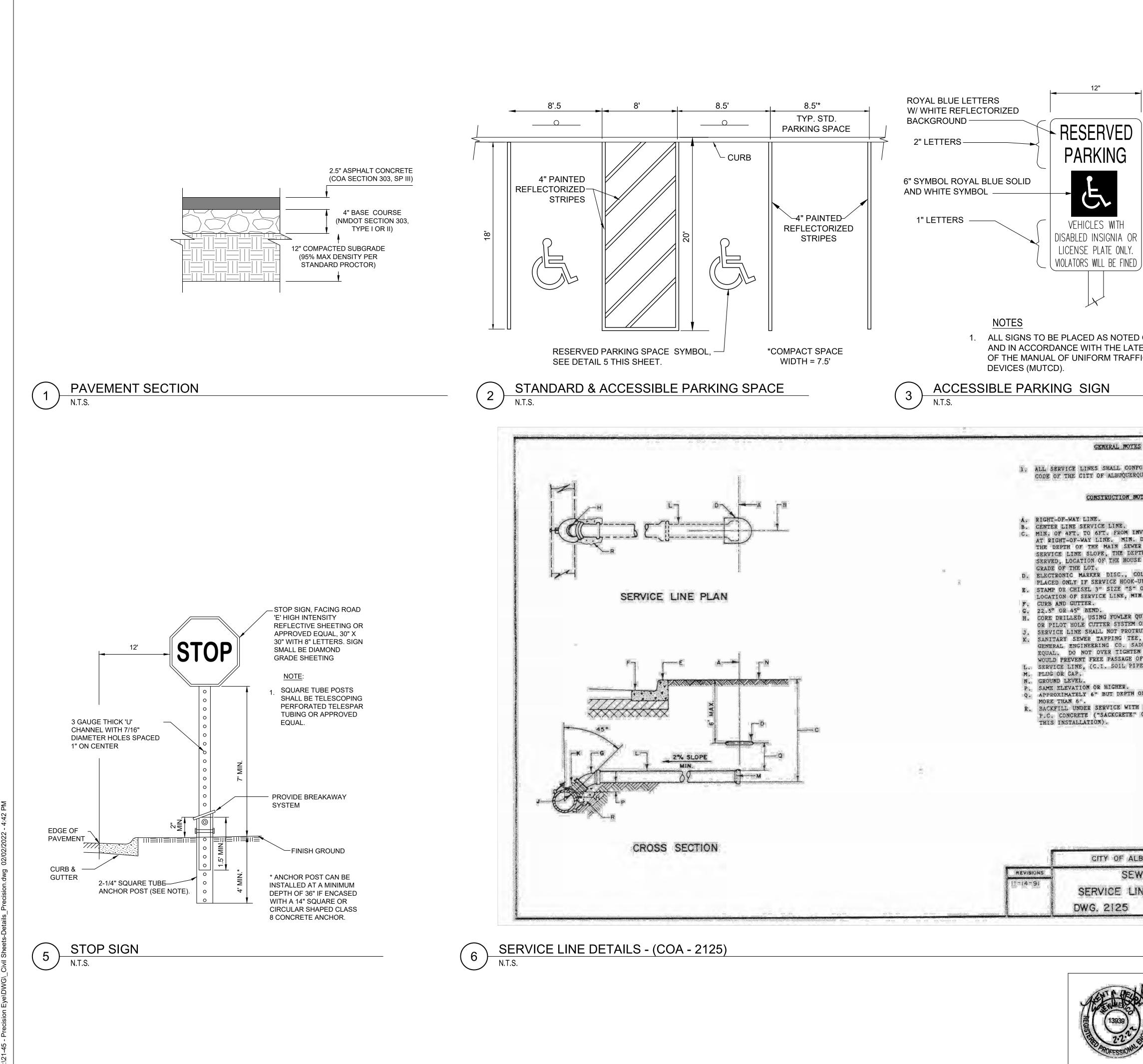
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Revised Da 2-13-2023

