

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 17, 2025

John Stapleton, PE
Community Design Solutions
9384 Valley View Dr. NW
Albuquerque, NM 87114

RE: Jackson's Residence
8601 Eagle Rock Ave NE
Grading and Drainage Plans
Engineer's Stamp Date: 12/08/2025
Hydrology File: C20D021
Case # HYDR-2025-00440

Dear Mr. Stapleton:

Based upon the information provided in your submittal received 12/09/2025, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

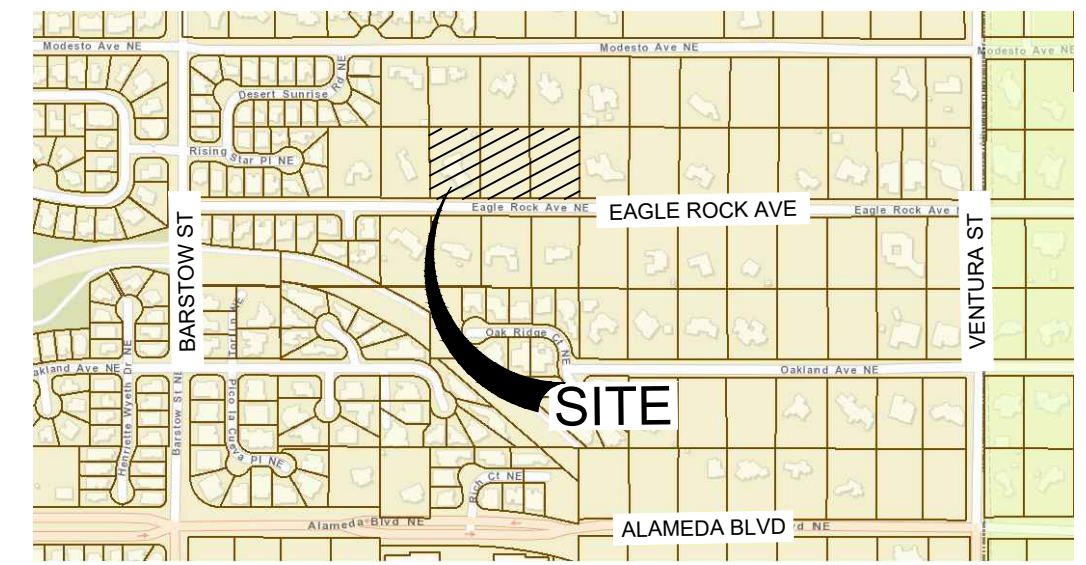
Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

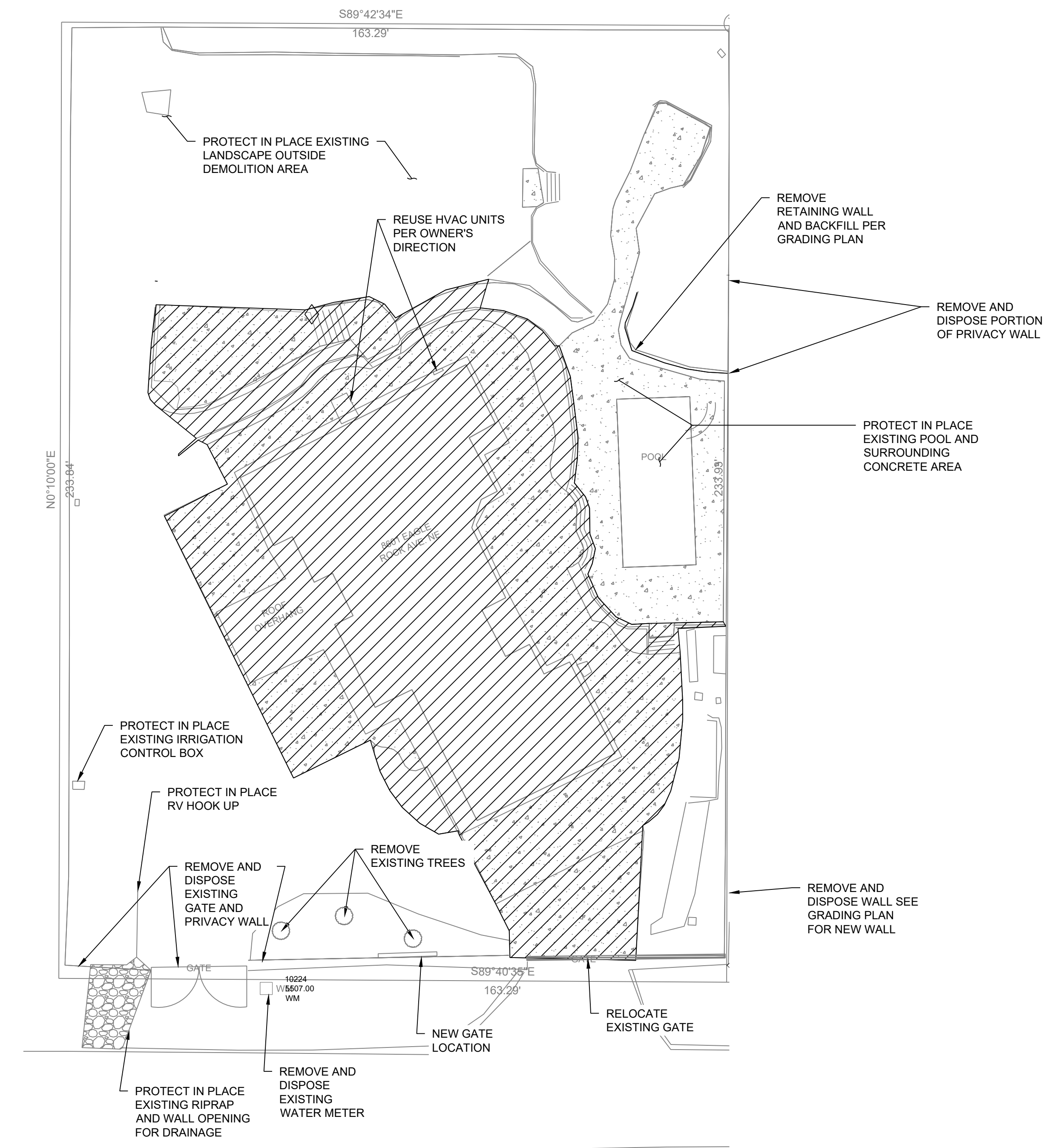
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 12/17/2025
 BY: *[Signature]*
 HydroForm #: C20D021

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
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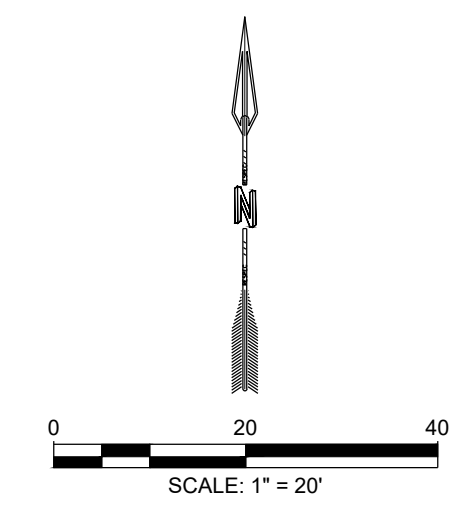
CDS
 COMMUNITY DESIGN SOLUTIONS, LLC
 9384 VALLEY VIEW DR NW, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87114
 PHONE: (505)366-4187



LOCATION MAP



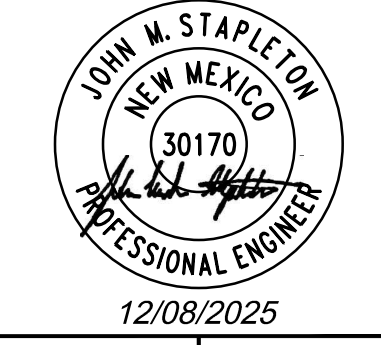
LEGEND
 DEMOLITION AREA



REVISIONS:

