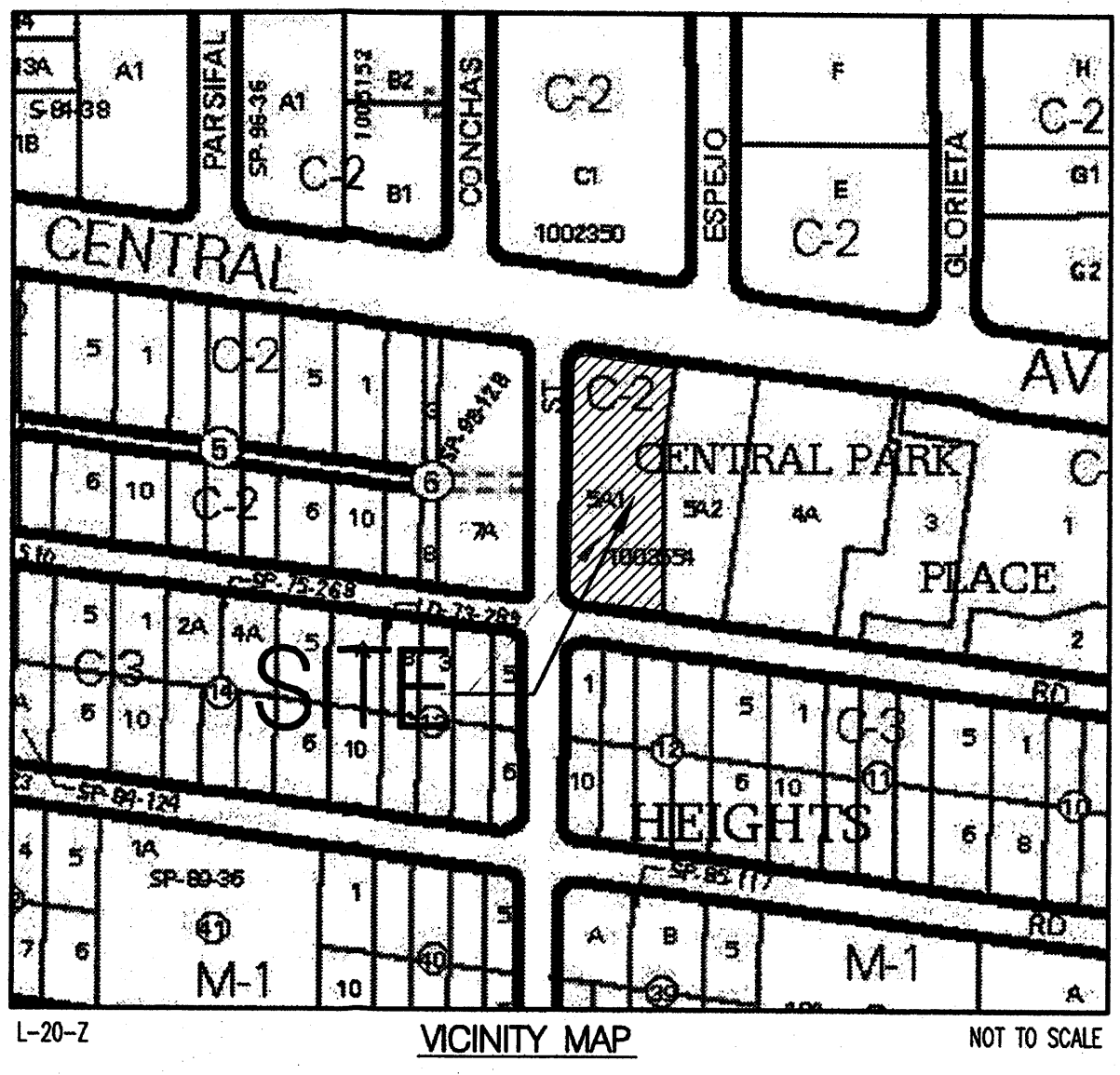
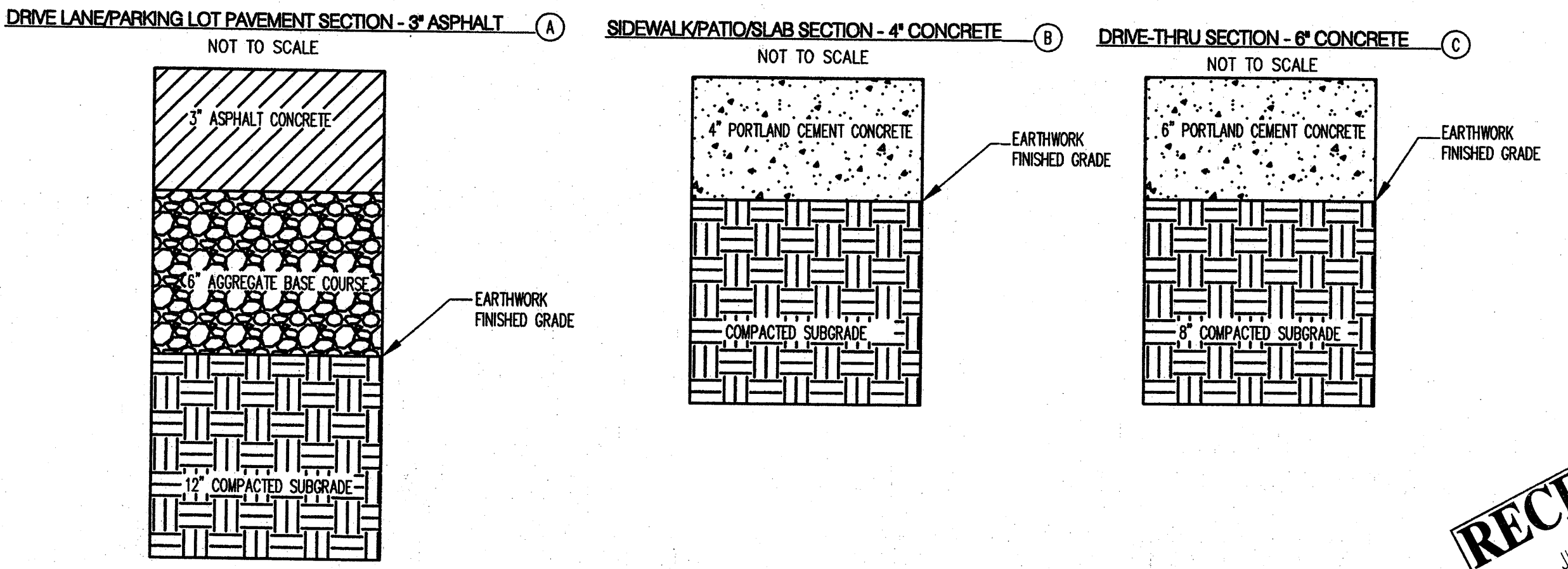


- ### GENERAL NOTES
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
  - THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
  - ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
  - CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
  - OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
  - THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
  - ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
  - ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
  - THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
  - THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR SWPPP COMPLIANCE AND IMPLEMENTATION.
  - THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

- ### LEGEND
- PROPERTY LINE
  - EXISTING CONTOURS
  - EXISTING GROUND SPOT ELEVATION
  - ALL SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE STATED
  - PROPOSED DIRECTION OF FLOW
  - WATER BLOCK
  - PROPOSED CURB & GUTTER
  - EASEMENT
  - PROPOSED STORM DRAIN INLET
  - EXISTING MONUMENT



- ### GRADING NOTES
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
  - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
  - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
  - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
  - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND METTING THE SOIL TO PROTECT IT FROM WIND EROSION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
  - A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
  - VERIFY ALL ELEVATIONS SHOWN ON PLAN BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
  - ALL ELEVATIONS ARE TAKEN AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
  - ALL CURB IS 6" MEDIAN CURB UNLESS OTHERWISE NOTED. ALL ELEVATIONS SHOWN ALONG MEDIAN CURB ARE AT FLOWLINE UNLESS OTHERWISE INDICATED.
  - PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.

