

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 18, 2024

Joseph Casares, Jr., P.E.
JCII Group
8105 Sand Springs Cir NW
Albuquerque, NM 87114

**RE: Precision Eye Center
7521 Alameda Blvd. NE
30-day Temporary C.O. - Accepted
Engineer's Certification Date: 04/08/24
Engineer's Stamp Date: 04/19/23
Hydrology File: C19D070**

Dear Mr. Casares:

PO Box 1293

Based **solely** on the Certification received 04/10/2024, this letter serves as a “green tag” from Hydrology Section for a **30-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

Albuquerque

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

NM 87103

1. Please Resubmit to PLNDRS@cabq.gov when ready with an updated City of Albuquerque engineer's certification on the as-built Grading & Drainage Plan.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Precision Eye Center **Building Permit #:** BP-2022-39517 **Hydrology File #:** C19D070
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 19, Block 3, Tract 2, Unit 3 North Albuquerque Acres; Section 18 T 11 N, R 4 E
City Address: 7521 Alameda Blvd. NE, Albuquerque, NM 87113

Applicant: JCII Group, LLC **Contact:** Joe Casares
Address: 8105 Sand Springs Circle NW, Albuquerque, NM 87114
Phone#: (505) 264-6918 **Fax#:** n/a **E-mail:** JCIIGroup@gmail.com
Owner: Dr. Rob Lavoie **Contact:** Dr. Rob Lavoie
Address: 8000 Paseo Del Norte NE
Phone#: (505) 291-1711 **Fax#:** n/a **E-mail:** robisgolfing@gmail.com

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 4/09/2024 **By:** 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

GENERAL NOTES

- PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- ALL UTILITIES NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- SCARIFY AREA UNDER NEW CONCRETE AND PAVEMENT BASECOURSE TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
- OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
- WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
- ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
- THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
- SITE SURVEY IS PROVIDED BY THE OWNER AND EXISTING INFORMATION SHOWN HAS BEEN VERIFIED IN THE FIELD. COORDINATE WITH THE OWNER/CONTRACTOR FOR SURVEY DATA FILES.
- PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
- EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA; OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
- ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES MAY EXIST IN THE AREA OTHER THAN WHAT IS SHOWN. NEW MEXICO ONE-CALL SHALL BE CONTACTED ALONG WITH UTILITY OWNERS PRIOR TO ANY DISTURBANCE OF EXISTING GRADE.

DRAINAGE ANALYSIS

THE COA PROCEDURE FOR 40 ACRES AND SMALLER (DPM CHAPTER 6) IS USED FOR ANALYSIS. THESE CALCULATIONS ANALYZE THE HYDROLOGY FOR THE PROPOSED DEVELOPED CONDITIONS UPON A 100 YEAR RAINFALL EVENT. RESULTS OF THE HYDROLOGY AND HYDRAULIC CALCULATIONS ARE PRESENTED BELOW.

PROJECT IS WITH NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN BY RESOURCE TECHNOLOGY, INC. OCTOBER 1998 WHICH THIS SITE HAS AN ALLOWABLE DISCHARGE RATE OF 3.60 CFS/AC.

HYDROLOGY ANALYSIS

SITE CHARACTERISTICS:

PRECIPITATION ZONE = 3 (PER DPM CH. 6)

EXISTING ESTIMATED RUN OFF

TOTAL SITE AREA = 0.764 AC.

PEAK DISCHARGE (TABLE 6.2.14)

ZONE 3, TREATMENT B = 2.49 CFS/AC

ANALYSIS RESULTS

$Q = (0.764 \text{ AC})(2.49 \text{ CFS/AC}) = 1.9 \text{ CFS (2.75 CFS ALLOWABLE)}$

PROPOSED ESTIMATED RUN OFF

TOTAL IMPERVIOUS AREA = 0.551 AC.

PEAK DISCHARGE (TABLE 6.2.14)

ZONE 3, TREATMENT D = 4.49 CFS/AC

ANALYSIS RESULTS

$Q_{100} = (0.551 \text{ AC})(4.49 \text{ CFS/AC}) + (0.213)(2.49 \text{ AC CFS/AC}) = 3.0 \text{ CFS}$
ROUTE FLOW THROUGH SWQV POND WITH 5.33' OVERFLOW WEIR.

OVER FLOW = $CLH^{(2/3)}$
 $= (2.7)(5.33')^{(1/12)^{(2/3)}} = 2.75 \text{ CFS.}$

$SWQV = (0.42 \text{ IN})(\text{FT}/12 \text{ IN})(24,002 \text{ SF}) = 840 \text{ CF (REQUIRED)}$

ON-SITE DETENTION = $(1/2)(802 \text{ SF} + 39 \text{ SF})(2') = 841 \text{ CF (PROVIDED)}$

CONCLUSION

THE PROPOSED SITE WILL NOT INCREASE RUNOFF TO THE ROW. THE STORMWATER QUALITY VOLUME (SWQV) WILL BE RETAINED ON SITE IN A MANNER AS SHOWN ON THIS PLAN. OVERFLOW FROM SITE WILL OCCUR AT THE POND AND WILL BE DIRECTED TOWARDS THE ROW. ON-SITE STORM DRAINAGE DESIGN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- HEADER CURB
- VERTICAL CURB & GUTTER
- BUILDING
- CONCRETE
- SANITARY SEWER LINE
- POTABLE WATER LINE
- FIBER/COMM. LINE
- DRAINAGE DIRECTION
- PROPOSED ELEVATION
- FC = TOP OF FINISHED CONCRETE
- FG = TOP OF FINAL FINISHED GRADE
- FA = TOP OF FINISHED ASPHALT
- INV = PIPE INVERT

PROJECT INFORMATION

PROPOSED LAND USE: MEDICAL CLINIC
ZONING: MX-T
GROSS FLOOR AREA: 5,090 SF
ADJACENT LOTS: ZONED MX-T
CONSTRUCTION TYPE: TYPE V-B

OWNER INFORMATION

DR. ROBERT LAVOIE
7521 ALAMEDA BLVD. NE
ALBUQUERQUE, NM 87113
PHONE: 505-291-1711
robisgolfing@gmail.com

PROPERTY DESCRIPTION

TRACT 2, UNIT 3, BLOCK 3, LOT 19 OF NORTH ALBUQUERQUE ACRES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO.