NO.	DATE:	DESCRIPTION	DESIGNED	BY
			SD	
			SD	
			JMS	

ISSUED FOR: PRELIM APPROVAL
 CHECKED DATE: 06.11.25



PROJECT NAME:
 JACKSON'S RESIDENCE
 8601 EAGLE ROCK AVE NE
 ALBUQUERQUE NM

SHEET TITLE:
 DEMO PLAN

CDS PROJ. NO. 760125

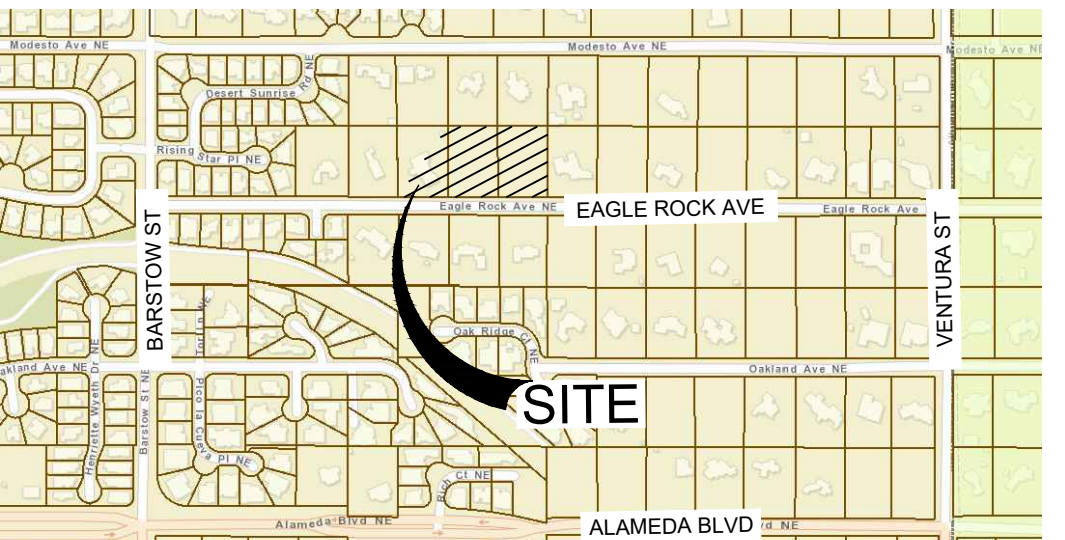
OTHER PROJ. NO.

SHEET NO:
1 OF 5

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 12/17/2025
BY: *Justin M. [Signature]*
HydroTeam # C20D021

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PROMISE THE CITY OF ALBUQUERQUE FROM BACKLOGGING OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
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COMMUNITY DESIGN SOLUTIONS, LLC

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ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

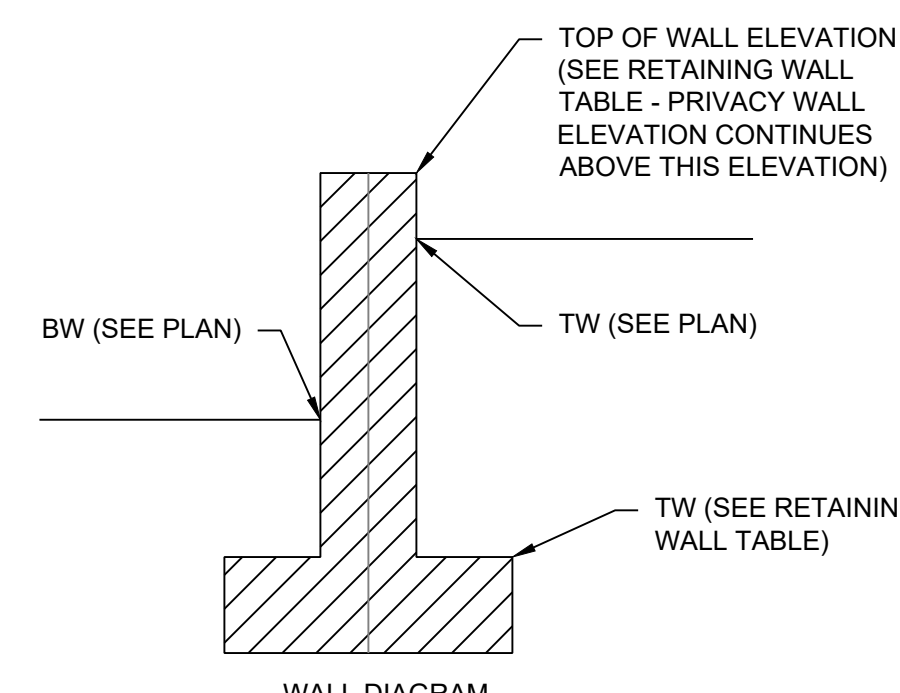
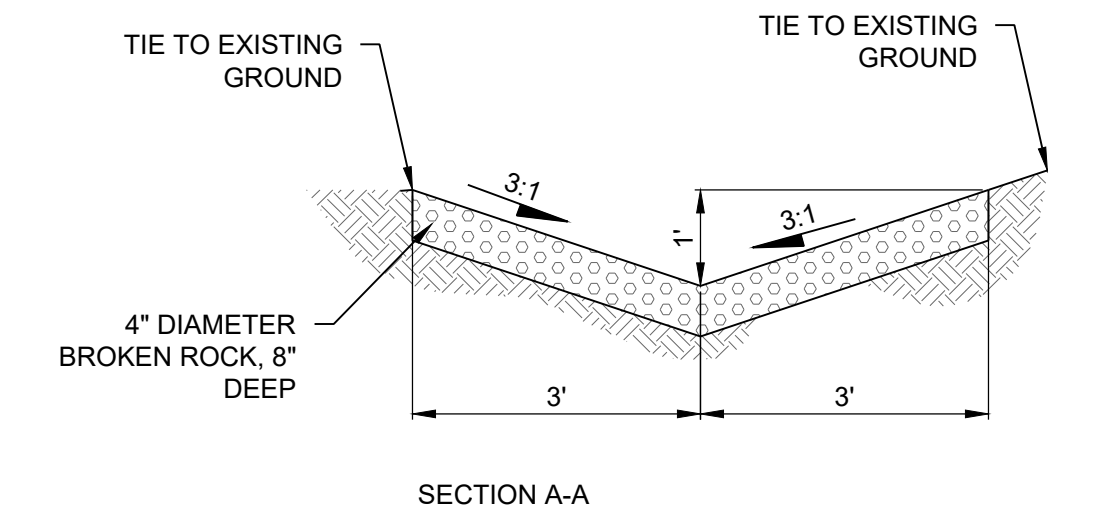
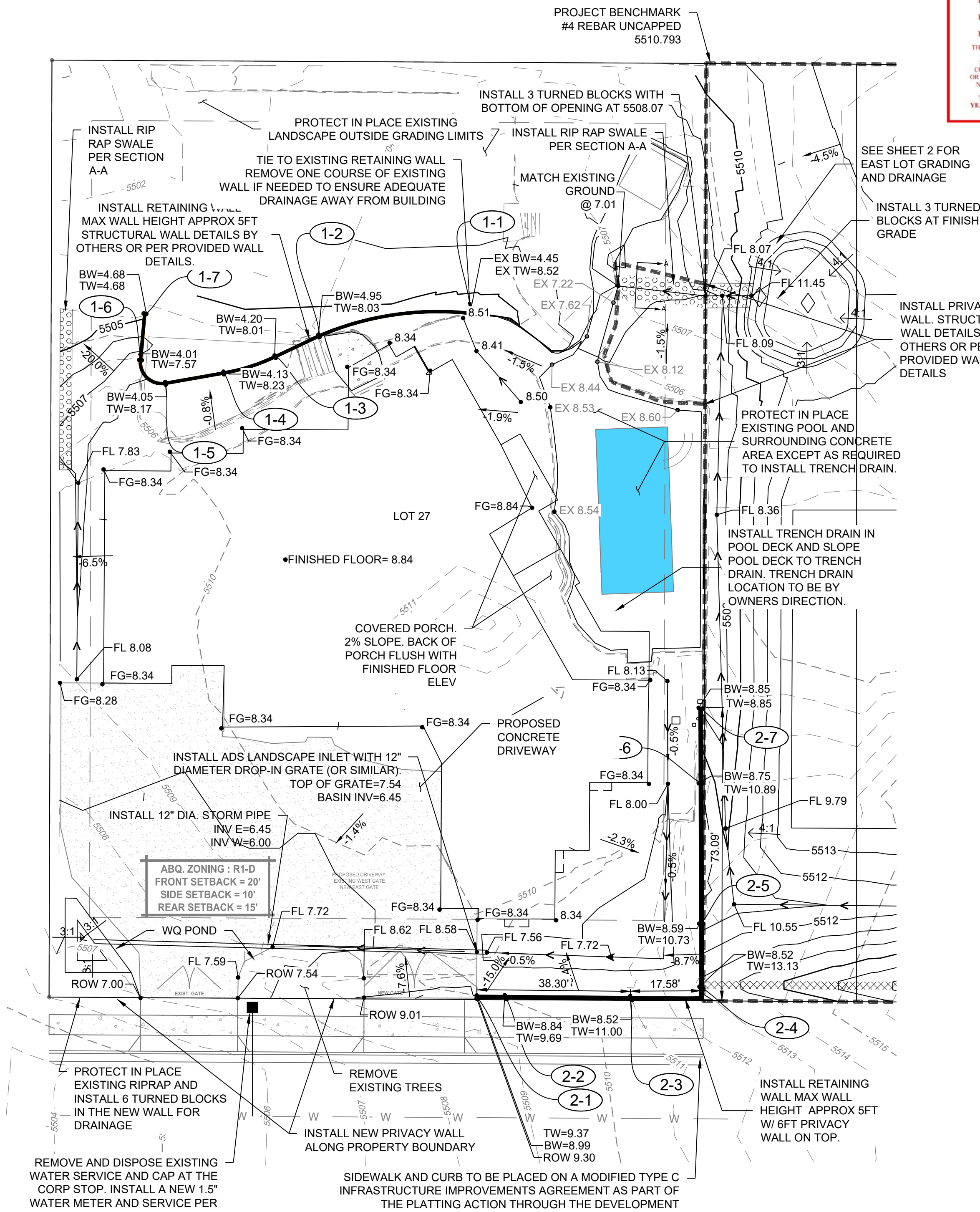
FIRMETTE MAP 35001C0133H