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**DATES**

RELEASE: \_\_\_\_\_  
P.M. UPDATES: \_\_\_\_\_  
PERMIT: \_\_\_\_\_  
BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

NO.	DESCRIPTION	DATE
1	GRADING & DRAINAGE CERTIFICATION	6-17-09

**JACK IN THE BOX #1265**  
10100 CENTRAL SE  
ALBUQUERQUE, NEW MEXICO

**Bohman & Huston**  
Engineers & Architects  
1700 Alameda NE, Suite 105  
Albuquerque, NM 87106  
(505) 327-6670 / 327-8816

**LARRY J. CLARK & ASSOCIATES**  
ARCHITECTS  
1444 N. Country Club Ave., Suite # 105  
Albuquerque, NM 87106  
(505) 327-6670 / 327-8816

**9-23-08**

**SITE INFORMATION**

MK TYPE: 9A\_LG2  
JOB #: 1265  
ADDRESS: CENTRAL/CONCHAS  
ALBUQUERQUE, NM  
DRAWN BY: LJCA  
SCALE: 1:20

**GRADING PLAN**  
October 2008  
C2.0





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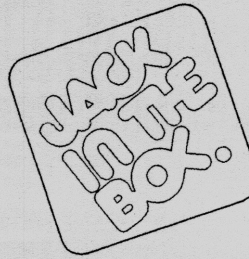
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PERMIT: \_\_\_\_\_  
BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

#### REVISIONS

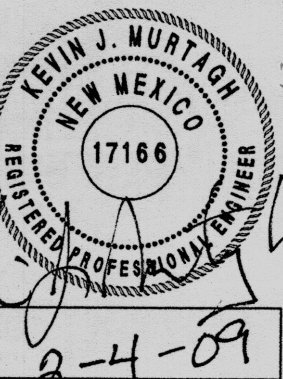
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JACK IN THE BOX #1265  
10100 CENTRAL SE  
ALBUQUERQUE, NEW MEXICO



**Bohman & Huston**  
ENGINEERING • CAPITAL DATA • ADVANCED TECHNOLOGIES

LARRY J. CLUCK & ASSOCIATES  
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3444 N. Country Club, Suite # 105  
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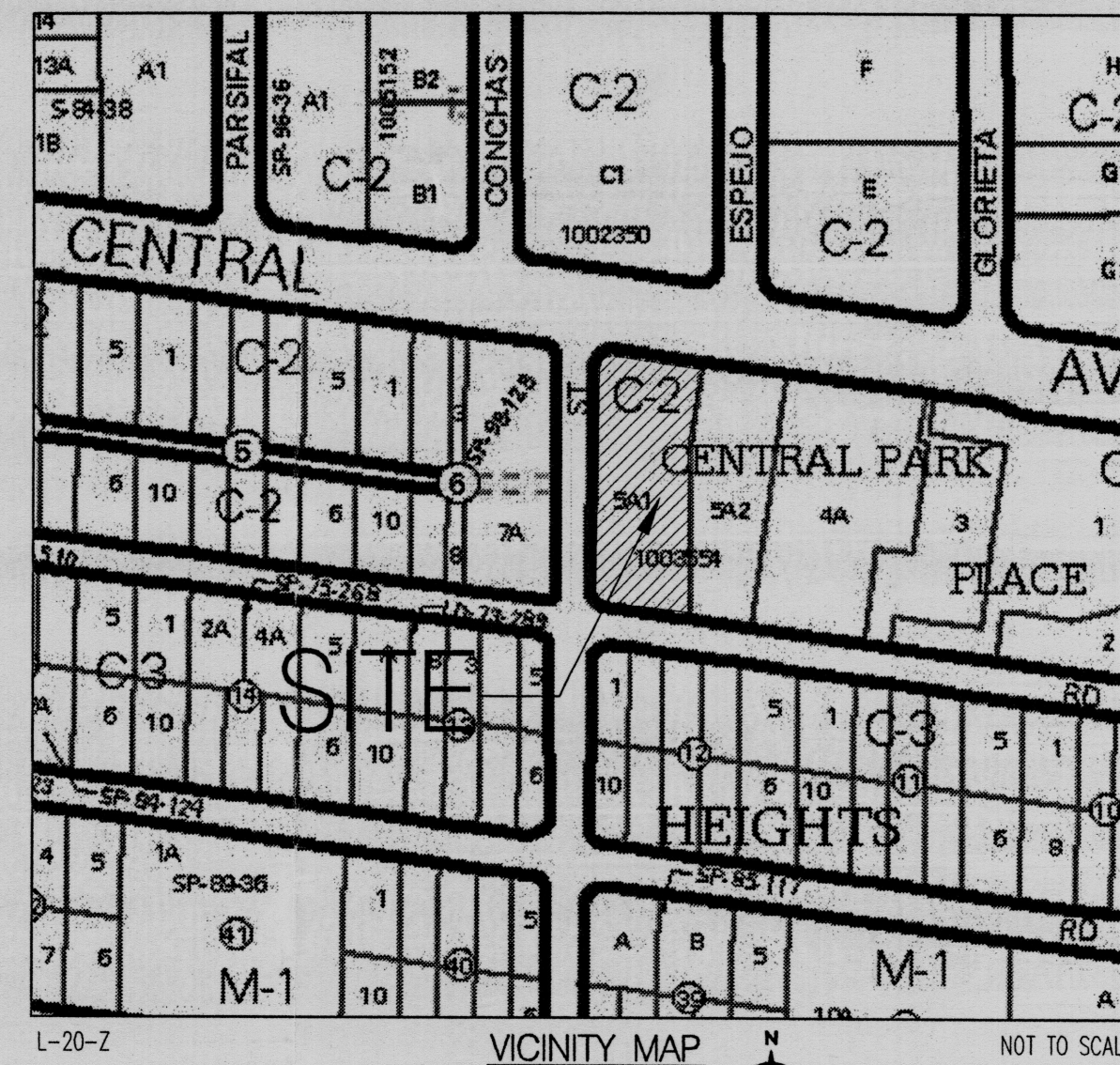


