

GENERAL NOTES

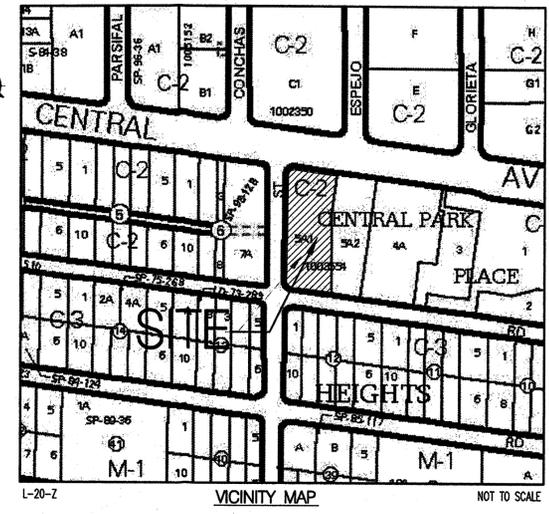
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
13. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
14. THE CONTRACTOR IS RESPONSIBLE FOR SWPPP COMPLIANCE AND IMPLEMENTATION.
15. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

I, KEVIN J. MURTAGH, NMP# 17166, OF THE FIRM BOHANNAN HUSTON, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE GRADING PLAN DATED SEPTEMBER 23, 2008. AS-BUILT SURVEY INFORMATION HAS BEEN PROVIDED BY JOSEPH ORLOSKI, NMP# 12450, OF SURV-TEK, INC.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JUNE 10, 2009, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE ROUGH GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Kevin J. Murtagh 6-17-09
 KEVIN J. MURTAGH, NMP# 17166 DATE



GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
4. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
5. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SALT FENCE AT THE PROPERTY LINES AND METTING THE SOIL TO PROTECT IT FROM WIND EROSION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
6. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
7. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
8. ALL ELEVATIONS ARE TAKEN AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
9. ALL CURB IS 6" MEDIAN CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS SHOWN ALONG MEDIAN CURB ARE AT FLOWLINE UNLESS OTHERWISE INDICATED.
10. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

LEGEND

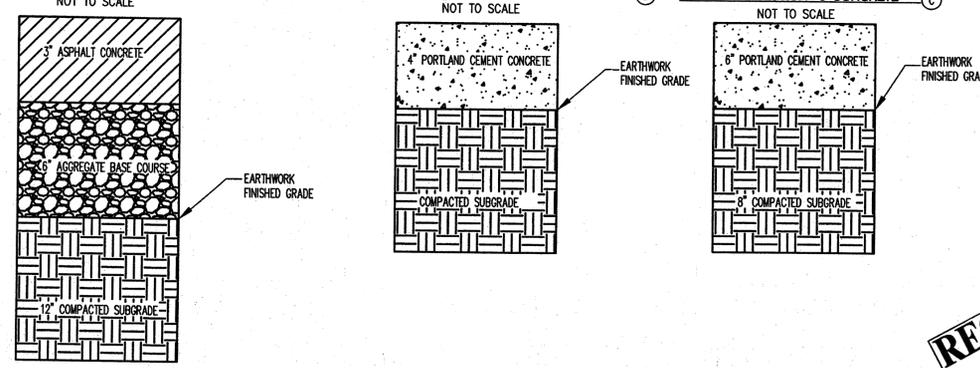
- PROPERTY LINE
- 5301 — EXISTING CONTOURS
- X 5301.15 EXISTING GROUND SPOT ELEVATION
- 96.25 ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED
- S=2.0% PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED CURB & GUTTER
- EASEMENT
- PROPOSED STORM DRAIN INLET
- EXISTING MONUMENT

GRADING & DRAINAGE CONCEPT

The proposed site is currently 1.10 acres of undeveloped land sloping from east to west. There are existing developments just east of the site, with a future restaurant to be located on the eastern boundary. In accordance with the Central Park Place Phase 1 Drainage Report (120-08) free discharge is allowed, all developed flows for this site and sites east, are to be conveyed via sheet flow towards Conchas St., where they will continue to flow to Central Ave. and Cochiti Rd.