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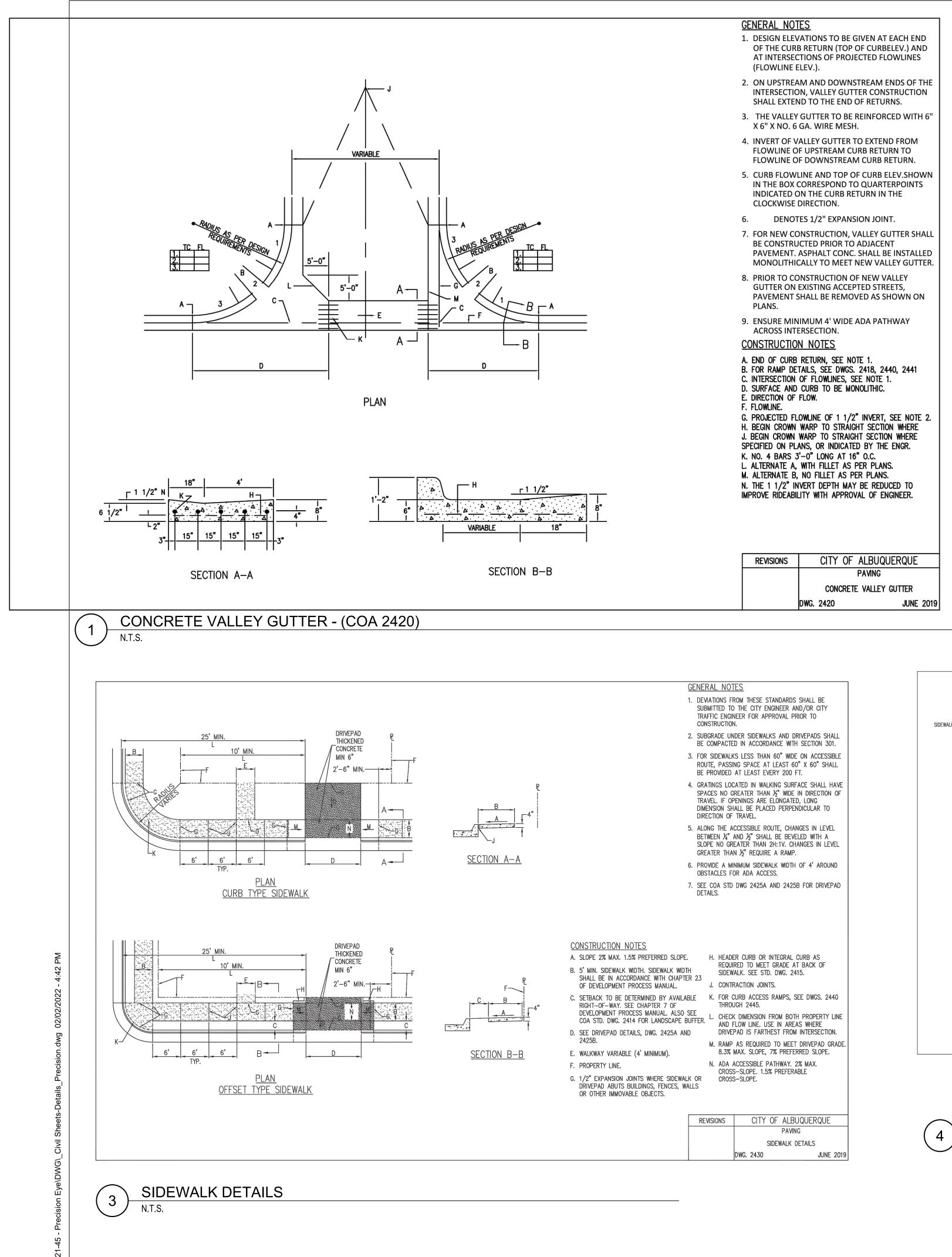