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JIB #: 1265  
ADDRESS:  
CENTRAL/CONCHAS  
ALBUQUERQUE, NM  
DRAWN BY: LJCA  
SCALE: 1:20

Site Plan and  
Traffic Circulation  
Layout For  
Building Permit

October 2008  
C1.0



#### GENERAL NOTES

- SEE L1 FOR LANDSCAPING PLAN
- CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS FOR WORK IN CITY OF ALBUQUERQUE RIGHT-OF-WAY
- ALL WORK SHALL COMPLY W/COA STANDARD SPECIFICATIONS UPDATE 7, UNLESS OTHERWISE NOTED
- SEE SHEET C2.0 FOR GRADING & PAVING DETAILS

#### KEYED NOTES

- NEW MEDIAN CURB AND GUTTER PER COA STANDARD DWG. 2415B
- EXISTING VEHICULAR DRIVE AISLE
- MENU BOARD/SIGN
- REFUSE AND RECYCLE ENCLOSURE - 6" HIGH STUCCOED CMU STRUCTURE  
COLOR TO MATCH BUILDING (SEE SHEET C1.1)
- EXISTING SIDEWALK TO REMAIN
- DRIVEWAY ACCESS BY OTHERS (INCLUDES WHEEL CHAIR RAMPS, VALLEY GUTTER, CURB & GUTTER AND ASPHALT)
- EXISTING SIDEWALK TO BE REMOVED
- DRIVE UP WINDOW
- EXISTING CHAIN LINK FENCE TO BE REMOVED.
- EXISTING CURB & GUTTER INDICATED BY HATCH TO BE REMOVED AND REPLACED WITH ASPHALT
- EXISTING WHEELCHAIR RAMP TO REMAIN
- 6" WIDE PATTERNED CONCRETE - COLOR & PATTERN TO MATCH ADJACENT SITES
- NEW CONCRETE PLAN SYMBOL
- NEW PAINTED DIRECTIONAL ARROW - SIZE & COLOR TO MATCH ADJACENT SITE
- STRIPED TEMPORARY PARKING AREA FOR DRIVE UP WINDOW.

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRG/Permit approval  
and Work Order required.



#### Jack-In-The-Box

#### Parking Calcs

Required=1 space/4 seats

64 seats.

Base required parking= $\frac{64}{4}=16$

10% transit reduction, adj required parking=15

Parking provided=46

Handicap parking provided: 4

Handicap parking required: 1

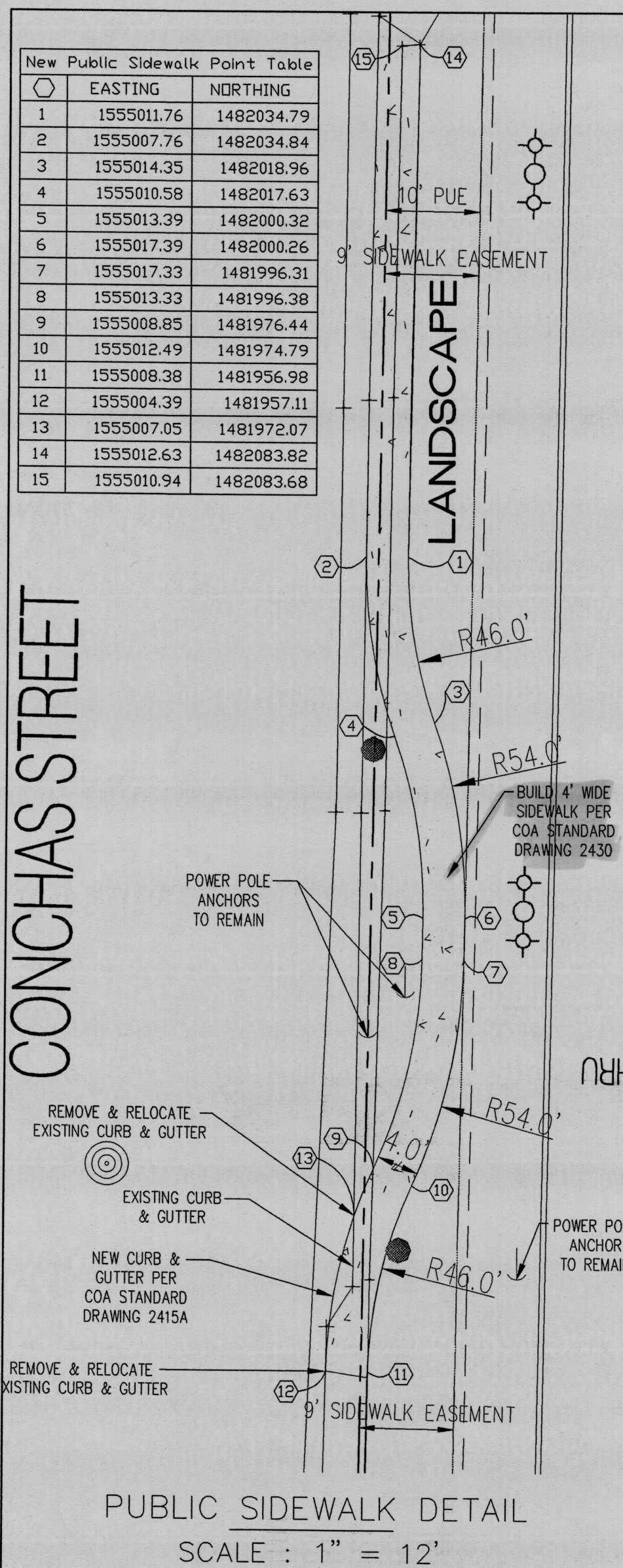
Motorcycle parking provided: 2

Motorcycle parking required: 1

Bicycle parking provided: 4

Bicycle parking required: 2

Drive-Thru queue length=137'