The drainage concept of the site is to drain the site to the two entrances along Conchas St. High points on this site will direct flows north and south, in accordance with the aforementioned drainage report, and discharge to Conchas Street via the respective entrances. The North Basin generates 2.44 cfs and combines with offsite flows from the east for a total runoff of 6.82 cfs discharging to Conchas Street. The South Basin generates 2.52 cfs and combines with offsite flows from the east for a total runoff of 11.55 cfs discharging to Conchas Street.

DRIVE LANE/PARKING LOT PAVEMENT SECTION - 3" ASPHALT (A) SIDEWALK/PATIO/SLAB SECTION - 4" CONCRETE (B) DRIVE-THRU SECTION - 6" CONCRETE (C)



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 SAN DIEGO, CA 92123
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- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

JACK IN THE BOX #1265
 10100 CENTRAL SE
 ALBUQUERQUE, NEW MEXICO



SITE INFORMATION

MK TYPE: 9A_LG2
 JOB #: 1265
 ADDRESS: CENTRAL/CONCHAS ALBUQUERQUE, NM
 DRAWN BY: LUCA
 SCALE: 1:20

GRADING PLAN

October 2008
 C2.0



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ALBUQUERQUE, NEW MEXICO



Bohannon **Huston**
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

LARRY J. CLUCK & ASSOCIATES
ARCHITECTS
3444 N. Country Club, Suite # 105
(520) 327-6670/327-8816

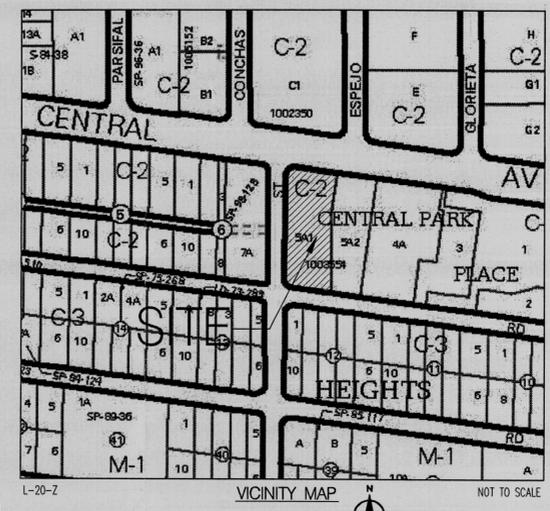


SITE INFORMATION

MK TYPE: 9A_LG2
JOB #: 1265
ADDRESS: CENTRAL/CONCHAS ALBUQUERQUE, NM
DRAWN BY: LJCA
SCALE: 1:20

Site Plan and Traffic Circulation Layout For Building Permit

October 2008
C1.0



GENERAL NOTES

- SEE L1 FOR LANDSCAPING PLAN
- CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FOR WORK IN CITY OF ALBUQUERQUE RIGHT-OF-WAY
- ALL WORK SHALL COMPLY W/COA STANDARD SPECIFICATIONS UPDATE 7, UNLESS OTHERWISE NOTED
- SEE SHEET C2.0 FOR GRADING & PAVING DETAILS