LOCATION MAP

LEGAL DESCRIPTION:
LOTS 25, 26, AND 27 OF NORTH
ALBUQUERQUE ACRES TRACT 3, UNIT 3

LEGEND

---	PROPERTY LINE
---	BUILDING ENVELOPE
---	LIMITS OF DISTURBANCE
---	EX CONTOUR MAJOR
---	EX CONTOUR MINOR
---	PROP CONTOUR MAJOR
---	PROP CONTOUR MINOR
---	SWALE
FL = 80.00	TOP OF FINISHED GRADE ELEVATION (SEE NOTE 11)
80.00 FL	ELEV AT FLOWLINE INVERT
BW = 80.00	BOTTOM OF RETAINING WALL ELEVATION
TW = 80.00	TOP OF RETAINING WALL ELEVATION
80.00 ROW	ELEVATION AT RIGHT OF WAY
[Pattern]	2" - 4" STONE, UNLESS SPECIFIED OTHERWISE
[Pattern]	TOP OF BERM
[Pattern]	PROPOSED RETAINING WALL



RETAINING WALL TABLE

WALL POINT	TOP OF FOOTING ELEVATION	TOP OF WALL ELEVATION	WALL HEIGHT (FT)	APPROX. DIST.(FT)
1-1	3.85	8.52	4.67	40.00
1-2	3.85	8.52	4.67	12.00
1-3	3.18	8.52	5.34	14.00
1-4	3.18	8.52	5.34	15.00
1-5	3.18	8.52	5.34	10.00
1-6	3.18	7.85	4.67	12.00
1-7	3.18	5.18	5.34	12.00
2-1	7.67	10.33	2.66	16.00
2-2	7.67	11.00	3.33	32.00
2-3	7.67	11.67	4.00	20.00
2-4	7.67	13.67	6.00	16.00
2-5	7.67	11.00	3.33	35.00
2-6	7.67	11.00	3.33	19.00
2-7	7.67	9.00	3.33	19.00

GRADING NOTES

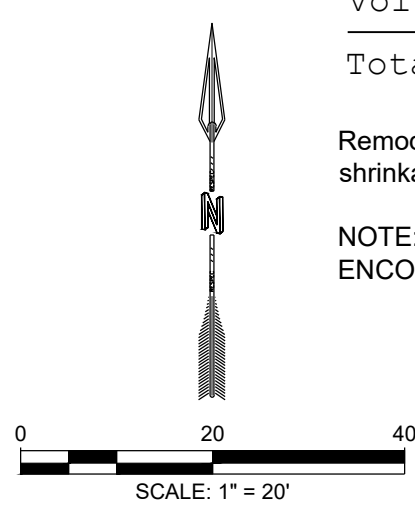
1. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
2. NO GRADING SHALL OCCUR ON THE ADJACENT PROPERTY OWNERS AND/OR RIGHTS OF WAY WITHOUT THE WRITTEN PERMISSION OF THE OWNER. NO SUCH PERMISSION IS IMPLIED HEREIN.
3. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
4. GRADING EXTENTS AT LIMITS OF DISTURBANCE TO MATCH EXISTING GRADE.
5. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
6. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
7. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE RE-VEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED. UNLESS INDICATED OTHERWISE ON THESE PLANS, NATIVE GRASS SEEDING SHALL BE IN ACCORDANCE WITH SECTION 1012 OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. THE OWNER IS RESPONSIBLE FOR CONTROL OF DUST FROM ALL DISTURBED AREAS.
8. ALL AREAS INDICATED WITH SLOPES GREATER THAN 2.7:1 SHALL BE RE-VEGETATED WITH NATIVE GRASS SEEDING WITH GRAVEL MULCH IN ACCORDANCE WITH SECTION 1012 OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. GRAVEL MULCH SHALL BE PLACED BY HAND OR MECHANIZED EQUIPMENT THAT PROVIDES FULL COVERAGE AT A UNIFORM THICKNESS OF 2 INCHES IN DEPTH. GRAVEL SHALL BE CRUSHED GRAVEL 3/8" TO 1" MAXIMUM SIZE WITH A MINIMUM OF ONE FRACTURED FACE.
9. ALL ROOF DOWNSPOUTS TO INCLUDE A SPLASH BLOCK.
10. ACTUAL HOME PLAN MAY VARY FROM THE FLOOR PLAN SHOWN. DEPICTED GRADING CAN ACCOMMODATE ALTERNATE FLOOR PLANS WITH EQUAL OR LESSER DIMENSIONS.
11. GRADES SHOWN ARE TO TOP OF FINAL SURFACE. ADDITIONAL SOIL REMOVALS SHALL BE PERFORMED AS REQUIRED TO ALLOW FOR SURFACING MATERIALS AS APPROPRIATE.
12. FINISHED FLOOR ASSUMED TO BE 6" ABOVE FINISHED PAD AS SHOWN ON PLAN.

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Volume	1.00	1.25	100679.79 Sq. Ft.	3606.70 Cu. Yd.	3070.32 Cu. Yd.	536.38 Cu. Yd.<Cut>
Totals			100679.79 Sq. Ft.	3606.70 Cu. Yd.	3070.32 Cu. Yd.	536.38 Cu. Yd.<Cut>

Remodel of existing house pad requires an additional 530 CY of fill to accommodate for over-excavation shrinkage. Net export is 0 CY.

NOTE: EARTHWORK CALCULATIONS ACCOUNT FOR THE EXISTING HOUSE REMODEL AND ENCOMPASS BOTH ADJACENT LOTS TO THE EAST.