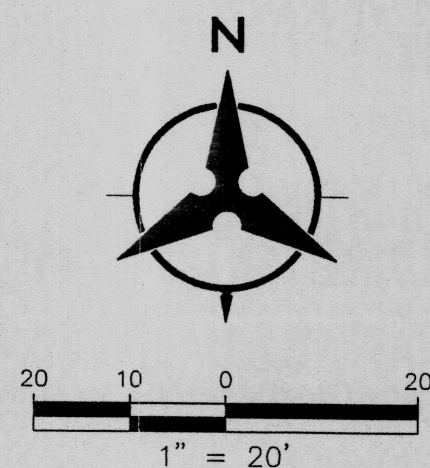
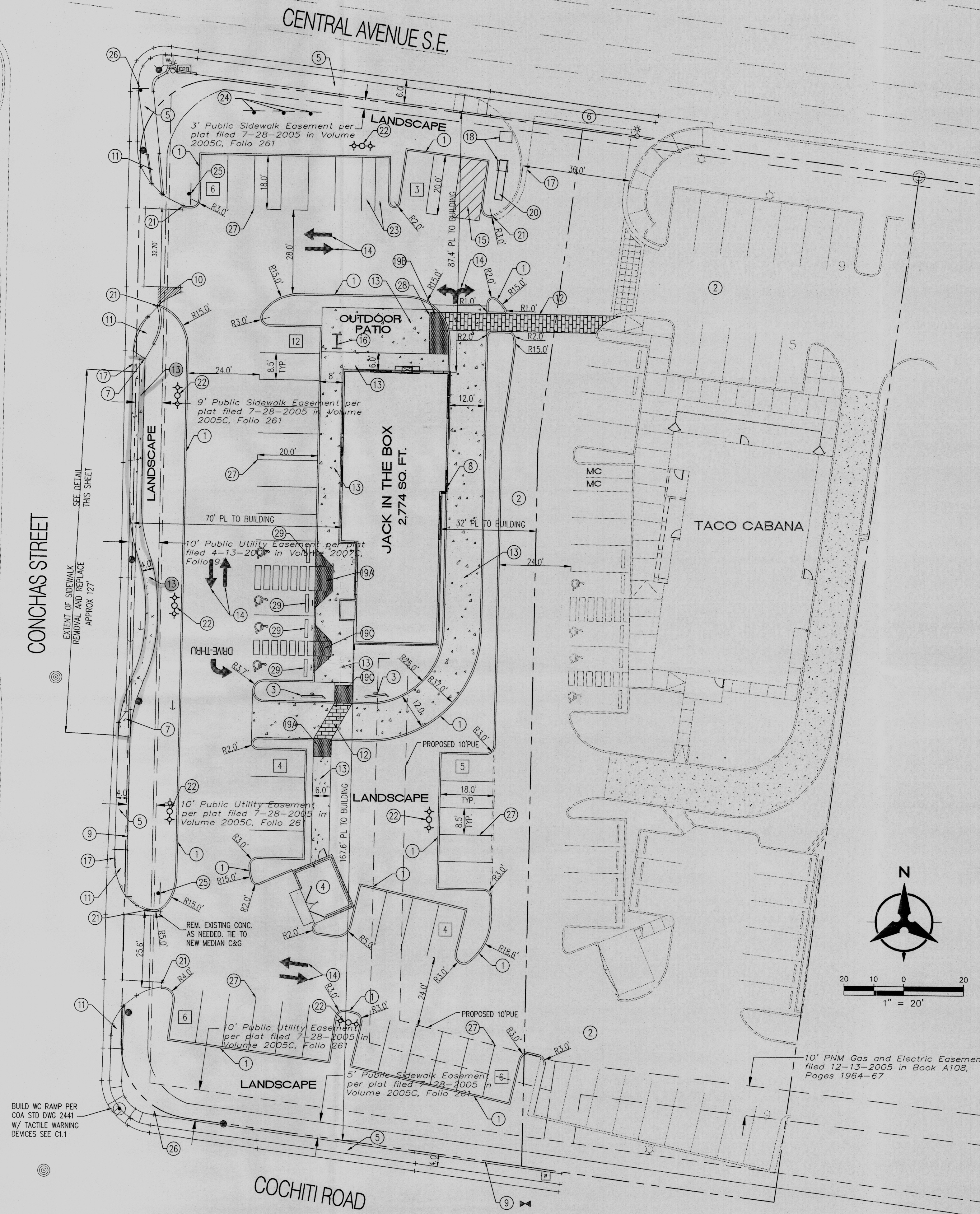


PUBLIC SIDEWALK DETAIL

SCALE : 1" = 12'

#### LEGEND

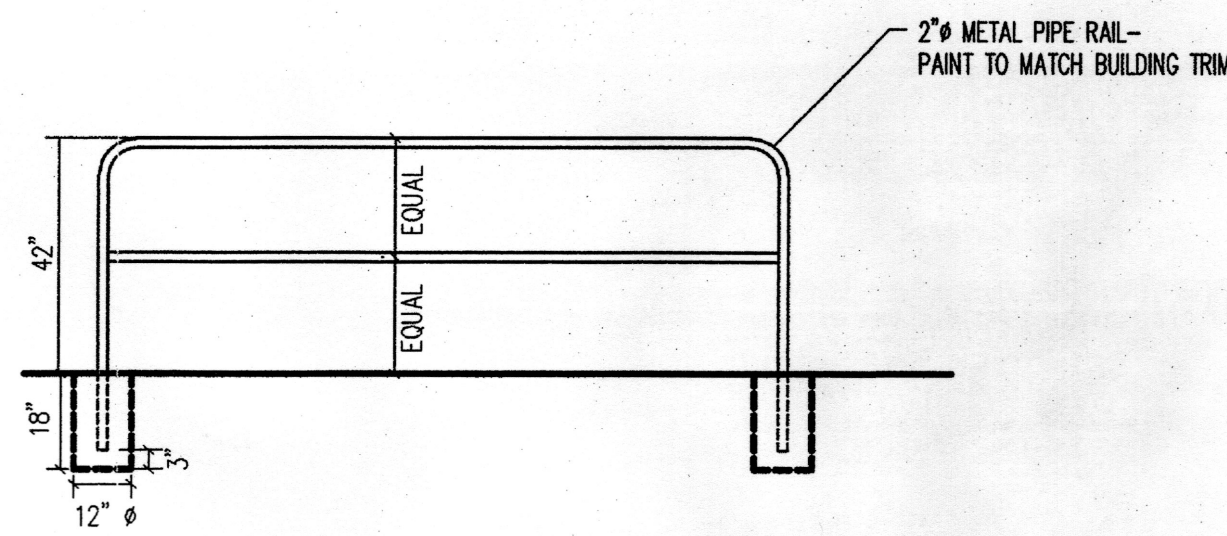
---	PROPERTY BOUNDARY
---	NEW CURB AND GUTTER
---	NEW CONCRETE
15	PARKING TOTAL PER AISLE
+	NEW LIGHT
J	GUY ANCHOR
●	POWER POLE



10' PNM Gas and Electric Easement  
filed 12-13-2005 in Book A108,  
Pages 1964-67