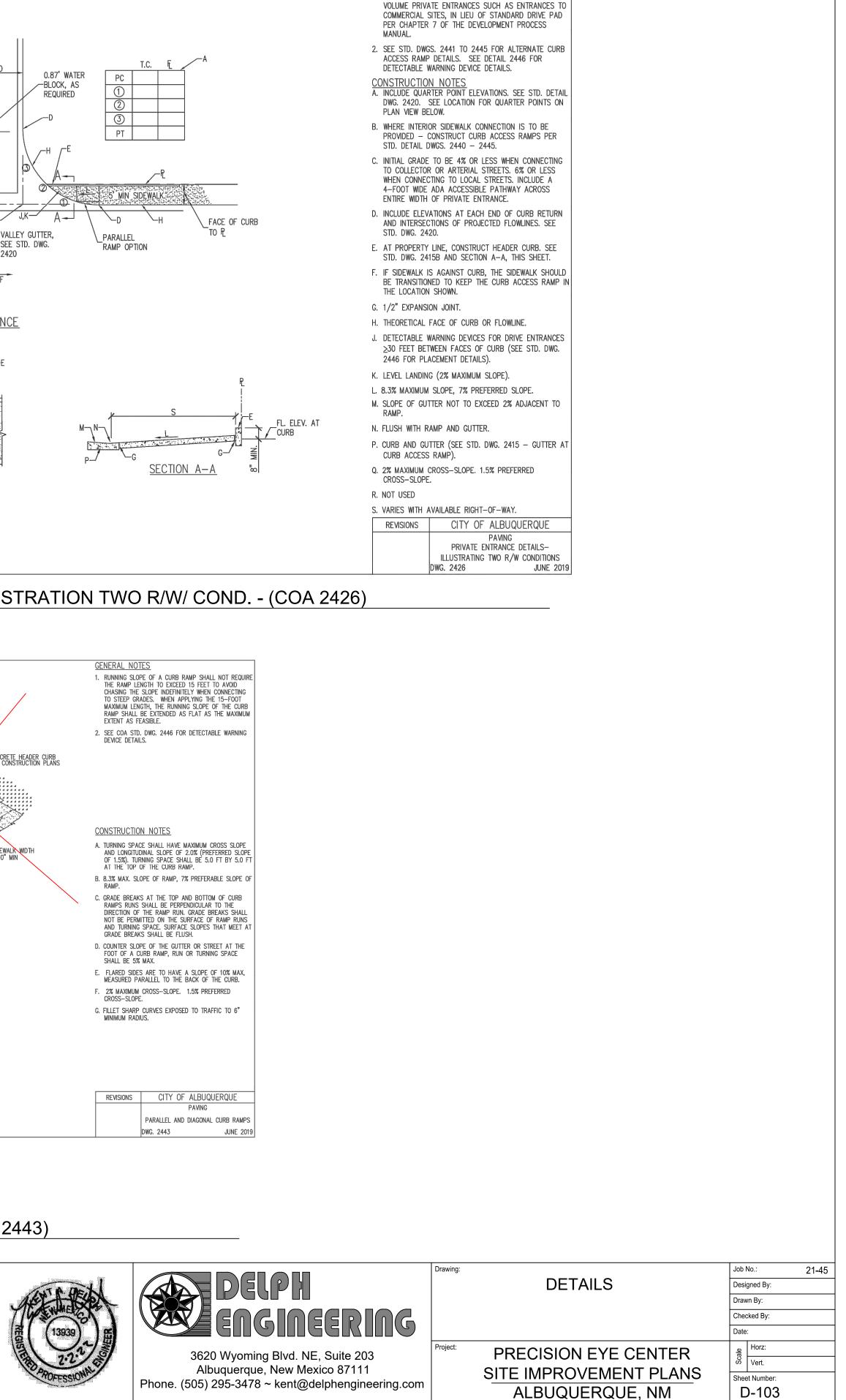
20" 20" UNPLANS DON PLANS TEST EDITION FIC CONTROL		3'-9" 4" TYP 4" TYP WHITE TRAF ON ASPHAL	
\frown			
(4)	RESERVED PARKIN	G SPACE SYMBUL	
S NORM TO THE FLUMBING UUE. OTKS AVERT TO TOP OF CUEB DEPTH WILL DEPEND ON R LINE, THE MIN. TH OF THE LOT BEING E ON THE LOT, AND THE OLOR CODED CREEN, UP IS POSTPONED. ON TOP OF CUEB OVER N. 1/A* DEEP. UVIK-WAY DEILL SYSTEM. OR APPROVED EQUAL. RUDE INTO SEWER MAIN. , USING PIONEER OR DDLES OR APPROVED PLOY OF BURIAL SHALL NOT BE A SADDLE BOLTS WHICH OF BURIAL SHALL NOT BE A MIN. 1 CUBIC FOOT OF OF EQUAL ALLOWABLE			
BUQUERQUE NER NE DETAILS Aug. 1986			
DELPH Engin		DETAILS	Job No.: 21-45 Designed By: Drawn By: Checked By: Date:
3620 Wyoming Blvd. I Albuquerque, New M	NE, Suite 203	PRECISION EYE CENTER	S Vert.