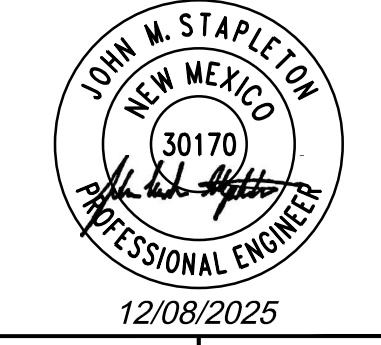


NAME: P:\760125 Jackson Residence\3_DWG\2_Sheets\Grading Plan.dwg PLOT DATE: Dec 08, 2025 5:17pm

REVISIONS:

NO.	DATE:	DESCRIPTION	BY:
			DESIGNED SD
			DRAWN SD
			CHECKED JMS
			DATE 06.11.25

ISSUED FOR: PRELIM APPROVAL



12/08/2025

JACKSON'S RESIDENCE
8601 EAGLE ROCK AVE NE
ALBUQUERQUE NM

EXISTING HOUSE REMODEL
GRADING PLAN

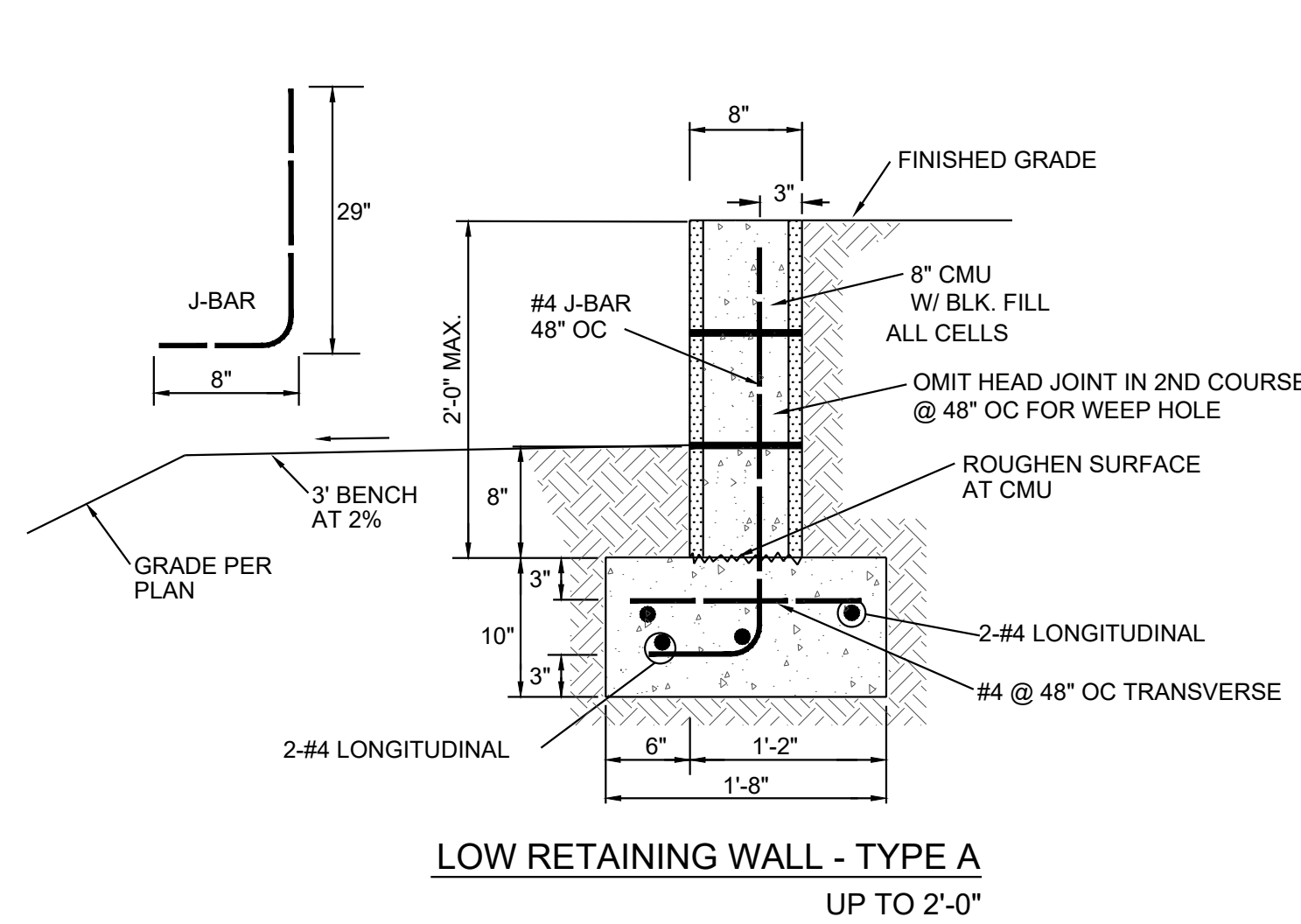
PROJECT NAME:
CDS PROJ. NO. 760125

OTHER PROJ. NO.

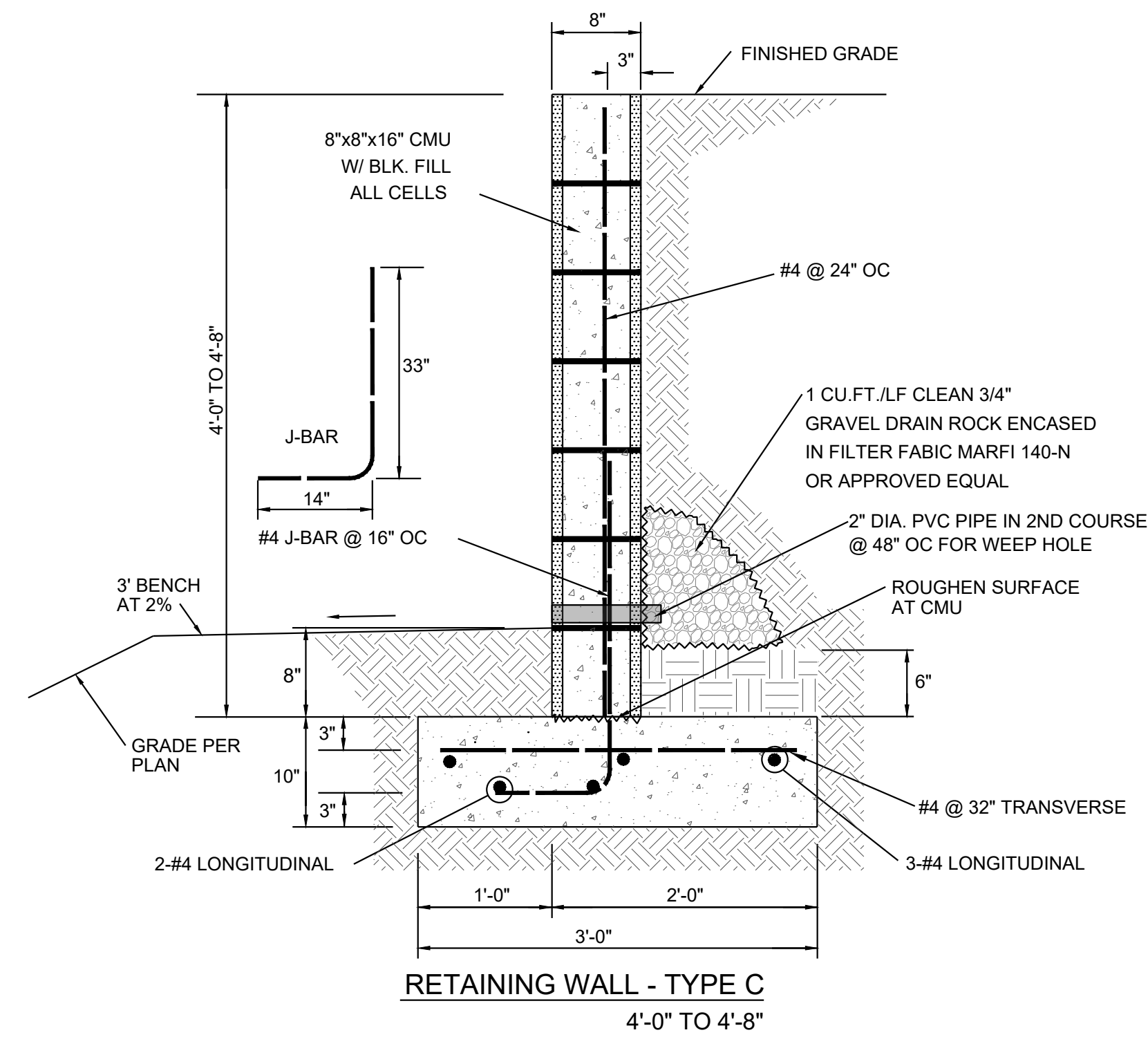
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2 OF 5