BUILD WC RAMP PER  
COA STD DWG 2441  
W/ TACTILE WARNING  
DEVICES SEE C1.1

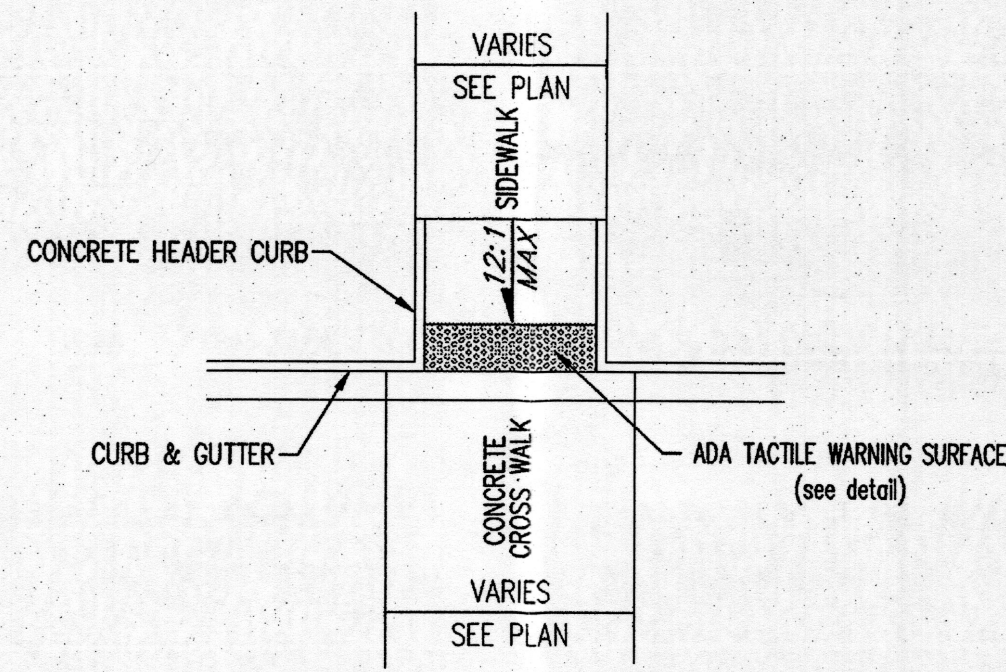




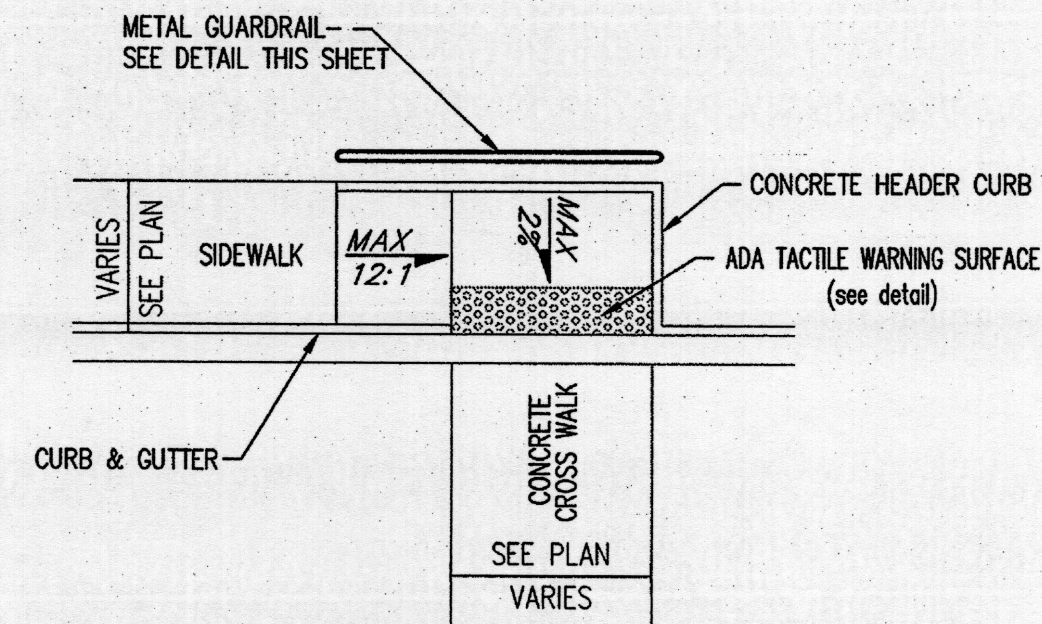
**METAL GUARDRAIL DETAIL**  
NOT TO SCALE



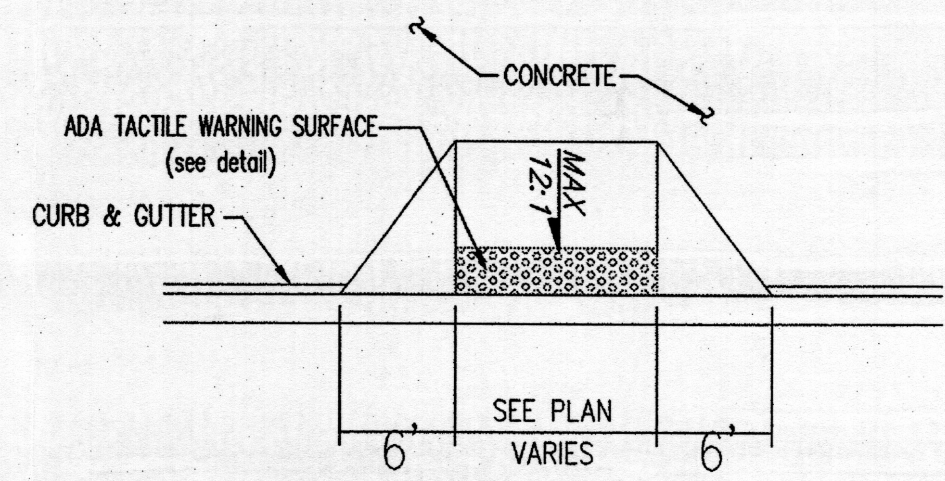
**ADA TACTILE WARNING SURFACES**  
NOT TO SCALE



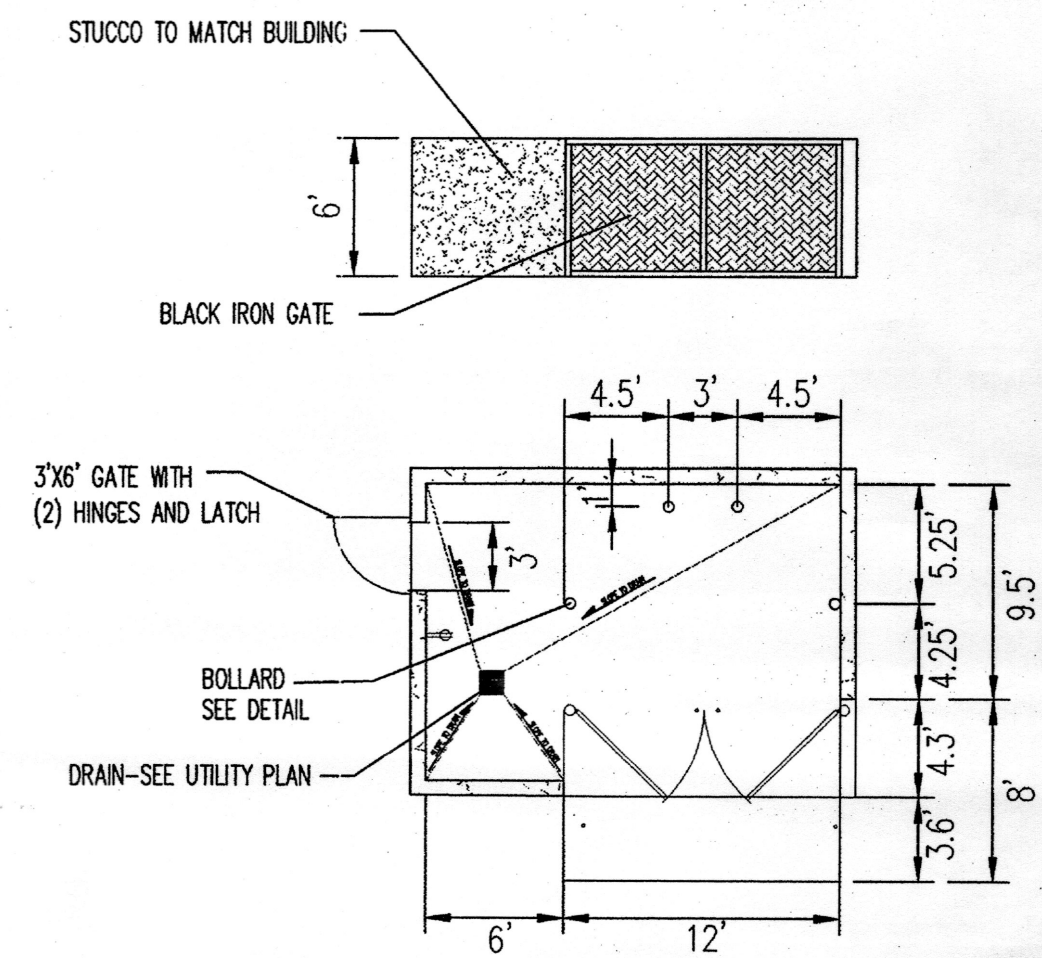
**TYPE 'A' HANDICAP RAMP DETAIL**  
NOT TO SCALE