ALBUQUERQUE, NM

D-101

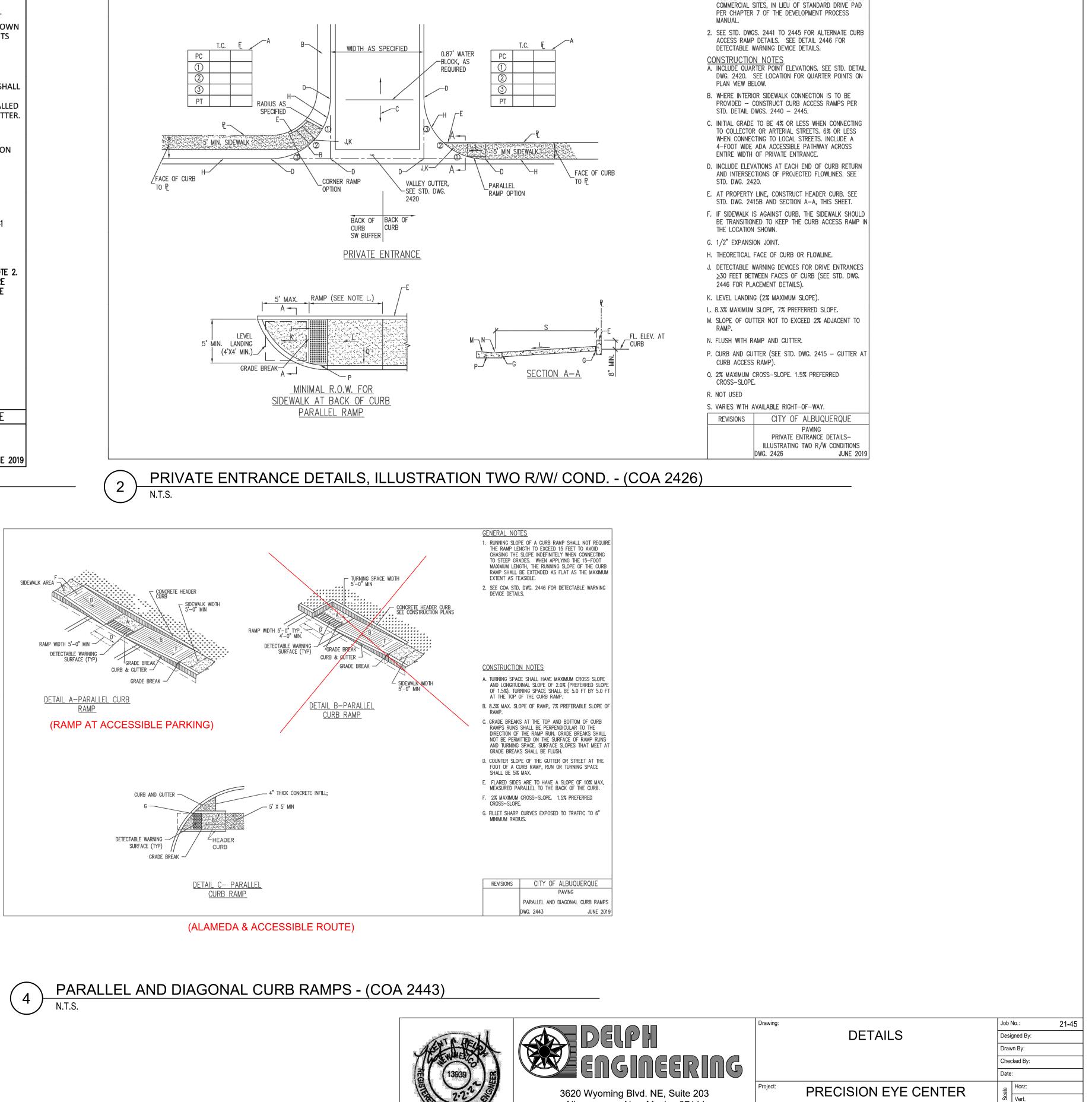
Phone. (505) 295-3478 ~ kent@delphengineering.com

