CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

April 18, 2024

Joseph Casares, Jr., P.E. JCII Group 8105 Sand Springs Cir NW Albuquerque, NM 87114

RE: Precision Eye Center 7521 Alameda Blvd. NE 30-day Temporary C.O. - Accepted Engineer's Certification Date: 04/08/24 Engineer's Stamp Date: 04/19/23 Hydrology File: C19D070

Dear Mr. Casares:

PO Box 1293 Based **solely** on the Certification received 04/10/2024, this letter serves as a "green tag" from Hydrology Section for a **30-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

Albuquerque

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

- NM 87103
 Please Resubmit to <u>PLNDRS@cabq.gov</u> when ready with an updated City of Albuquerque engineer's certification on the as-built Grading & Drainage Plan.
- 2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department



City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Precision Eye Center	Building Permit #: BP-2022-39517	_Hydrology File #: C19D070
DRB#:	EPC#:	Work Order#:
Legal Description: Lot 19, Block 3, Tract 2, Unit 3 North Abuquerque Acres; Section 18 T 11 N, R 4 E		
City Address: 7521 Alameda Blvd. NE, Albuquerque, NM 87113		
Address: <u>8105 Sand Springs Circle NW, Albuqu</u> Phone#: <u>(505) 264-6918</u>	Fax#: <u>n/a</u>	E-mail:JCIIGroup@gmail.com
		Contact: Dr. Rob Lavoie
Address: <u>8000 Paseo Del Norte NE</u>		
Phone#: (505) 291-1711	Fax#: n/a	E-mail: <u>robisgolfing@gmail.com</u>
TYPE OF SUBMITTAL: PLAT (# OF LOTS) RESIDENCE DRB SITE X ADMIN SITE IS THIS A RESUBMITTAL?: Yes X No DEPARTMENT: TRAFFIC/ TRANSPORTATION X HYDROLOGY/ DRAINAGE		
Check all that Apply:		
TYPE OF SUBMITTAL: X ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PERMIT AI ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?	PPLIC BUILDING PERM X CERTIFICATE O PRELIMINARY I SITE PLAN FOR SITE PLAN FOR FINAL PLAT AF SIA/ RELEASE O FOUNDATION P GRADING PERM SO-19 APPROVA PAVING PERMIT GRADING/ PAD WORK ORDER A CLOMR/LOMR FLOODPLAIN D OTHER (SPECIF	OF OCCUPANCY PLAT APPROVAL SUB'D APPROVAL BLDG. PERMIT APPROVAL PROVAL OF FINANCIAL GUARANTEE PERMIT APPROVAL IIT APPROVAL AL CERTIFICATION
DATE SUBMITTED: <u>4/09/2024</u>	By:	
COA STAFF:	ELECTRONIC SUBMITTAL RECEIVED:	
	FEE PAID:	

GENERAL NOTES

- 1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
- 2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ÉXISTING UTILITIES.
- 3. ALL UTILITIES NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- 6. SCARIFY AREA UNDER NEW CONCRETE AND PAVEMENT BASECOURSE TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
- 7. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- 8. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- 9. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
- 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
- 11. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
- 12. OWNER IS RESPONSIBLE FOR GEOTCHNICAL EVALUATION REPORT PREFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
- 13. WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN
- 14. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
- 15. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
- 16. THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
- 17. SITE SURVEY IS PROVIDED BY THE OWNER AND EXISTING INFORMATION SHOWN HAS BEEN VERIFIED IN THE FIELD. COORDINATE WITH THE OWNER/CONTRACTOR FOR SURVEY DATA FILES.
- 18. PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER
- 19. EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA: OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
- 20. ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES MAY EXIST IN THE AREA OTHER THAN WHAT IS SHOWN. NEW MEXICO ONE-CALL SHALL BE CONTACTED ALONG WITH UTILITY OWNERS PRIOR TO ANY DISTURBANCE OF EXISTING GRADE.

DRAINAGE ANALYSIS

THE COA PROCEDURE FOR 40 ACRES AND SMALLER (DPM CHAPTER 6) IS USED FOR ANALYSIS. THESE CALCULATIONS ANALYZE THE HYDROLOGY FOR THE PROPOSED DEVELOPED CONDITIONS UPON A 100 YEAR RAINFALL EVENT. RESULTS OF THE HYDROLOGY AND HYDRAULIC CALCULATIONS ARE PRESENTED BELOW.