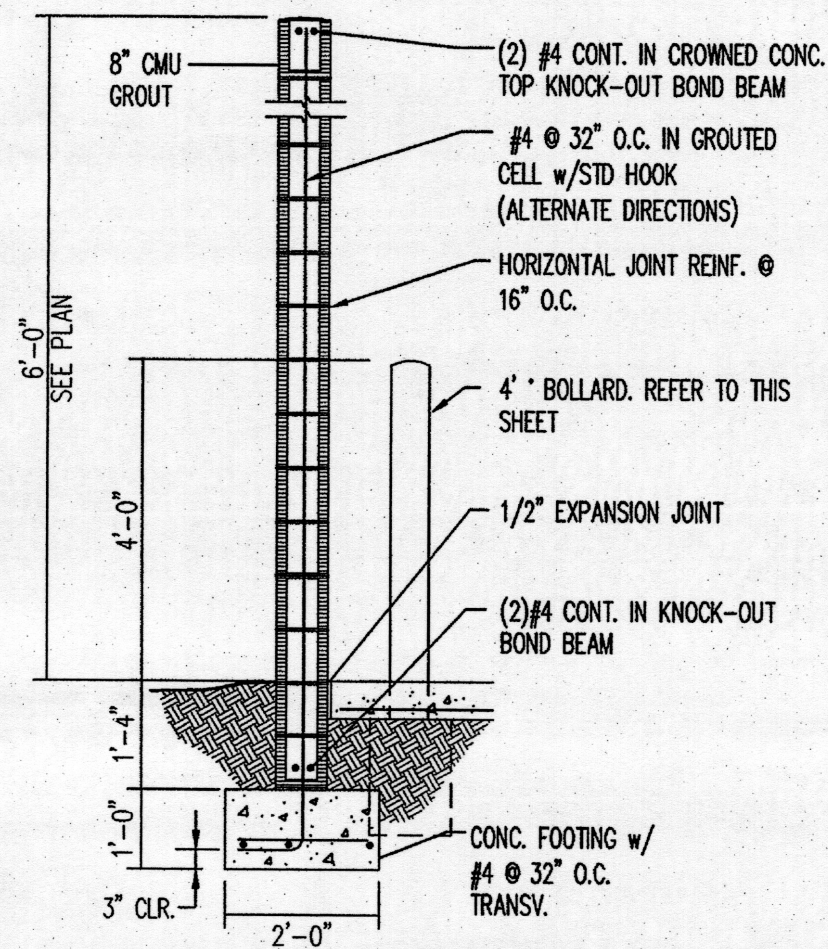
**TYPE 'B' HANDICAP RAMP DETAIL**  
NOT TO SCALE



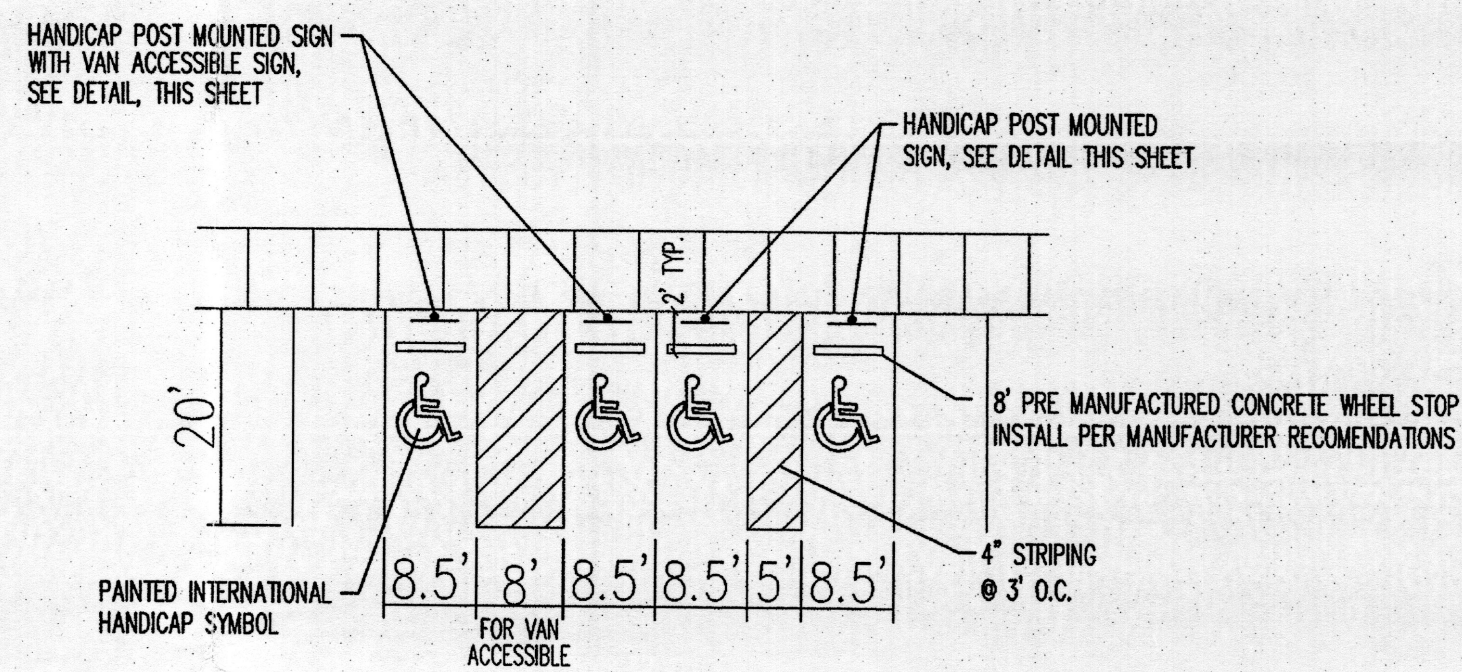
**TYPE 'C' HANDICAP RAMP DETAIL**  
NOT TO SCALE