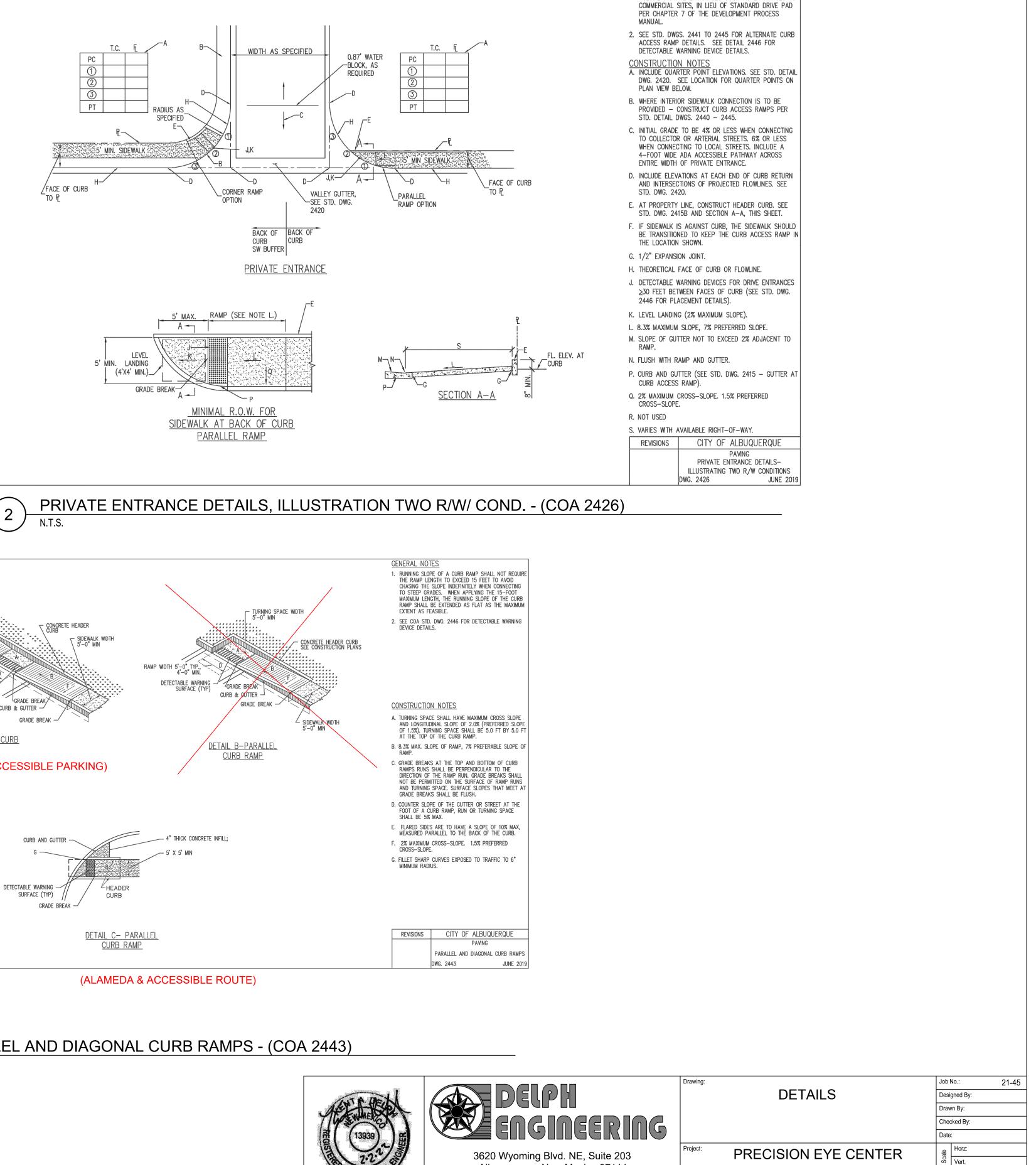


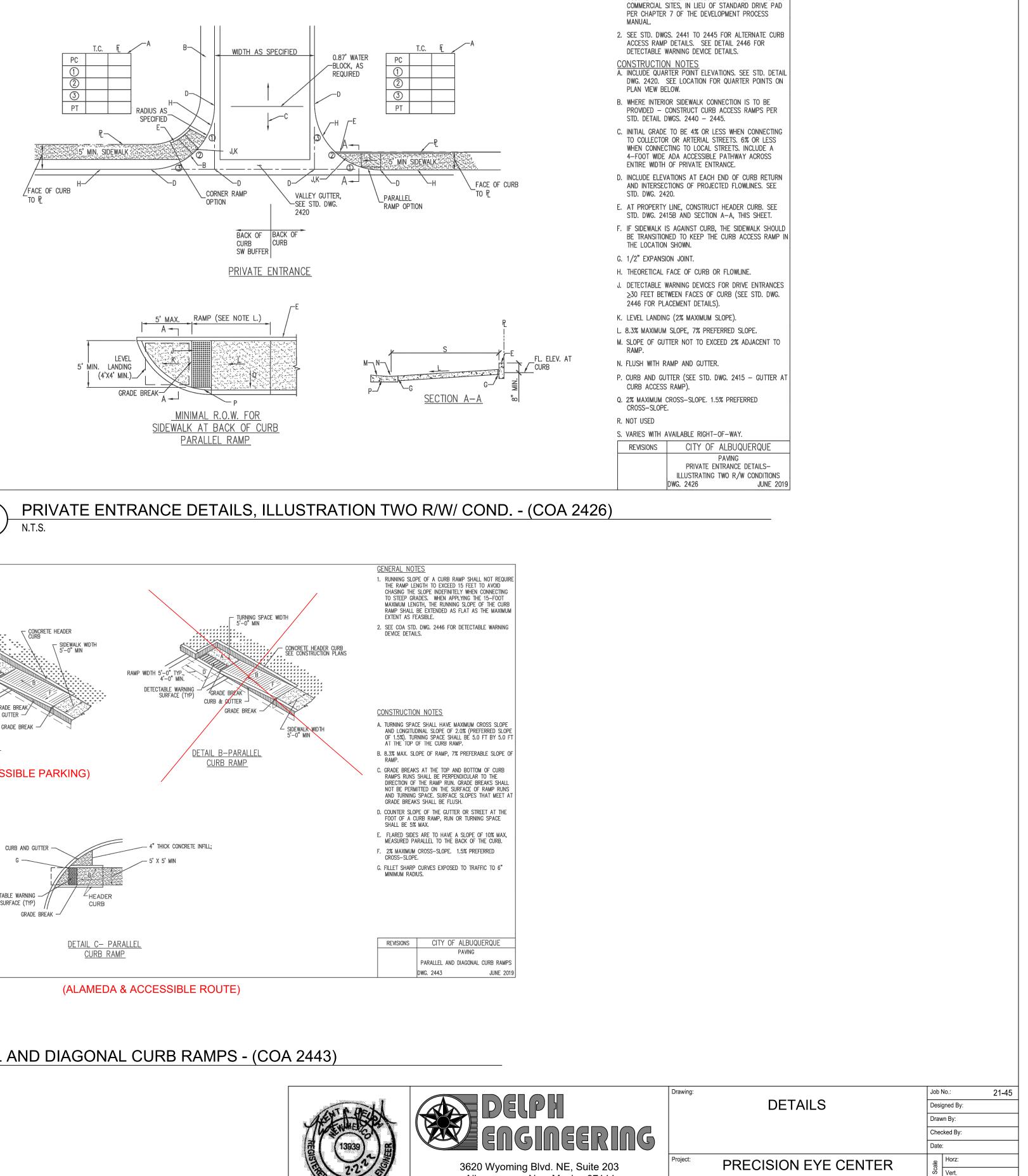