RETAINING WALL GENERAL NOTES

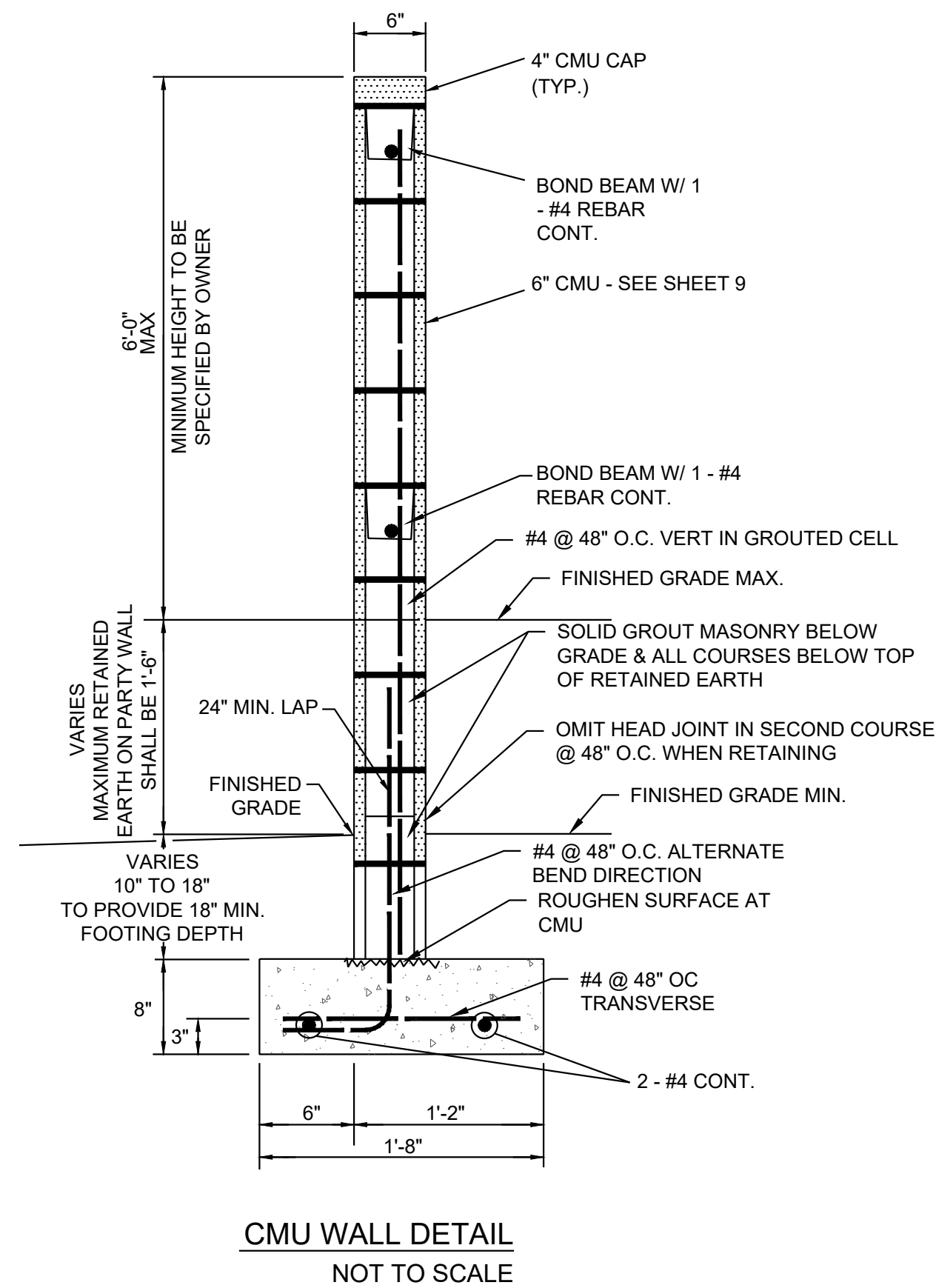
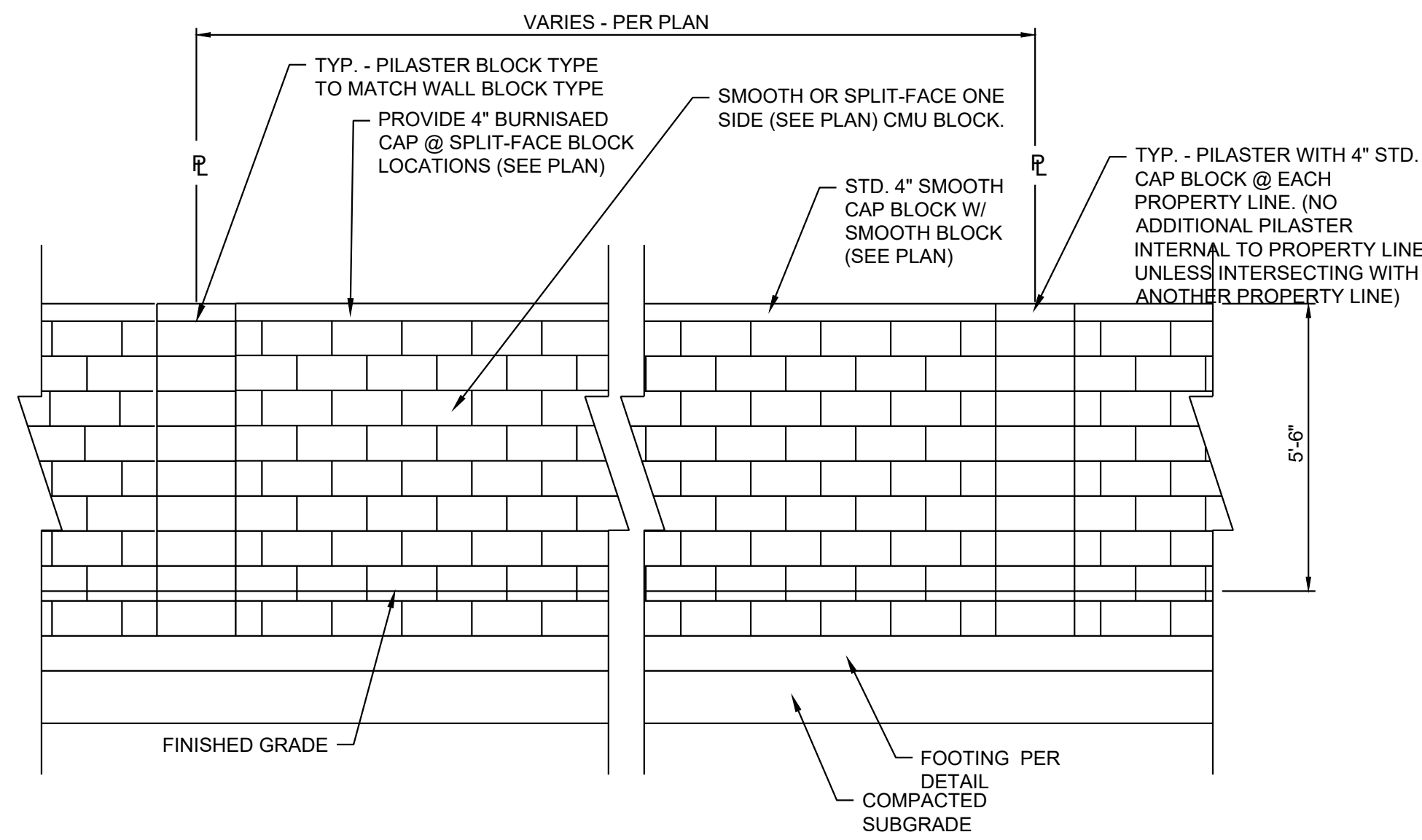
1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE. 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL BLOCKS ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL. GROUT SHALL MEET OR EXCEED 2,000 P.S.I AT 28 DAYS.
5. CONCRETE FOR FOOTINGS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8"x8"x16" OR AS OTHERWISE INDICATED) AND SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C90.
8. ALL REINFORCING SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A615, GRADE 40.
9. INSTALL 9 GA., GALV. DUR-O-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" OC, MAX.).
10. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
11. THE TOP COURSE OF BLOCK SHALL USE 4" SOLID MASONRY UNITS AS CAPS, UNLESS A CMU PARTY OR PERIMETER WALL IS TO BE INSTALLED ON TOP OF A RETAINING WALL.
12. DRAIN BLOCKS FOR PARTY WALLS, AT LOCATIONS SHOWN ON THE PLANS AND AS SPECIFIED BY OWNER, SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE PARTY WALL ABOVE THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED.
13. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFFITI COATING. USE PROSOCO DEFACER ERASER OR APPROVED EQUAL. (AT OWNERS DIRECTION).
14. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTERS AT 16' ON CENTER (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
15. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS DIRECTION.
16. IF NO PILASTERS ARE TO BE CONSTRUCTED THE APPROPRIATE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 12' O.C. MAXIMUM SPACING.
17. ALL WALLS SHOWN HERE ON HAVE BEEN DESIGNED TO ACCEPT A 6" (MAX.) CMU PARTY WALL.
18. FOR LOCATIONS TO INCLUDE PARTY WALLS, EXTEND #4 BARS AT 48" O.C. WITH MINIMUM INBEDMENT OF 24" IN RETENTION WALL.
19. WATERPROOFING SHALL BE HYDROCIDIC LIQUID MEMBRANE HLM 5000 OR APPROVED EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.
20. PARTY WALL DETAILS NOT INCLUDED, TO BE PROVIDED BY OWNER.
21. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.



