

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 7, 2025

Joseph Casares, Jr., P.E.
JCII Group
8105 Sand Springs Cir NW
Albuquerque, NM 87114

**RE: Precision Eye Center
7521 Alameda Blvd. NE
Permanent C.O. - Accepted
Engineer's Stamp Date: 10/16/2024
Engineer's Drainage Certification Date: 04/21/2025
Hydrology File: C19D070
ABQ-PLAN: HYDR-2025-00144**

PO Box 1293 Dear Mr. Casares:

Albuquerque Based on the Certification received 04/24/2025 and a site visit on 05/07/2025, this letter serves as the Approval from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

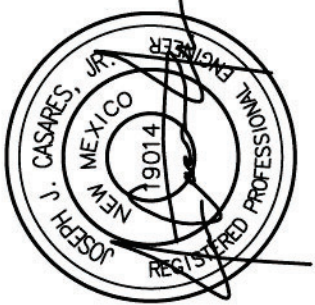
NM 87103 1. Please provide a copy of the updated executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov If you have any questions, please contact me at 924-3362 or richardmartinez@cabq.gov.

Sincerely,

Richard Martinez, P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

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Project:

10/16/24

PRECISION EYE CENTER

7521 Alameda Blvd. NE

Albuquerque, New Mexico

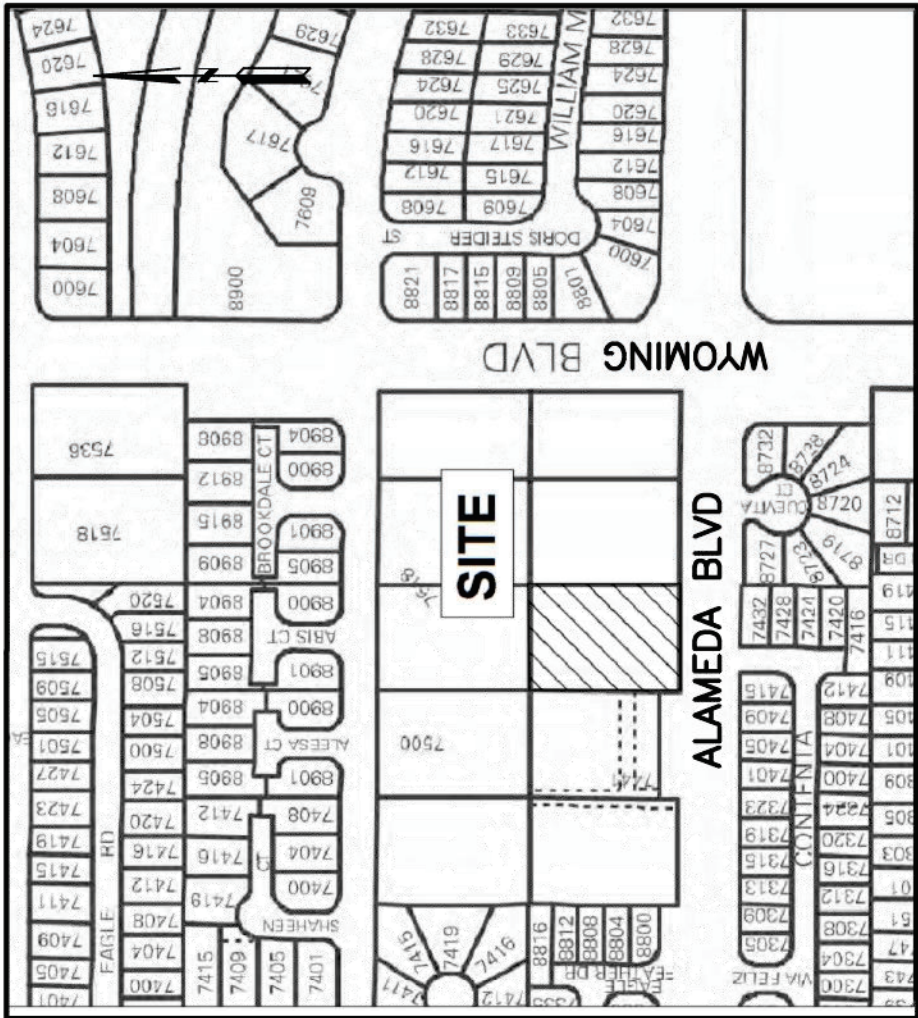
Register:	123.679	10 Renewal Date:	2-13-2023
Exempt for:	AND	State Renewal Date:	4-19-2023
Title:	AS SHOWN	Set Renewal Date:	
Discipline:	JC	Set Renewal Date:	