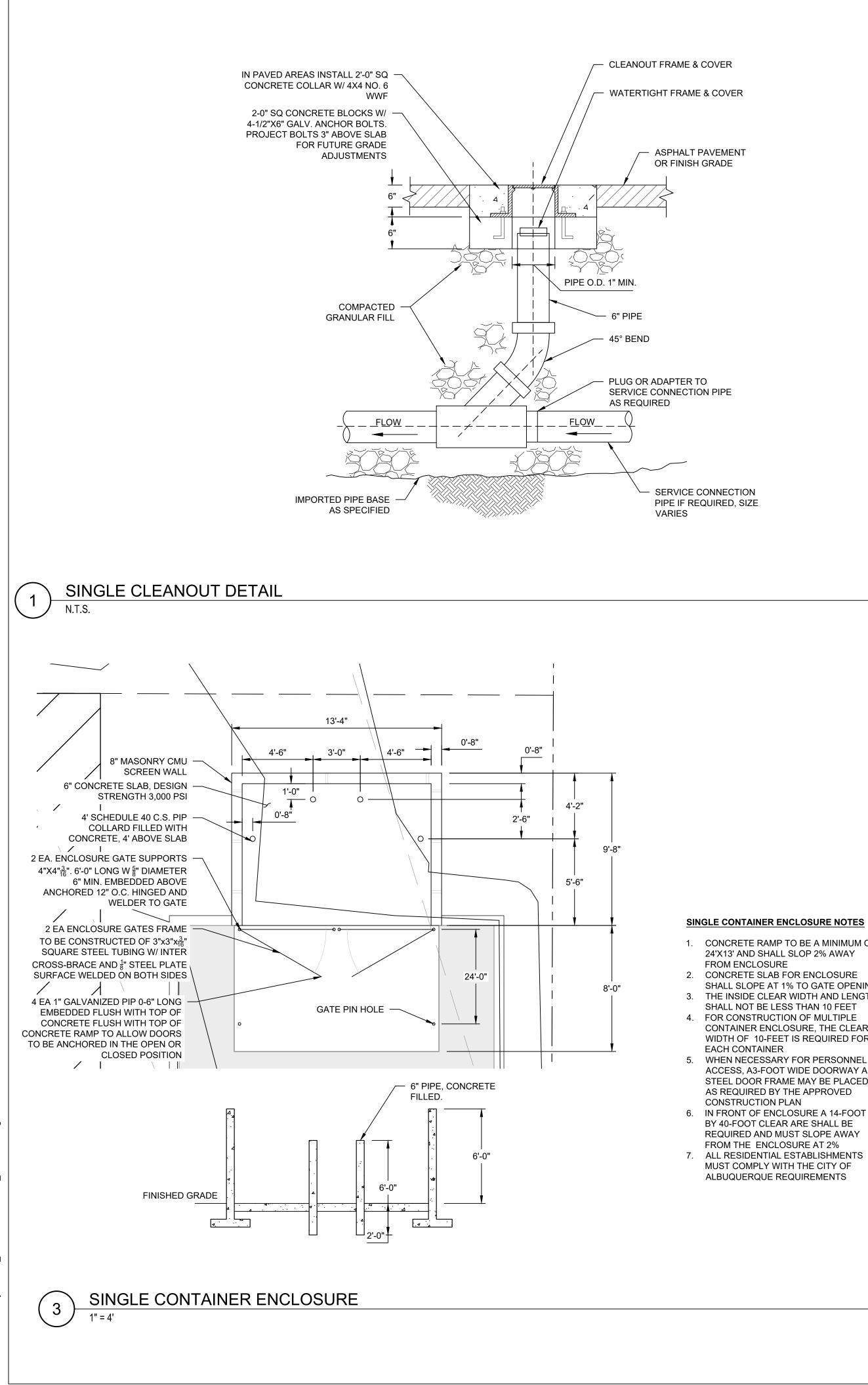
GENERAL NOTES 1. THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC

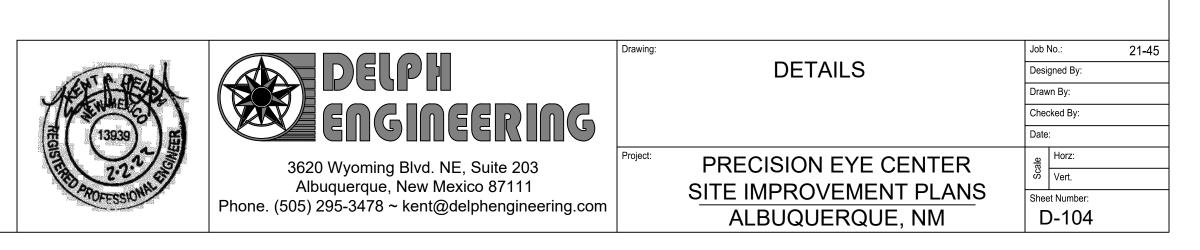












CONTAINER ENCLOSURE, THE CLEAR WIDTH OF 10-FEET IS REQUIRED FOR EACH CONTAINER 5. WHEN NECESSARY FOR PERSONNEL ACCESS, A3-FOOT WIDE DOORWAY AND STEEL DOOR FRAME MAY BE PLACED

24'X13' AND SHALL SLOP 2% AWAY FROM ENCLOSURE 2. CONCRETE SLAB FOR ENCLOSURE SHALL SLOPE AT 1% TO GATE OPENING 3. THE INSIDE CLEAR WIDTH AND LENGTH SHALL NOT BE LESS THAN 10 FEET 4. FOR CONSTRUCTION OF MULTIPLE

SINGLE CONTAINER ENCLOSURE NOTES 1. CONCRETE RAMP TO BE A MINIMUM OF

DOUBLE CLEANOUT DETAIL 2 N.T.S.

SPAN

PLAN

Co 0 0 0 0 0 0 0

. .

12" MAX SPA

CENTER TO CENTER

ELEVATION

206-04-1/3 THRU 206-04-3/3.

NOTE: SIZES EQUIVALENT TO THE ABOVE, USING 3" * 1" CORRUGATIONS, MAY BE USED PROVIDING THAT THEY MEET THE SIZES SHOWN UNDER TABLE 6 OF SERIAL

TYPE 2

FOR 17" x 13"

THRU 57" x 18"

GENERAL NOTES

1 FOR MULTIPLE INSTALLATION OF ALL TYPES, A

MIN. OF A 2"-0" SPACING MEASURED ALONG THE HORIZONTAL BETWEEN FLARED END SECTION

WELDING WILL NOT BE PERMITTED IN CONNECTING END SECTIONS TO CONNECTOR SECTIONS OR CONNECTOR SECTIONS TO PIPE.

AT THEIR WIDEST CROSS SECTION SHALL BE USED.

3. TYPE 1 AND TYPE 2 MAY BE USED WITH WELDED SEAM OR LOCKSEAM CONNECTIONS HELICALLY CORRUGATED PIPE WITH REPOLLED ENDS. REPOLLED ENDS SHALL INCLUDE A MINIMUM OF TWO ANNULAR CORRUGATIONS OF THE SAME SIZE AS THE PIPE CORRUGATIONS.

10

- 81

THREADED

Sheet 570-02

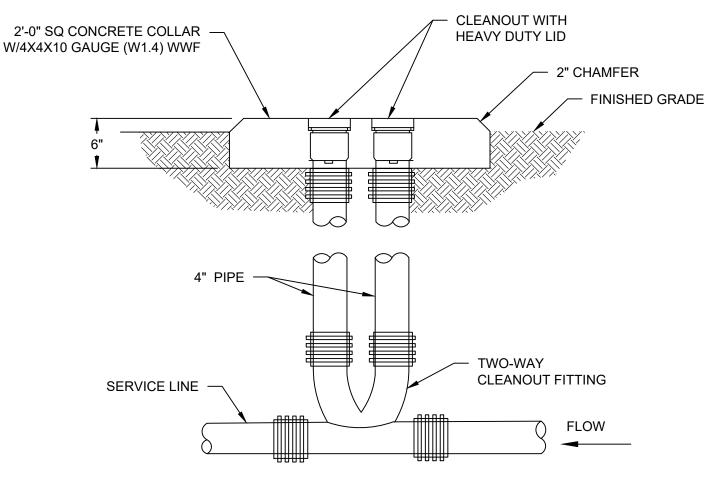
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4

- REINFORCED

- + TOE PLATE

HOLDER



PIPE ARCH

DIMENSIONS

SPAN (IN.) RISE 17 13

21

28

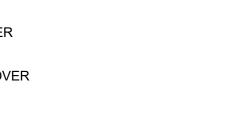
13 16

15

NOTE:

STANDARD CONNECTION

16



CULVERT PIPE END SECTIONS - (NMDOT 570-02-1/2)
--

DIMENSIONS

9 6 19 30

6 23

7" FOR PIPE TO 37" 12" FOR PIPE OVER 37

W

PLAN

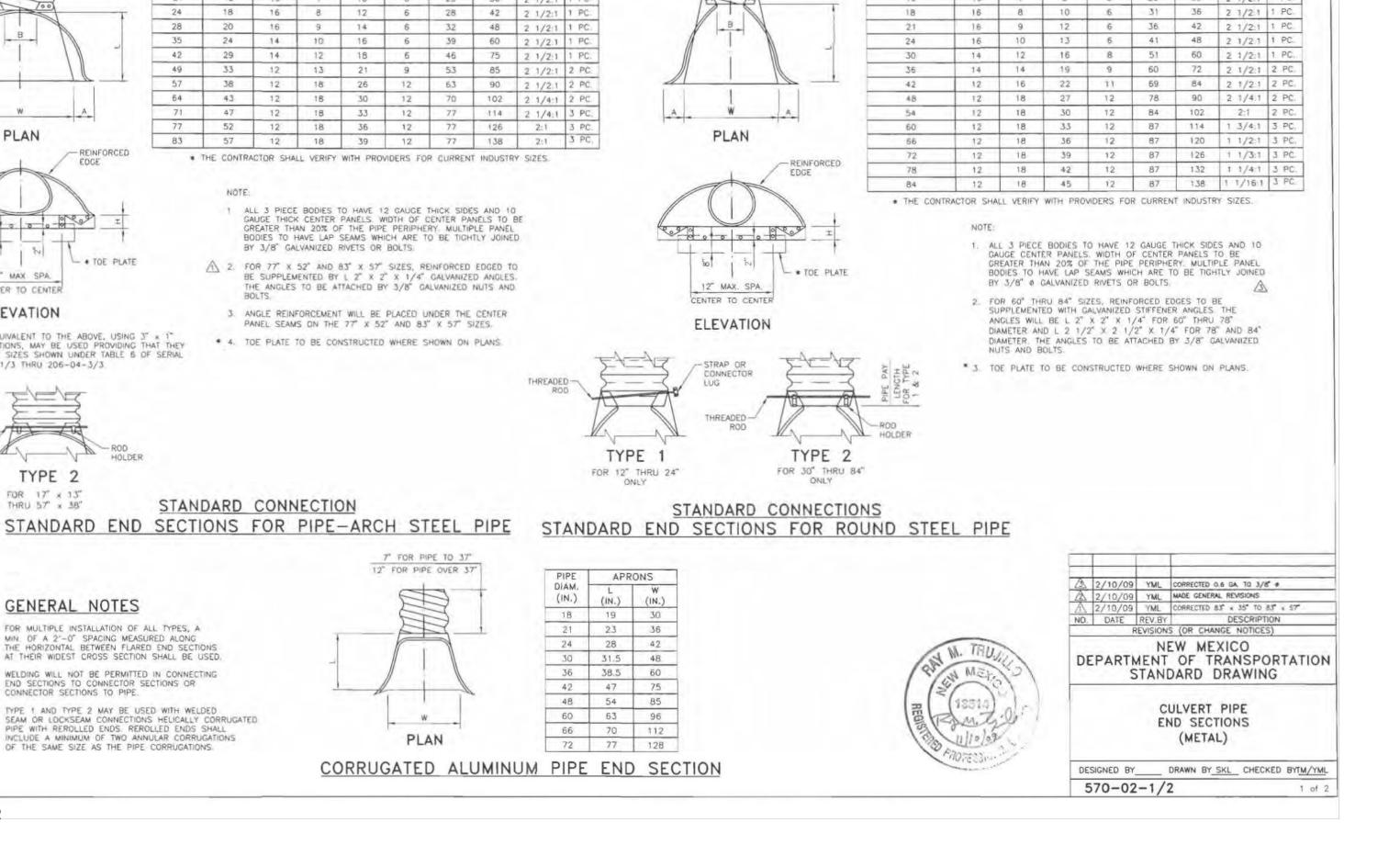
20 A (IN.) B (IN.) H (IN.) L (IN.) W (IN.)

10

7

7

 $(\pm 1^{\circ})$ (MAX.) $(\pm 1^{\circ})$ $(\pm 1^{\prime}_{2})$ $(\pm 2^{\circ})$



ROUND PIPE

DIMENSIONS

PIPE DIA. (IN

15

16

16

DIMENSIONS

A (IN.) B (IN.) H (IN.) L (IN.) W (IN.) (±1") (MAX.) (±1") (±1%") (±2")

6 6 6 21 24

7 8 6 26 30 2 1/2:1