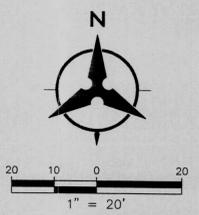
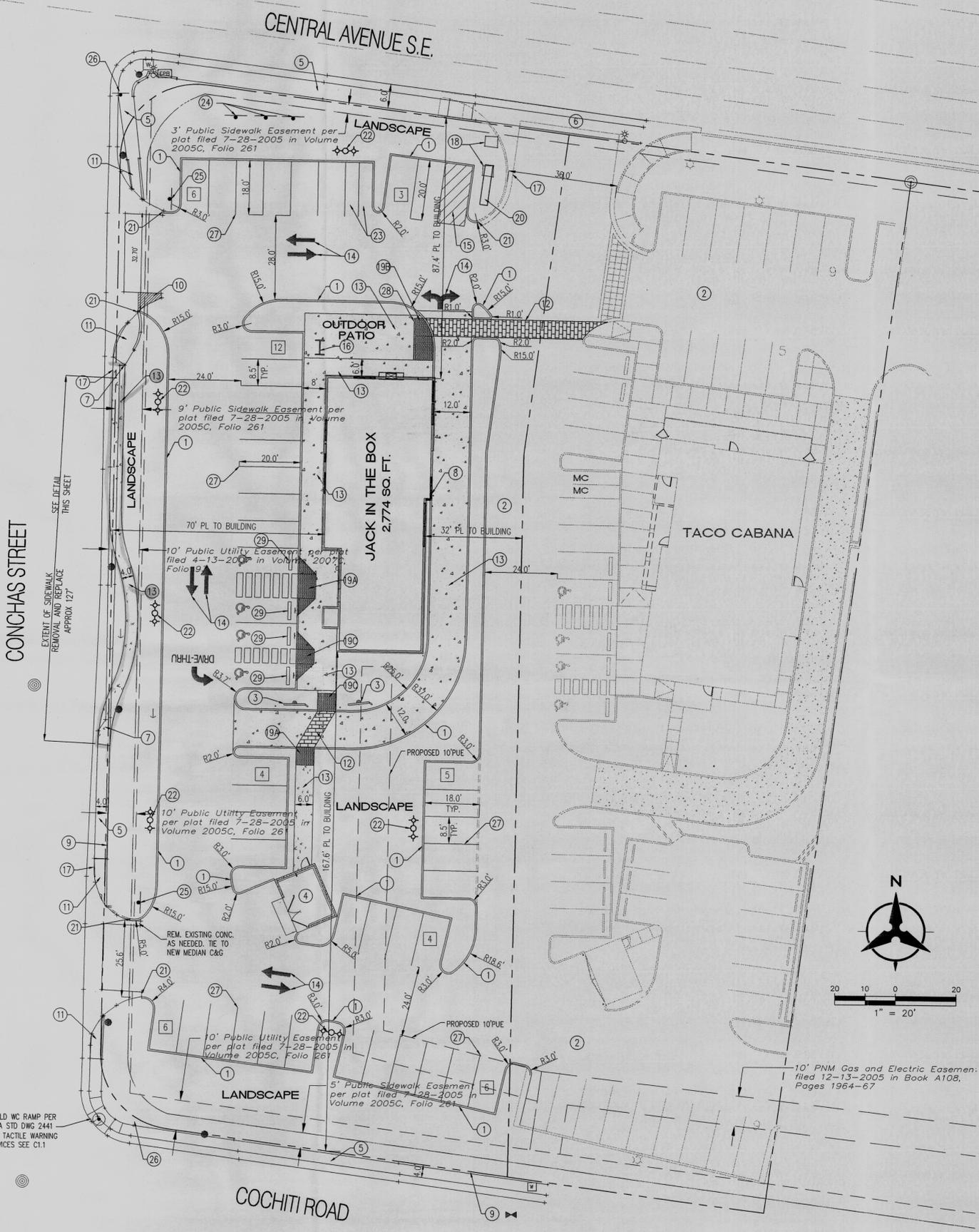
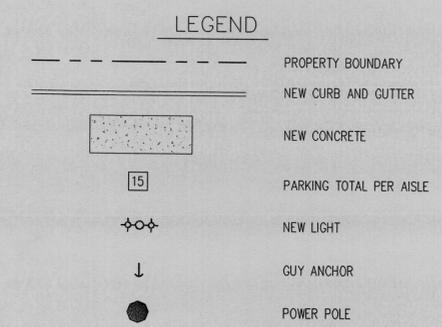
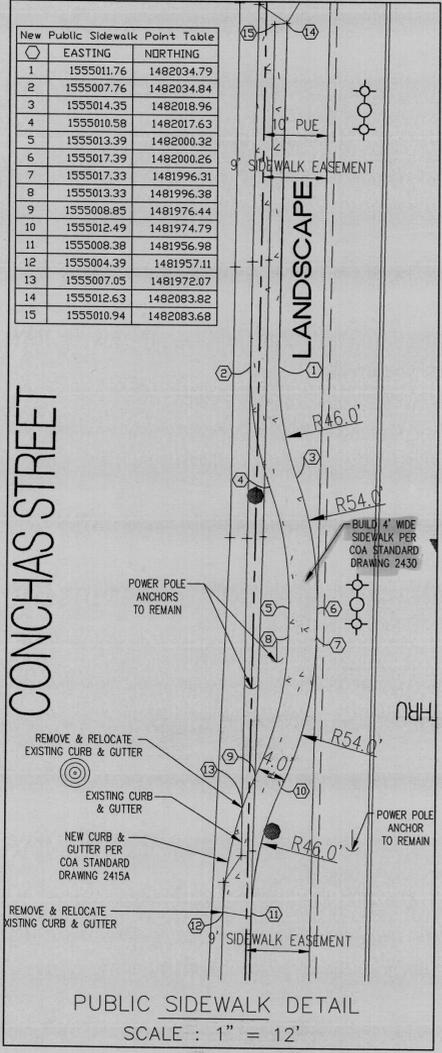
KEYED NOTES