PROJECT IS WITH NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN BY RESOURCE TECHNOLOGY, INC. OCTOBER 1998 WHICH THIS SITE HAS AN ALLOWABLE DISCHARGE RATE OF 3.60 CFS/AC.

HYDROLOGY ANALYSIS SITE CHARACTERISTICS: PRECIPITATION ZONE = 3 (PER DPM CH. 6) EXISTING ESTIMATED RUN OFF TOTAL SITE AREA = 0.764 AC. PEAK DISCHARGE (TABLE 6.2.14) ZONE 3, TREATMENT B = 2.49 CFS/AC ANALYSIS RESULTS Q = (0.764 AC)(2.49 CFS/AC) = 1.9 CFS (2.75 CFS ALLOWABLE)PROPOSED ESTIMATED RUN OFF TOTAL IMPERVIOUS AREA = 0.551 AC. PEAK DISCHARGE (TABLE 6.2.14) ZONE 3, TREATMENT D = 4.49 CFS/AC ANALYSIS RESULTS

Q100 = (0.551 AC)(4.49 CFS/AC) + (0.213)(2.49 AC CFS/AC) = 3.0 CFSROUTE FLOW THROUGH SWQV POND WITH 5.33' OVERFLOW WEIR.

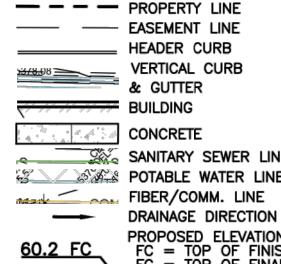
OVER FLOW = $CLH^{2/3}$ $= (2.7)(5.33')(1''/12')^{(2/3)} = 2.75$ CFS.

SWQV = (0.42 IN)(FT/12 IN)(24,002 SF) = 840 CF (REQUIRED)ON-SITE DETENTION = (1/2)(802 SF + 39 SF)(2') = 841 CF (PROVIDED)

CONCLUSION

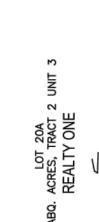
THE PROPOSED SITE WILL NOT INCREASE RUNOFF TO THE ROW. THE STORMWATER QUALITY VOLUME (SWQV) WILL BE RETAINED ON SITE IN A MANNER AS SHOWN ON THIS PLAN. OVERFLOW FROM SITE WILL OCCUR AT THE POND AND WILL BE DIRECTED TOWARDS THE ROW. ON-SITE STORM DRAINAGE DESIGN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