Sheet:

GRADING AND DRAINAGE PLAN

Number:

C100



3500TC0141G, 9/26/2008

KEYED NOTES

- GRADE AREA PER ELEVATION CALLOUTS SHOWN. 3H:1V MAX. SLOPE ANYWHERE ON SITE. ELEVATIONS SHOWN ARE AT TOP OF FINISHED LANDSCAPE, CONCRETE, AND ROCK SURFACES. AT 3H:1V SLOPE OR STEEPER STABILIZE WITH RIPRAP 6" (OSD).
- CONSTRUCT ASPHALT CONCRETE PAVEMENT PER ELEVATIONS SHOWN AND PER DETAIL 1, SHEET C101. COORDINATE DIMENSIONS AND NOTES WITH TRAFFIC CIRCULATION LAYOUT.
- CONSTRUCT 2" DEEP (MAX.) DETENTION BASIN PER CONTOUR ELEVATIONS SHOWN. PROVIDE 840 CF MIN. OF VOLUME. TOP OF BANK TO BE AT EL.=5376.1. PROVIDE 5.33" WEIR AT EL.=5376.0.
- CONSTRUCT 3" WIDE CURB CUT WITH CURB TRANSITIONS, SEE DETAIL 2 SHEET C101 FOR CURB. PROVIDE 6" (OSD) RIPRAP FROM BACK OF CURB TO INLET.
- GRADE AREA TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES AT 2% MIN. FOR APPROXIMATELY 5 FEET.
- CONSTRUCT 1" DEEP DRAINAGE SWALE PER CONTOUR ELEVATIONS SHOWN. PROVIDE UNOBSTRUCTED DRAINAGE PATH TO DETENTION BASIN.
- CONSTRUCT EARTH BERM (2' WIDE) WITH 3H:1V MAX. SLOPES. DRAIN TOWARDS DETENTION BASIN AT S=0.75%. TOP OF BERM TO BE EL.=5376.1 MIN.
- ROOF TO DRAIN ONTO RIPRAP (OSD) SPLASH PADS, OR EQUAL.
- CONSTRUCT SIDEWALK CULVERT PER DETAIL 3, SHEET C101.
- CONSTRUCT HEADER CURB PER DETAIL 4, SHEET C101. COORDINATE DIMENSIONS AND NOTES WITH TRAFFIC CIRCULATION LAYOUT.
- CONSTRUCT 3" MAX. HIGH RETAINING WALL PER DETAIL 5, SHEET C101. PROVIDE WATERPROOF COATING ALONG RETENTION BASIN.
- INSTALL 3/4" GRAVEL AT 2" THICK OVER WEED BARRIER, OR FINISH PER OWNER.
- SEE TRAFFIC CIRCULATION LAYOUT, SHEET C103, FOR ADDITIONAL INFORMATION.
- INSTALL 2' WIDE SIDEWALK CULVERT PER COA DETAIL 2236. PROVIDE RIPRAP DRAINAGE SWALE FROM WEIR TO CULVERT. SWALE: 7" DEEP, S=0.7% MIN., 2' BOTTOM WIDTH, 1H:1V SIDE SLOPES.

SO-19 PRIVATE DRAINAGE FACILITIES WITHIN ROW

NOTICE TO CONTRACTOR

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

PROPERTY DESCRIPTION

TRACT 2, UNIT 3, BLOCK 3, LOT 19 OF NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO.

BENCHMARK

COA STATION 7 C19
3.25" ALUMINUM CAP
G-G FACTOR 0.998650745
X=1550417.14
Y=1522068.52
Z=5485.723

TEMPORARY BENCHMARK

FOUR INCH REBAR
SOUTHEAST LOT CORNER
ELEV.=5378.48

PROJECT INFORMATION

PROPOSED LAND USE: MEDICAL CLINIC
ZONING: MX-T
GROSS FLOOR AREA: 5,090 SF
ADJACENT LOTS: ZONED MX-T
CONSTRUCTION TYPE: TYPE V-B