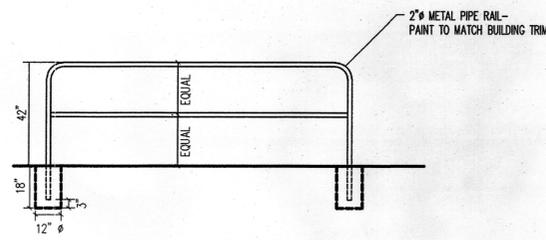
- NEW MEDIAN CURB AND GUTTER PER COA STANDARD DWG. 2415B
- EXISTING VEHICULAR DRIVE AISLE
- MENU BOARD/SIGN
- REFUSE AND RECYCLE ENCLOSURE - 6' HIGH STUCCOED CMU STRUCTURE
COLOR TO MATCH BUILDING (SEE SHEET C1.1)
- EXISTING SIDEWALK TO REMAIN
- DRIVEWAY ACCESS BY OTHERS (INCLUDES WHEEL CHAIR RAMPS, VALLEY GUTTER, CURB & GUTTER AND ASPHALT)
- EXISTING SIDEWALK TO BE REMOVED
- DRIVE UP WINDOW
- EXISTING CHAIN LINK FENCE TO BE REMOVED.
- EXISTING CURB & GUTTER INDICATED BY HATCH TO BE REMOVED AND REPLACED WITH ASPHALT
- EXISTING WHEELCHAIR RAMP TO REMAIN
- 6' WIDE PATTERNED CONCRETE - COLOR & PATTERN TO MATCH ADJACENT SITES
- NEW CONCRETE [HATCH SYMBOL] PLAN SYMBOL
- NEW PAINTED DIRECTIONAL ARROW - SIZE & COLOR TO MATCH ADJACENT SITE
- STRIPED TEMPORARY PARKING AREA FOR DRIVE UP WINDOW.
- BICYCLE RACK FOR 4 BIKES (SEE SHEET C1.1)
- EXISTING CURB TO REMAIN
- REMOVE EXISTING CONCRETE
- WHEEL CHAIR RAMP TYPE "A" (SEE SHEET C1.1)
- WHEEL CHAIR RAMP TYPE "B" (SEE SHEET C1.1)
- WHEEL CHAIR RAMP TYPE "C" (SEE SHEET C1.1)
- NEW MONUMENT SIGN BY OTHERS
- TIE NEW CURB AND GUTTER TO EXISTING CURB AND GUTTER
- NEW LIGHT SHALL COMPLY WITH ZONING CODE 14.6.3.9 SEE ELECTRICAL PLANS FOR DETAIL.
- (2) MOTORCYCLE PARKING SPACES: 18'X4.5' SEE C1.1 FOR SIGN DETAIL
- TEMPORARY CONSTRUCTION SIGNAGE LOCATIONS
- NEW STOP SIGN (SEE SHEET C1.1)
- EXISTING STOP SIGN
- PAINTED PARKING STRIPE TYP.
- 42" HIGH METAL GUARDRAIL SEE C1.1 FOR DETAIL.
- 8' PRE MANUFACTURED CONCRETE WHEEL STOP.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRG/Permit approval and Work Order required.