LEGEND





EX. BUILDING 7/7/7/7/





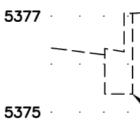
EX. PARKING LOT

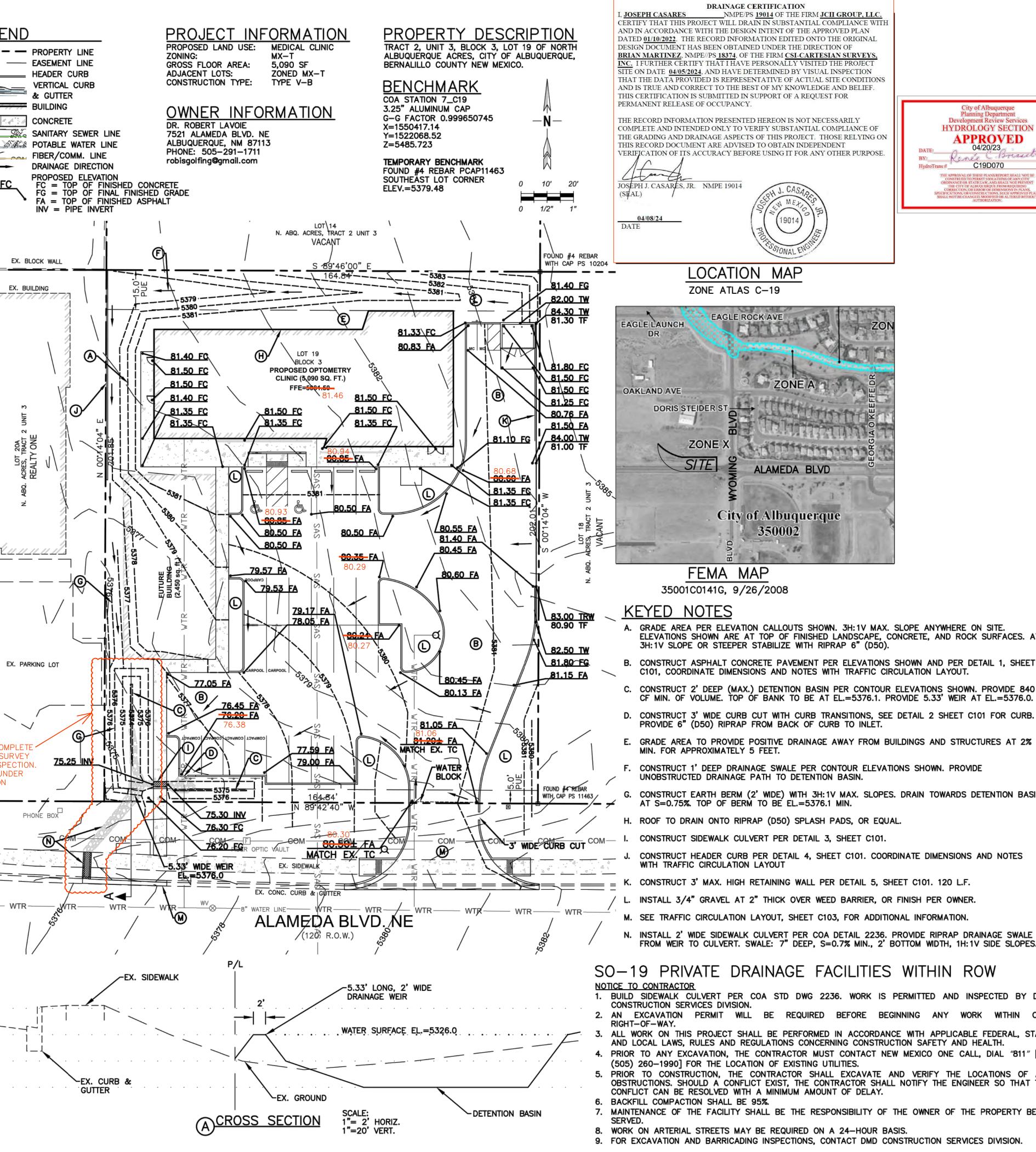
AREA NOT COMPLET AT TIME OF SURVEY

AND SITE INSPECTION. CURRENTLY UNDER CONSTRUCTION

PHONE BOX

WTR







A. GRADE AREA PER ELEVATION CALLOUTS SHOWN. 3H:1V MAX. SLOPE ANYWHERE ON SITE. ELEVATIONS SHOWN ARE AT TOP OF FINISHED LANDSCAPE, CONCRETE, AND ROCK SURFACES. AT

B. CONSTRUCT ASPHALT CONCRETE PAVEMENT PER ELEVATIONS SHOWN AND PER DETAIL 1. SHEET C101, COORDINATE DIMENSIONS AND NOTES WITH TRAFFIC CIRCULATION LAYOUT.

CF MIN. OF VOLUME. TOP OF BANK TO BE AT EL.=5376.1. PROVIDE 5.33' WEIR AT EL.=5376.0. D. CONSTRUCT 3' WIDE CURB CUT WITH CURB TRANSITIONS, SEE DETAIL 2 SHEET C101 FOR CURB.

E. GRADE AREA TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES AT 2%

CONSTRUCT 1' DEEP DRAINAGE SWALE PER CONTOUR ELEVATIONS SHOWN. PROVIDE

G. CONSTRUCT EARTH BERM (2' WIDE) WITH 3H: 1V MAX. SLOPES. DRAIN TOWARDS DETENTION BASIN

CONSTRUCT HEADER CURB PER DETAIL 4, SHEET C101. COORDINATE DIMENSIONS AND NOTES

INSTALL 3/4" GRAVEL AT 2" THICK OVER WEED BARRIER, OR FINISH PER OWNER.

N. INSTALL 2' WIDE SIDEWALK CULVERT PER COA DETAIL 2236. PROVIDE RIPRAP DRAINAGE SWALE FROM WEIR TO CULVERT. SWALE: 7" DEEP, S=0.7% MIN., 2' BOTTOM WIDTH, 1H:1V SIDE SLOPES.

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD 2. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. 4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR

5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE

7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING

9. FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.



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Project:

elopment Review Service

HYDROLOGY SECTION

APPROVED

04/20/23

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BY:

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