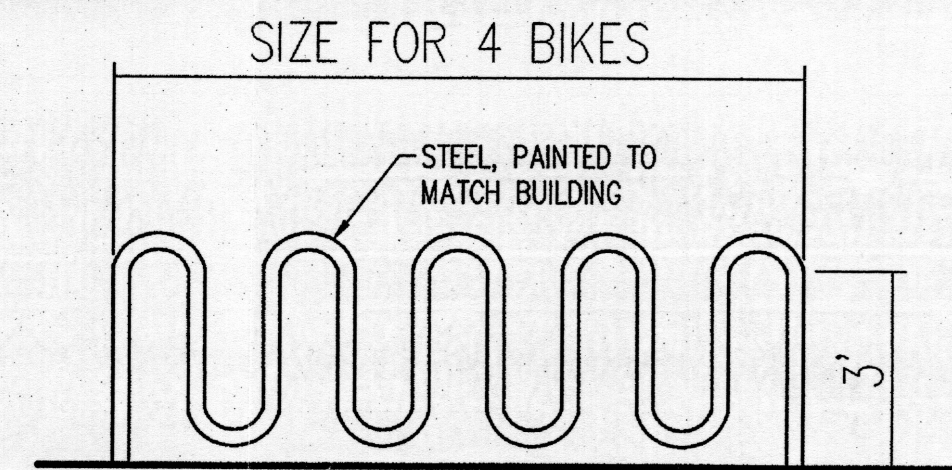
**REFUSE AND RECYCLE ENCLOSURE**  
NOT TO SCALE