NOTE:
FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.



NOTE:
FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.



CMU WALL GENERAL NOTES

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2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE. 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL CELLS WITH REBAR AND ALL MASONRY BELOW GRADE ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL.
5. CONCRETE FOR FOOTINGS AND FILLING OF CELLS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS
8. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
9. THE TOP COURSE OF BLOCK SHALL BE 4" SOLID MASONRY UNIT CAPS UNLESS OTHERWISE SHOWN.
10. DRAIN BLOCKS FOR PARTY WALLS SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE PARTY WALL AT LOCATIONS SHOWN ON PLAN AND/OR SPECIFIED BY THE OWNER.
11. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN:
 - A. CONSTRUCT PILASTERS AT 16' ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION.
 - B. PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS OTHERWISE SHOWN.
 - C. PROVIDE "J-BAR" AND VERTICAL BAR, IF NORMAL SPACING DOES NOT DO SO, OF SPECIFIED SIZE AT EACH PILASTER.
 - D. ALL PILASTER CELLS ARE TO BE GROUTED WITH CONCRETE BLOCK FILL.
12. IF NO PILASTERS ARE TO BE CONSTRUCTED THEN:
 - A. PROVIDE APPROPRIATE EXPANSION/CONTRACTION JOINTS AT 12' O.C. MAXIMUM SPACING.
 - B. PROVIDE "J-BAR" AND VERTICAL BAR OF SPECIFIED SIZE, IF NORMAL SPACING DOES NOT DO SO, AND GROUT FILL FIRST CELL ON EITHER SIDE OF EXPANSION/CONTRACTION JOINTS.
 - C. DISCONTINUE BOND BEAM AT EXPANSION/CONTRACTION JOINTS.
13. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS DIRECTION UNLESS OTHERWISE SPECIFIED HEREIN.
14. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12/17/2025
BY: *[Signature]*
HydroTrans # C20D021
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NO.	DATE:	DESCRIPTION	DESIGNED BY	SD	DRAWN BY	SD	CHECKED BY	JMS	DATE
									06.11.25

PRELIM APPROVAL

REVISIONS:

JOHN M. STAPLETON
NEW MEXICO
30170
PROFESSIONAL ENGINEER
12/08/2025

PROJECT NAME: JACKSON'S RESIDENCE
8601 EAGLE ROCK AVE NE
ALBUQUERQUE NM

SHEET TITLE: WALL DETAILS

CDS PROJ. NO. 760125

OTHER PROJ. NO.

SHEET NO: 3 OF 5

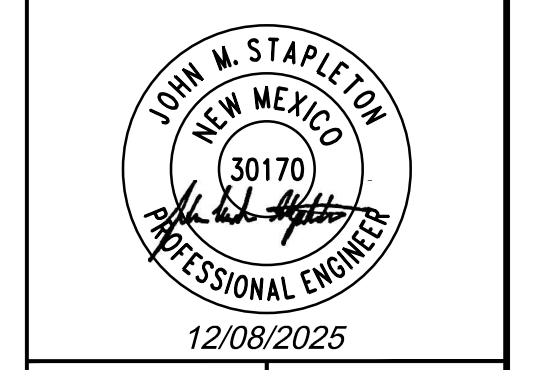
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APPROVED
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 PHONE: (505)366-4187

NO.	DATE:	DESCRIPTION	DESIGNED SD	BY
			DRAWN SD	
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ISSUED FOR: PRELIM APPROVAL



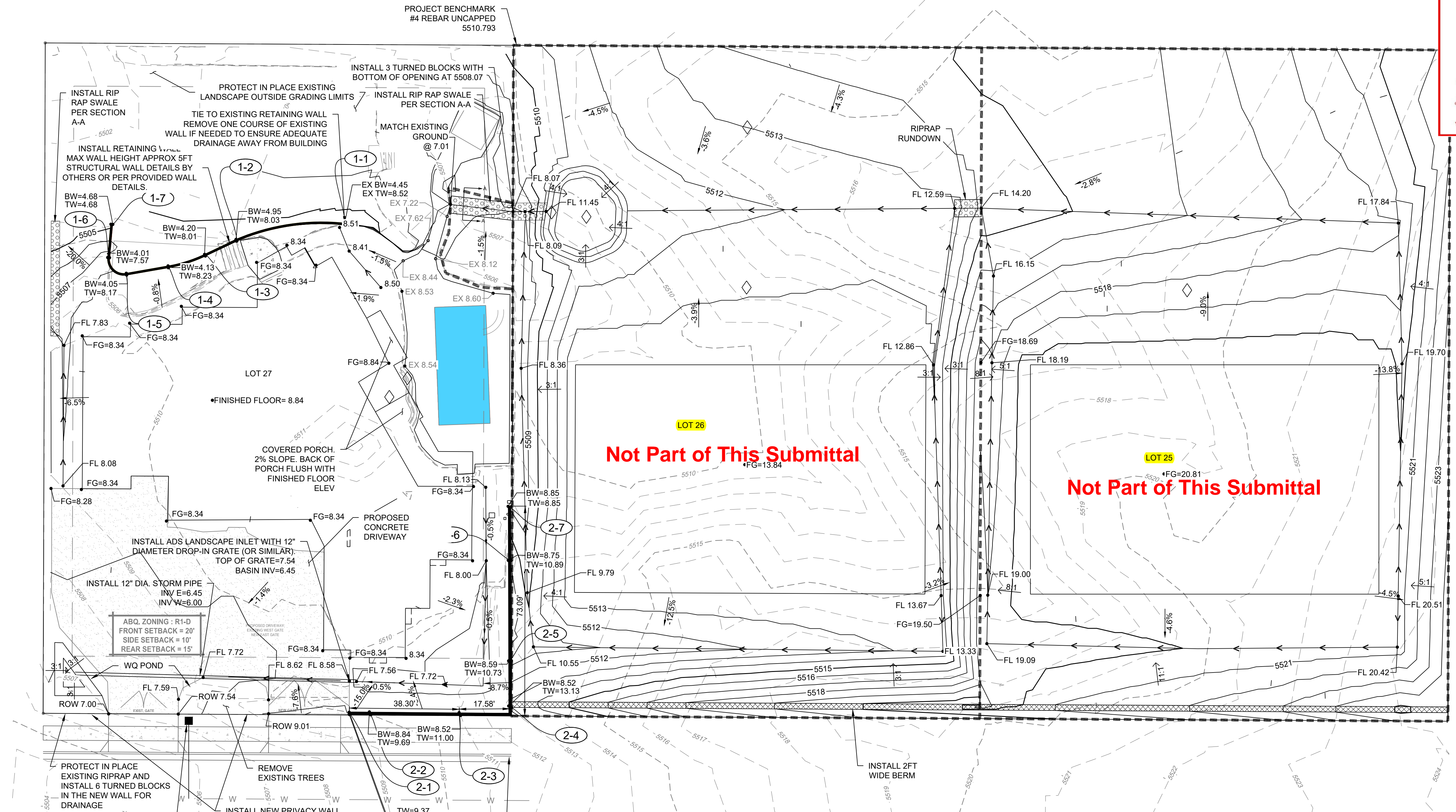
PROJECT NAME: JACKSON'S RESIDENCE
 8601 EAGLE ROCK AVE NE
 ALBUQUERQUE NM

SHEET TITLE: OVER ALL GRADING PLAN

CDS PROJ. NO. 760125

OTHER PROJ. NO.