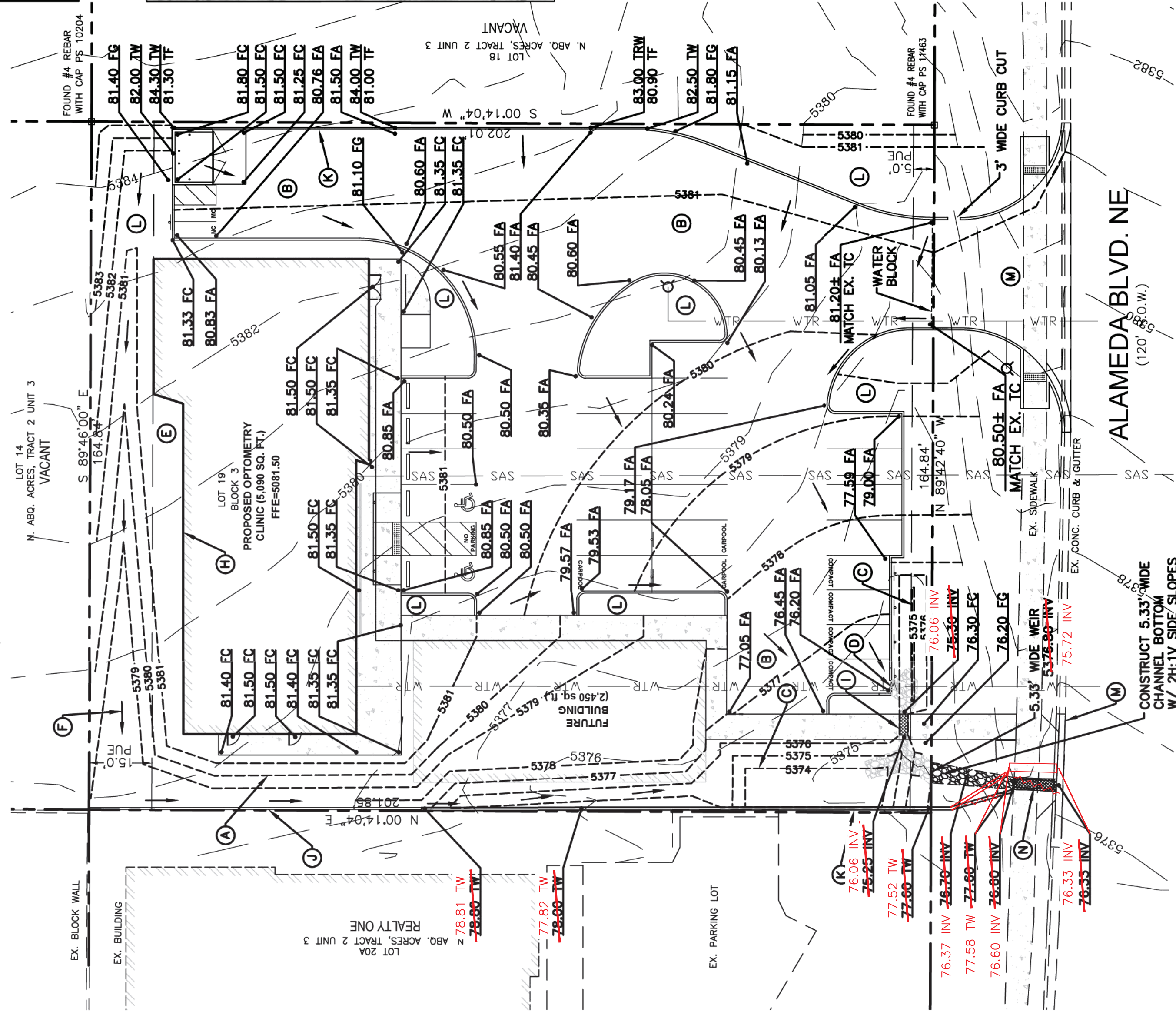
OWNER INFORMATION

DR. ROBERT LAVOIE
7521 ALAMEDA BLVD. NE
ALBUQUERQUE, NM 87113
PHONE: 505-291-1711
rodlavoging@gmail.com

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- HEADER CURB
- VERTICAL CURB
- GUTTER
- BUILDING
- CONCRETE
- SANITARY SEWER LINE
- POTABLE WATER LINE
- FIBER/COMM. LINE
- DRAINAGE DIRECTION
- PROPOSED ELEVATION
- FC = TOP OF FINISHED GRADE
- FA = TOP OF FINISHED ASPHALT
- INV = CULVERT/SWALE INVERT (FLOW LINE)