Jack-In-The-Box
Parking Calcs
Required=1 space/4 seats
64 seats.
Base required parking= $\frac{64}{4}=16$
10% transit reduction, adj required parking=15
Parking provided=46
Handicap parking provided: 4
Handicap parking required: 1
Motorcycle parking provided: 2
Motorcycle parking required: 1
Bicycle parking provided: 4
Bicycle parking required: 2
Drive-Thru queue length=137'

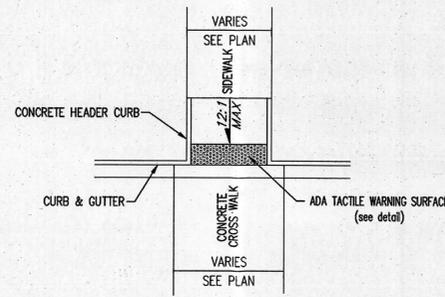




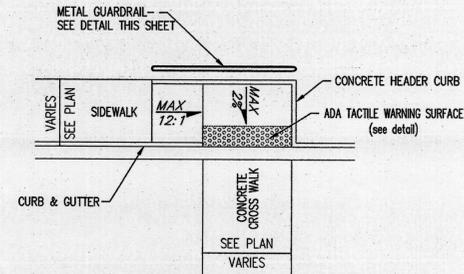
METAL GUARDRAIL DETAIL
NOT TO SCALE



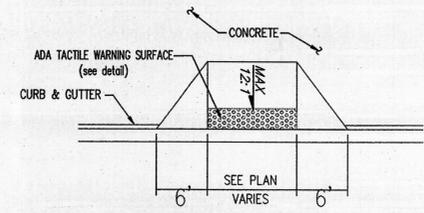
ADA TACTILE WARNING SURFACES
NOT TO SCALE
CONTRACTOR SHALL INSTALL ADA TACTILE WARNING DEVICES ON NEW CURB RAMPS. THE WARNING DEVICES SHALL BE TRUNCATED DOME TACTILE CUES. -DESIGN PER ADA GUIDELINES



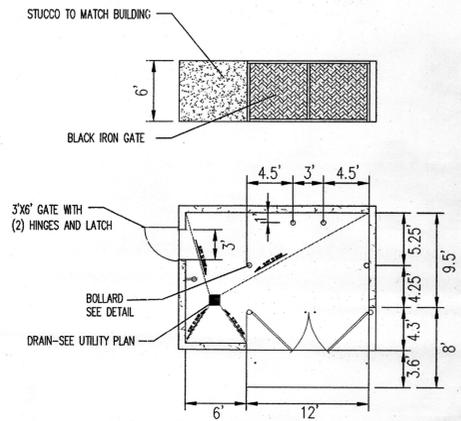
TYPE 'A' HANDICAP RAMP DETAIL
NOT TO SCALE



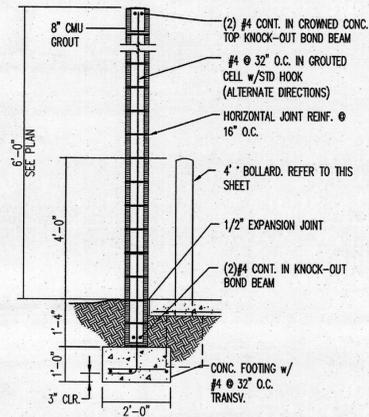
TYPE 'B' HANDICAP RAMP DETAIL
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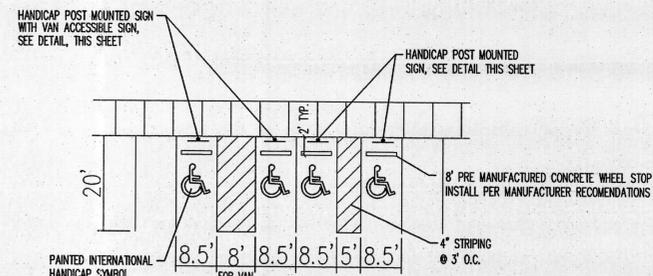
TYPE 'C' HANDICAP RAMP DETAIL
NOT TO SCALE