SHEET NO: 4 OF 5

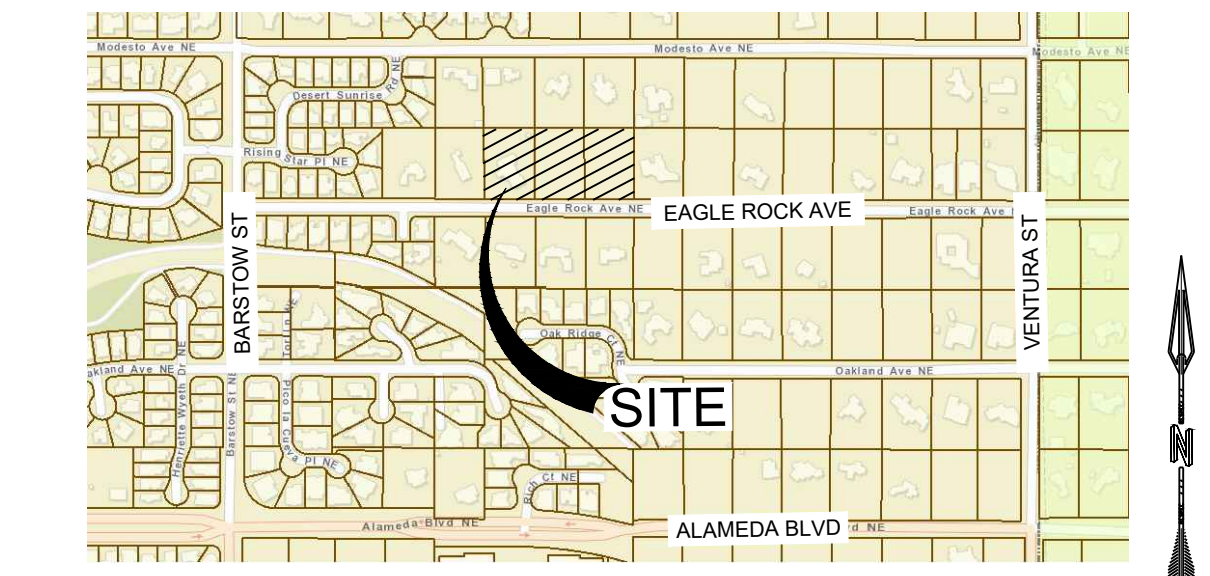


Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
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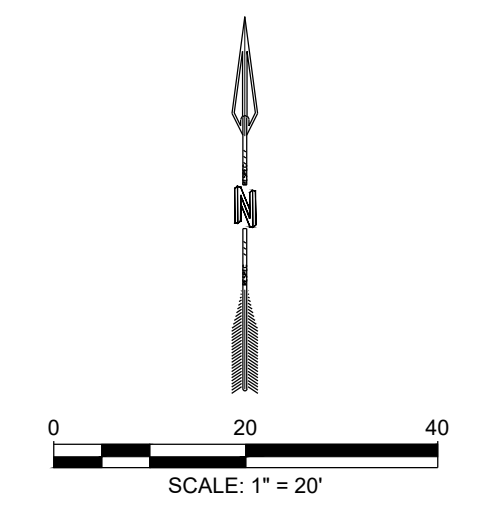
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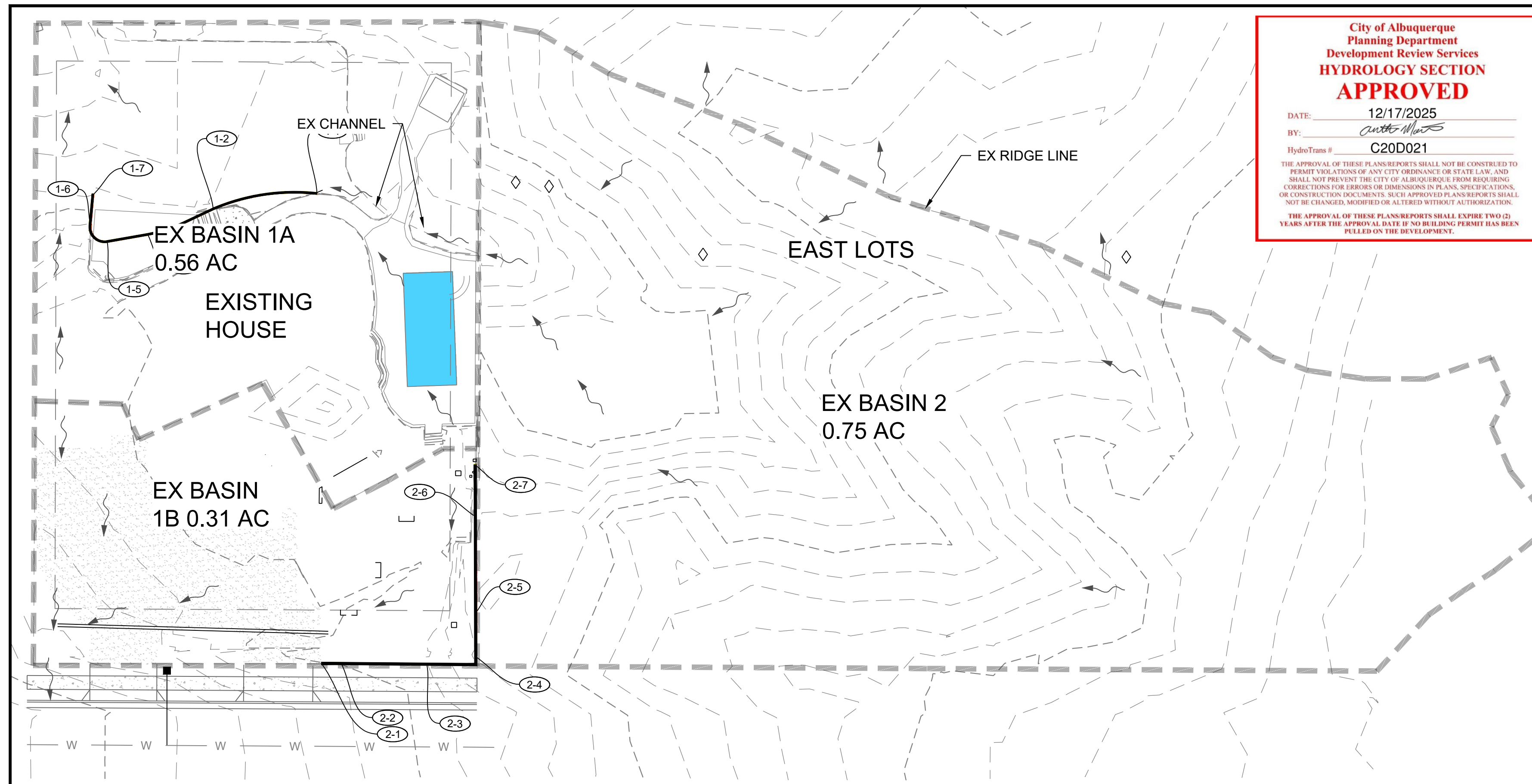
- LEGEND**
- PROPERTY LINE
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 - FG = 80.00 ↑ TOP OF FINISHED GRADE ELEVATION (SEE NOTE 11)
 - 80.00 FL ↓ ELEV AT FLOWLINE INVER
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- WAY**
- 2" - 4" STONE, UNLESS SPECIFIED OTHERWISE
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 - PROPOSED RETAINING WALL

LEGAL DESCRIPTION:
 LOTS 25, 26, AND 27 OF NORTH ALBUQUERQUE ACRES TRACT 3, UNIT 3



NAME: P:\760125 Jackson Residence\3 DWG\2 Sheets\Grading Plan.dwg PLOT DATE: Dec 08, 2025 5:41pm