60.2 FC



DRAINAGE CERTIFICATION

I, JOSEPH CASARES, NMPE 19014 OF THE FIRM JCG GROUP, LLC, CERTIFY THAT THIS PROJECT WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/16/24. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED UNDER THE DIRECTION OF BRIAN MARTINEZ, NMPS 18374 OF THE FIRM CSC-CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DATE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT RELEASE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JOSEPH J. CASARES, JR.
NEW MEXICO
19014
REGISTERED PROFESSIONAL ENGINEER
DATE: 10/21/2023



APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE 180 DAYS AFTER THE DATE OF THE DEVELOPMENT REVIEW. IF THE PROJECT IS NOT COMPLETED WITHIN 180 DAYS, THE PLANS SHALL BE RE-APPROVED BY THE CITY OF ALBUQUERQUE.

GENERAL NOTES

- PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- ALL UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- SCAFFRY AREA UNDER NEW CONCRETE AND PAVEMENT BASECOURSE TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
- OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLLAPSE/EXPANSIVE SOILS IDENTIFICATION, AND SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT WITH THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS. IF COLLAPSE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
- WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
- ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
- THIS IS NOT A BOUNDARY SURVEY OR ALTA. PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
- SITE SURVEY IS PROVIDED BY THE OWNER AND EXISTING INFORMATION SHOWN HAS BEEN VERIFIED IN THE FIELD. COORDINATE WITH THE OWNER/CONTRACTOR FOR SURVEY DATA FILES.
- PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
- EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA; OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
- ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES MAY EXIST IN THE AREA OTHER THAN WHAT IS SHOWN. NEW MEXICO ONE-CALL SHALL BE CONTACTED ALONG WITH UTILITY OWNERS PRIOR TO ANY DISTURBANCE OF EXISTING GRADE.

DRAINAGE ANALYSIS

THE COA PROCEDURE FOR 40 ACRES AND SMALLER (DPM CHAPTER 6) IS USED FOR ANALYSIS. THESE CALCULATIONS ANALYZE THE HYDROLOGY FOR THE PROPOSED DEVELOPED CONDITIONS UPON A 100 YEAR RAINFALL EVENT. RESULTS OF THE HYDROLOGY AND HYDRAULIC CALCULATIONS ARE PRESENTED BELOW.

PROJECT IS WITH NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN BY RESOURCE TECHNOLOGY, INC. OCTOBER 1998 WHICH THIS SITE HAS AN ALLOWABLE DISCHARGE RATE OF 3.60 CFS/AC.

HYDROLOGY ANALYSIS

SITE CHARACTERISTICS:

PRECIPITATION ZONE = 3 (PER DPM CH. 6)

EXISTING ESTIMATED RUN OFF:

TOTAL SITE AREA = 0.764 AC.

PEAK DISCHARGE (TABLE 6.2.14)

ZONE 3, TREATMENT B = 2.49 CFS/AC

ANALYSIS RESULTS

Q = (0.764 AC)(2.49 CFS/AC) = 1.9 CFS (2.75 CFS ALLOWABLE)

PROPOSED ESTIMATED RUN OFF

TOTAL IMPERVIOUS AREA = 0.551 AC.

PEAK DISCHARGE (TABLE 6.2.14)

ZONE 3, TREATMENT D = 4.49 CFS/AC

ANALYSIS RESULTS

Q100 = (0.551 AC)(4.49 CFS/AC)+(0.213)(2.49 AC CFS/AC) = 3.0 CFS

ROUTE FLOW THROUGH SWAY POND WITH 5.33" OVERFLOW WEIR.

OVER FLOW = $CLH^{1/2}/2/3$

= $(2.7)(5.33)^{1/2}/(1/2)^{1/2}/(2/3)$ = 2.75 CFS.

SWQV = $(0.42 IN)(FT/12 IN)(24,002 SF)$ = 840 CF (REQUIRED)

ON-SITE DETENTION = $(4.2)(4.49 SF) - 344 SF(2) = 1,664 CF$ (PROVIDED)

1,051 CF

CONCLUSION
THE PROPOSED SITE WILL NOT INCREASE RUNOFF TO THE ROW. THE STORMWATER QUALITY VOLUME (SWQV) WILL BE RETAINED ON SITE IN A MANNER AS SHOWN ON THIS PLAN. OVERFLOW FROM SITE WILL OCCUR AT THE POND AND WILL BE DIRECTED TOWARDS THE ROW. ON-SITE STORM DRAINAGE DESIGN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.