BENCHMARK

COA STATION 7..C19
3.25" ALUMINUM CAP
G-G FACTOR 0.999650745
X=1550417.14
Y=1522068.52
Z=5485.723

TEMPORARY BENCHMARK
FOUND #4 REBAR PCAP11463
SOUTHEAST LOT CORNER
ELEV.=5379.48

DRAINAGE CERTIFICATION

I, JOSEPH CASARES, NMPE/PS 19014 OF THE FIRM JCII GROUP, LLC, CERTIFY THAT THIS PROJECT WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/10/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED UNDER THE DIRECTION OF BRIAN MARTINEZ, NMPE/PS 18374, OF THE FIRM CSI-CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DATE 04/05/2023, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT RELEASE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JOSEPH J. CASARES, JR. NMPE 19014 (SEAL)

DATE 04/08/24

JOSEPH J. CASARES, JR. NEW MEXICO 19014 PROFESSIONAL ENGINEER

LOCATION MAP

ZONE ATLAS C-19



FEMA MAP

35001C0141G, 9/26/2008

KEYED NOTES

- GRADE AREA PER ELEVATION CALLOUTS SHOWN. 3H:1V MAX. SLOPE ANYWHERE ON SITE. ELEVATIONS SHOWN ARE AT TOP OF FINISHED LANDSCAPE, CONCRETE, AND ROCK SURFACES. AT 3H:1V SLOPE OR STEEPER STABILIZE WITH RIPRAP 6" (D50).
- CONSTRUCT ASPHALT CONCRETE PAVEMENT PER ELEVATIONS SHOWN AND PER DETAIL 1, SHEET C101, COORDINATE DIMENSIONS AND NOTES WITH TRAFFIC CIRCULATION LAYOUT.
- CONSTRUCT 2' DEEP (MAX.) DETENTION BASIN PER CONTOUR ELEVATIONS SHOWN. PROVIDE 840 CF MIN. OF VOLUME. TOP OF BANK TO BE AT EL.=5376.1. PROVIDE 5.33' WEIR AT EL.=5376.0.
- CONSTRUCT 3' WIDE CURB CUT WITH CURB TRANSITIONS, SEE DETAIL 2 SHEET C101 FOR CURB. PROVIDE 6" (D50) RIPRAP FROM BACK OF CURB TO INLET.
- GRADE AREA TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES AT 2% MIN. FOR APPROXIMATELY 5 FEET.
- CONSTRUCT 1' DEEP DRAINAGE SWALE PER CONTOUR ELEVATIONS SHOWN. PROVIDE UNOBSTRUCTED DRAINAGE PATH TO DETENTION BASIN.
- CONSTRUCT EARTH BERM (2' WIDE) WITH 3H:1V MAX. SLOPES. DRAIN TOWARDS DETENTION BASIN AT S=0.75%. TOP OF BERM TO BE EL.=5376.1 MIN.
- ROOF TO DRAIN ONTO RIPRAP (D50) SPLASH PADS, OR EQUAL.
- CONSTRUCT SIDEWALK CULVERT PER DETAIL 3, SHEET C101.
- CONSTRUCT HEADER CURB PER DETAIL 4, SHEET C101. COORDINATE DIMENSIONS AND NOTES WITH TRAFFIC CIRCULATION LAYOUT.
- CONSTRUCT 3' MAX. HIGH RETAINING WALL PER DETAIL 5, SHEET C101. 120 L.F.
- INSTALL 3/4" GRAVEL AT 2" THICK OVER WEED BARRIER, OR FINISH PER OWNER.
- SEE TRAFFIC CIRCULATION LAYOUT, SHEET C103, FOR ADDITIONAL INFORMATION.
- INSTALL 2' WIDE SIDEWALK CULVERT PER COA DETAIL 2236. PROVIDE RIPRAP DRAINAGE SWALE FROM WEIR TO CULVERT. SWALE: 7" DEEP, S=0.7% MIN., 2' BOTTOM WIDTH, 1H:1V SIDE SLOPES.

SO-19 PRIVATE DRAINAGE FACILITIES WITHIN ROW

NOTICE TO CONTRACTOR

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

All concepts, designs and plans directly or indirectly encompassed by this document are hereby copyrighted, and are for use on and in connection with the project specified in this document. None of such concepts, designs or plans shall be used by or disclosed to any person, firm or corporation without the prior written permission of JCI Group, LLC.



4/19/23

Project:

PRECISION EYE CENTER
7521 Alameda Blvd. NE
Albuquerque, New Mexico

Project:	123.679	1st Revised:	Date: 2-13-2023
Drawn by:	MD	2nd Revised:	Date: 4-19-2023
Scale:	AS SHOWN	3rd Revised:	Date:
Checked by:	JC	4th Revised:	Date:

Sheet:

**GRADING
AND
DRAINAGE
PLAN**

Number:

C100