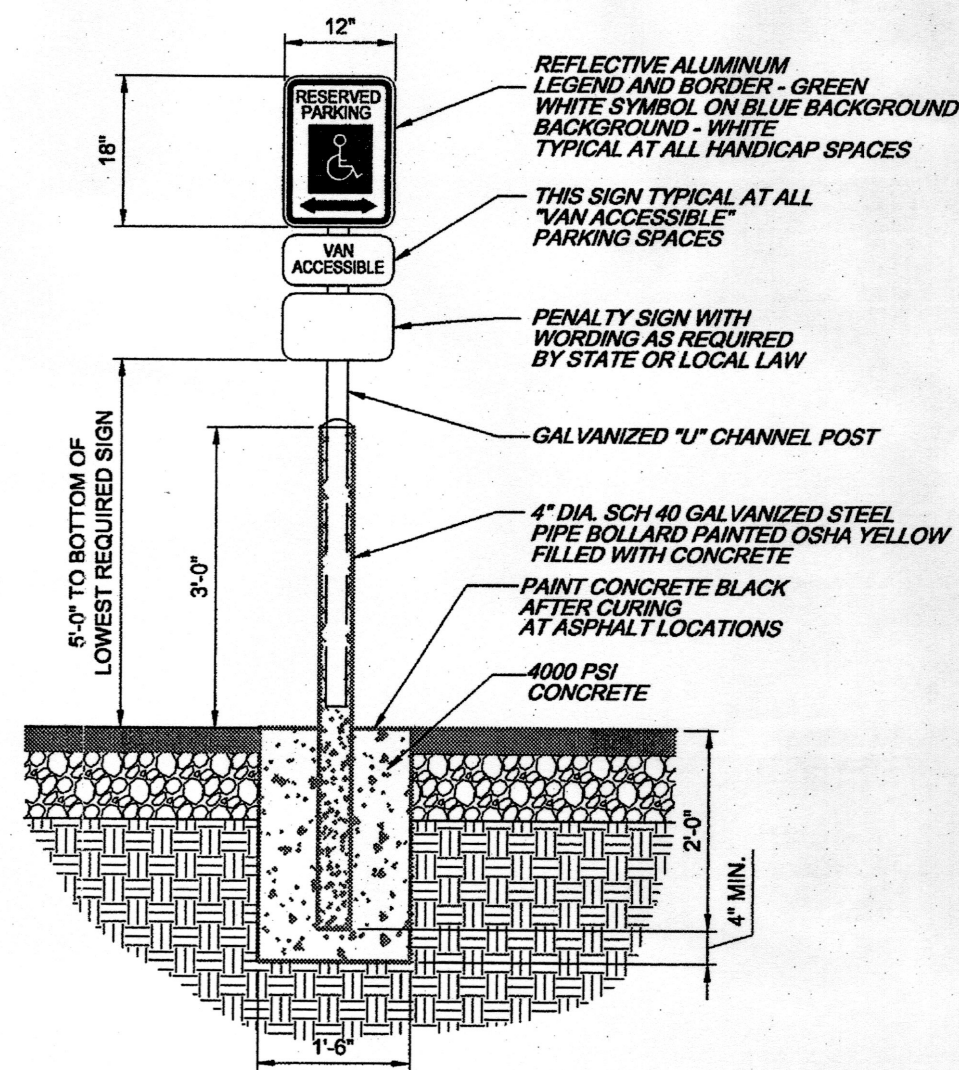
**CMU WALL**  
NOT TO SCALE



**TYPICAL HANDICAP PARKING DETAIL**  
NTS

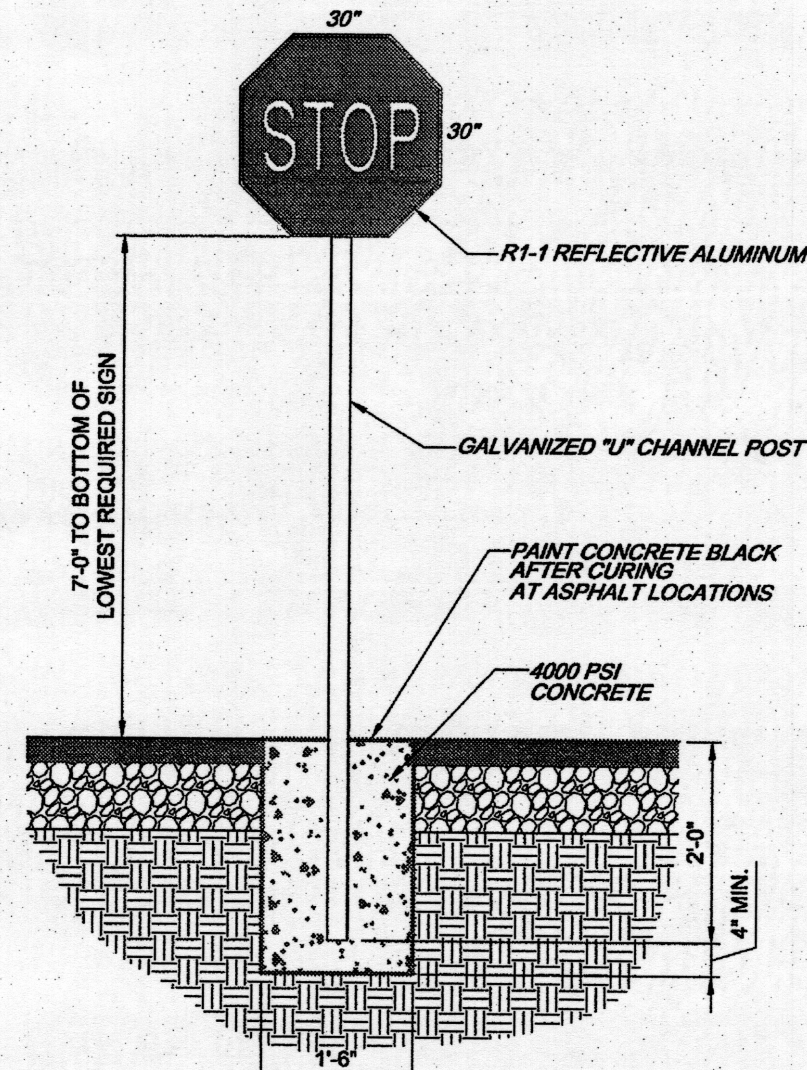


**BIKE RACK**  
NTS

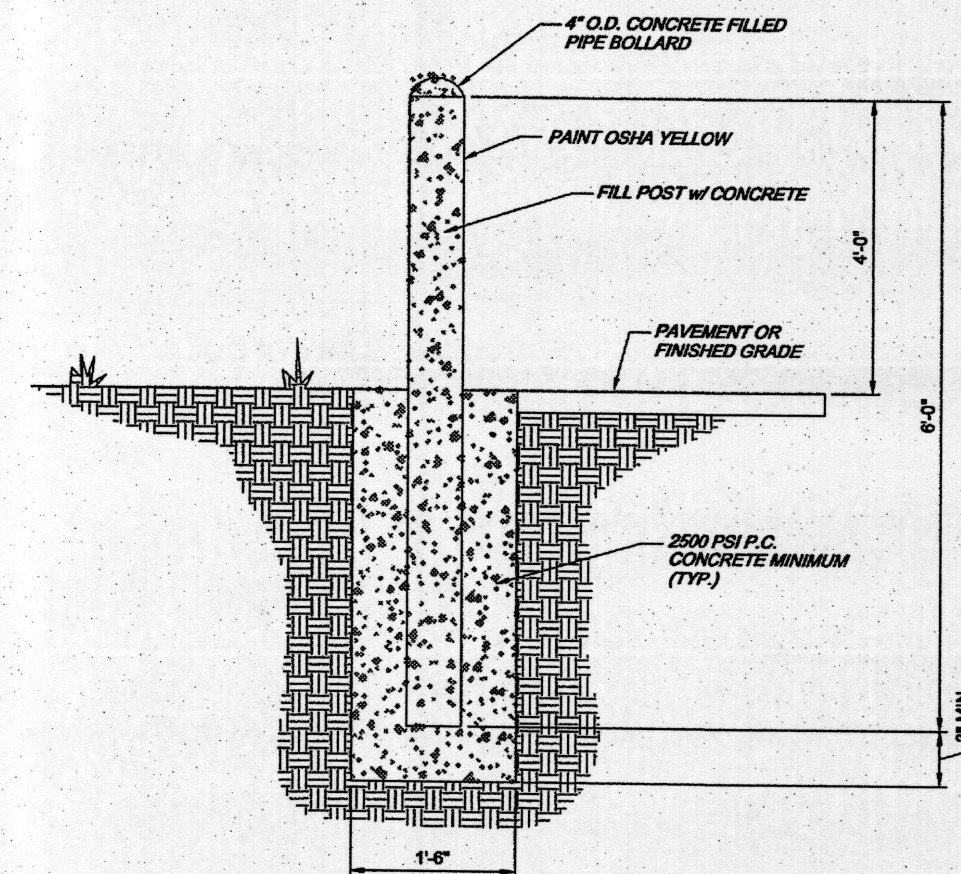


**HANDICAP PARKING SIGN**  
NOT TO SCALE

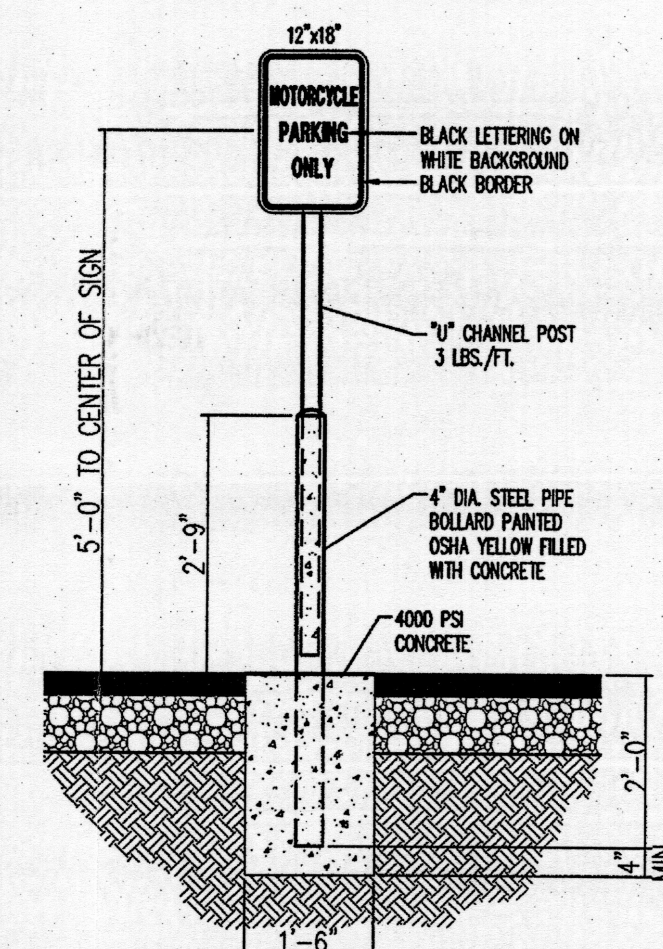
ONE AT EACH HANDICAP SPACE.  
WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY,  
THERE SHALL BE ONE POST WITH SIGNS MOUNTED ON BOTH SIDES.



**STOP SIGN DETAIL**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE



**MOTORCYCLE PARKING SIGN DETAIL**  
NOT TO SCALE



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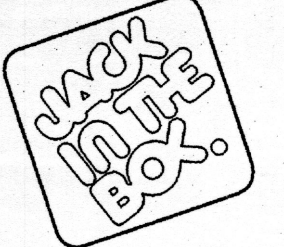
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CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

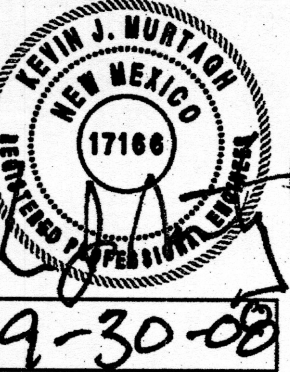
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JACK IN THE BOX #1265  
CENTRAL/ CONCHAS  
ALBUQUERQUE, NEW MEXICO



**Bohman & Huston**  
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1700 Johnson St. Albuquerque, NM 87102-2000  
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ALBUQUERQUE, NM  
DRAWN BY: LJCA  
SCALE: \_\_\_\_\_

Master Detail  
Sheet  
October 2008  
C1.1