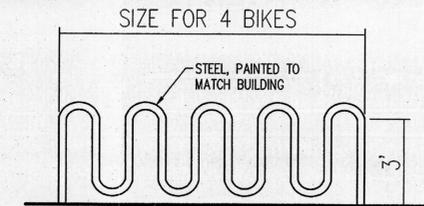
REFUSE AND RECYCLE ENCLOSURE
NOT TO SCALE



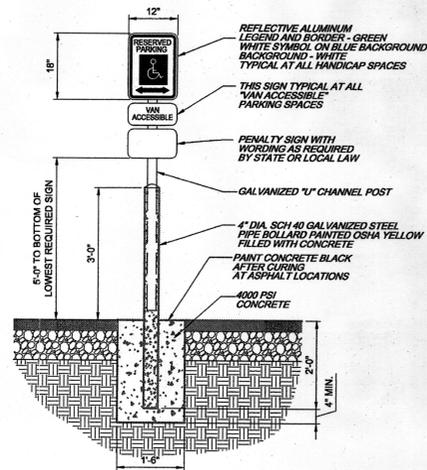
CMU WALL
NOT TO SCALE



TYPICAL HANDICAP PARKING DETAIL
NTS

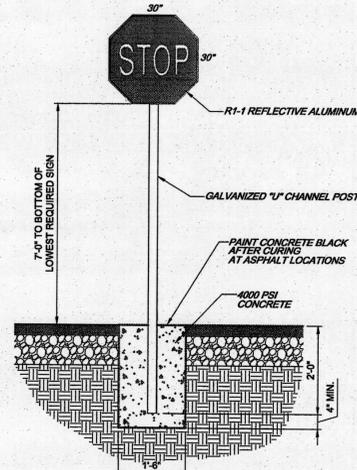


BIKE RACK
NTS

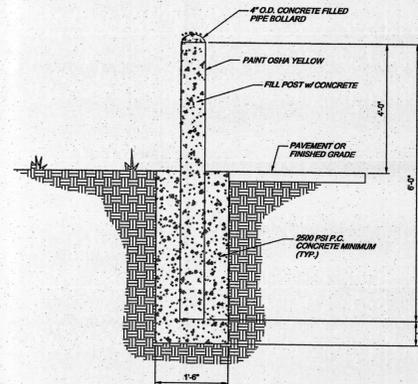


HANDICAP PARKING SIGN
NOT TO SCALE

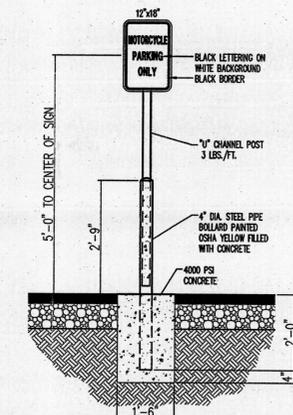
ONE AT EACH HANDICAP SPACE.
WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY,
THERE SHALL BE ONE POST WITH SIGNS MOUNTED ON BOTH SIDES.



STOP SIGN DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



MOTORCYCLE PARKING SIGN DETAIL
NOT TO SCALE



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CENTRAL/ CONCHAS
ALBUQUERQUE, NEW MEXICO



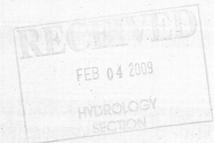
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LARRY J. CLICK & ASSOCIATES
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DRAWN BY: LJCA
SCALE: _____



Master Detail
Sheet
October 2008
C1.1