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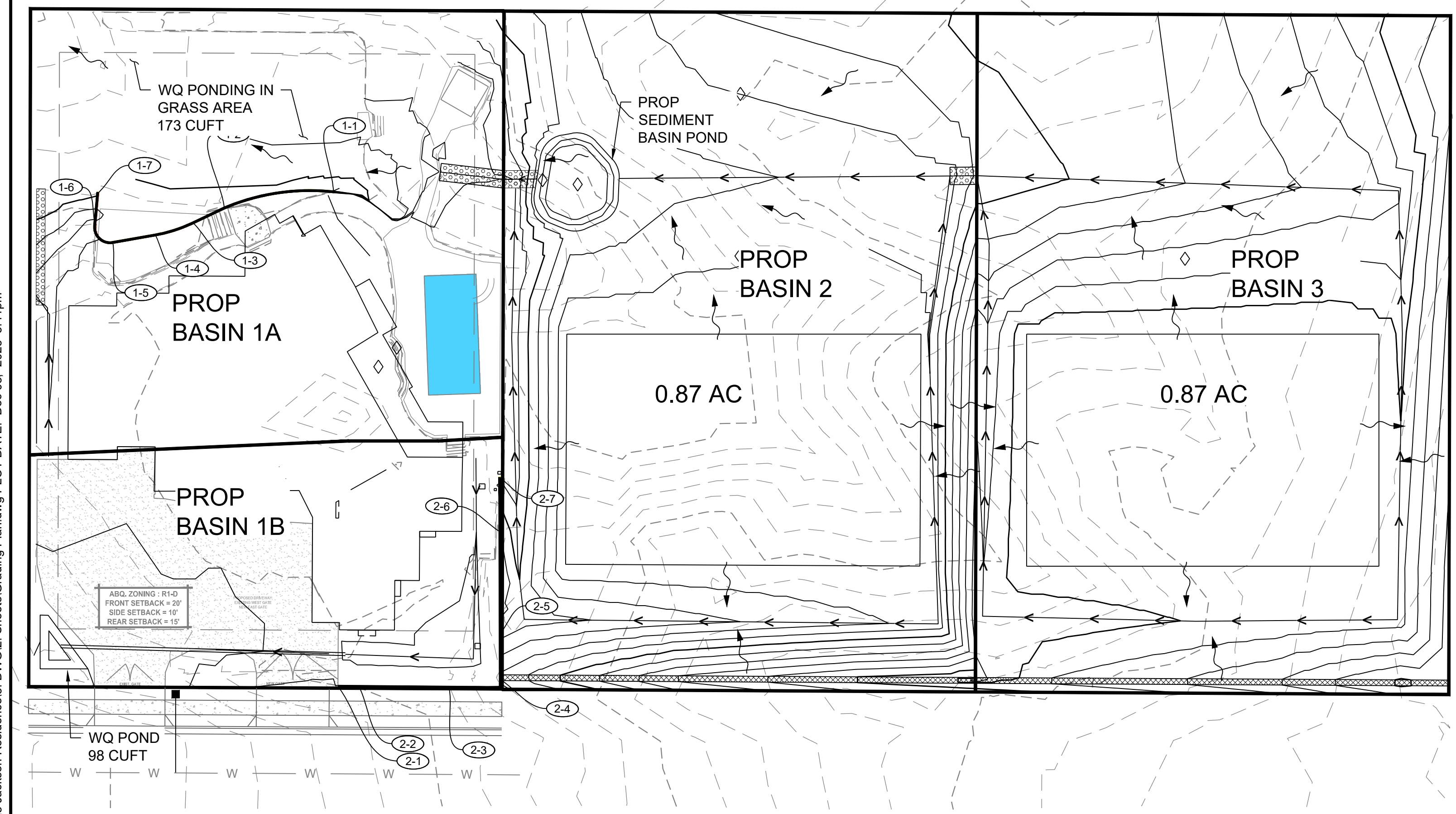


**City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED**

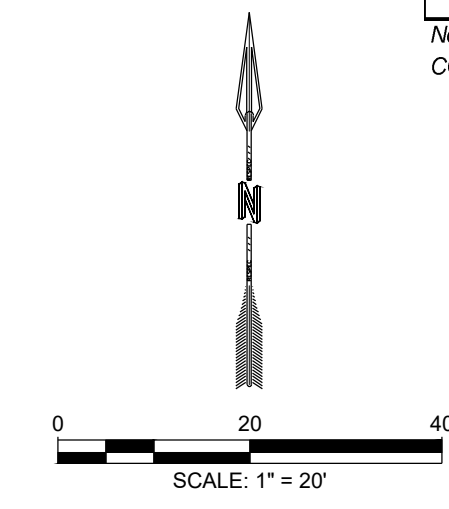
DATE: 12/17/2025
BY: *[Signature]*
HydroTrans #: C20D021

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATION OF ANY CITY ORDINANCE OR THE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

EXISTING CONDITIONS



PROPOSED CONDITIONS



1. Project Overview

This drainage report supports the proposed development of a single-family residence located at 8601 Eagle Rock Ave NE in Albuquerque, NM, along with the two adjacent undeveloped lots to the east. Hydrologic analysis was performed in accordance with the City of Albuquerque Development Process Manual (DPM), Section 6-2(A)(7) - Hydrograph for Small Watersheds.

2. EXISTING CONDITIONS

According to FEMA FIRM Panel No. 35001C01334, the site is not located within a designated floodplain.

SUBBASIN 1 consists of a developed residential lot with established landscaping. Subbasin 1 is further split into two subbasins: subbasin 1A and subbasin 1B. Surface runoff from subbasin 1A generally flows to the northwest, while the subbasin 1B drains toward the southwest. Runoff from this subbasin ultimately discharges as surface flow onto Eagle Rock Avenue.

An existing earthen channel is located on the northeast side of Subbasin 1A. This channel conveys stormwater runoff from the adjacent undeveloped lots (Subbasin 2) toward the northwest.

SUBBASIN 2 consists of two undeveloped lots that generally slope from east to west. Surface runoff follows the existing topography and drains toward Subbasin 1, via turned blocks in the wall. Ultimately discharging into the existing earthen channel located within Subbasin 1. There are no existing drainage structures or ponding facilities within Subbasin 2.

3. Proposed Conditions

SUBBASIN 1 is an existing developed residential lot with established landscaping and a single-family structure. The proposed development includes construction of a new home located approximately on the same footprint as the original structure. Existing landscaped areas will remain undisturbed. The existing channel on the northeast side will be filled with dirt and flows from Subbasin 2 will be redirected to flow over landscaped areas to the north. The proposed development maintains the existing pattern of free discharge at approximately the same rate as the existing development.

SUBBASIN 2 & 3 will be graded to accommodate future residential construction. The proposed grading plan includes defined building pads with designated pad elevations. No impervious surfaces are proposed at this time. A 2-foot-wide berm is proposed along the southern boundary to prevent discharge from Eagle Rock Ave into the site. The allowable discharge from Subbasin 2 and 3 is governed by the North Albuquerque Acres Master Drainage Plan (NAAMDPA), which identifies the area as part of Developed Basin 111.1'.

EXISTING HOUSE DRAINAGE CALCULATIONS:

Table/Recurrence Interval	Zone
Excess100Year	3

Existing Areas of Each Treatment		Excess Precipitation	Existing Runoff	
Areas	Acres	Land Treatment	cfs/acre	cfs
Aa	0	A	1.84	0
Ab	0.281	B	2.49	0.70
Ac	0.281	C	3.17	0.89
Ad	0.315	D	4.49	1.41
Total Area		0.877		

Existing Q (cfs)	
Q	3

Proposed Areas of Each Treatment		Excess Precipitation	Prop Runoff		
Areas	Acres	Land Treatment	E (inch)	cfs/acre	cfs
Aa	0	A	0.67	1.84	0
Ab	0	B	0.86	2.49	0
Ac	0.417	C	1.09	3.17	1.32
Ad	0.460	D	2.58	4.49	2.07
Total Area		0.877			

Prop Q (cfs)	
Q	3

EAST LOTS DRAINAGE CALCULATIONS:

Calculations for proposed subbasin 3 are the same as those for subbasin 2:

Table/Recurrence Interval	Zone
Excess100Year	3

Proposed Areas of Each Treatment		Prop Runoff			
Treatment Type	% Acres	E (inch)	cfs/acre	cfs	
A		0.67	1.84	0	
B	34	0.298	0.86	2.49	0.74
C	16	0.140	1.09	3.17	0.44
D	50	0.439	2.58	4.49	1.97
Total Area		0.877			

Weighted E (inches)	
Equation 6.1	1.76

Prop Q (cfs)	
Q	3.16

WATER QUALITY PAYMENT-IN-LIEU CALCULATIONS:

Water Quality Ponding								
Basin	Total Area (ac)	Imp. (%)	Imp. Area (ac)	WQ Depth (in)	Required WQ Vol (cuft)	Provided WQ Vol (cuft)	Remaining WQ Vol (cuft)	WQ Payment in lieu (\$6/cuft)
1A	0.4385	36	0.162	0.26	153.13	98	55.13	330.76
1B	0.4385	36	0.162	0.26	153.13			See note below

Note: The required Water Quality Volume for Basin 1B is accommodated by utilizing an existing grassed area that functions as an infiltration zone in accordance with the COA(DPM) Section 6-12(A)

According to the NAAMDPA the basin land treatment include:

- 0% Type A
- 34% Type B
- 16% Type C
- 50% Type D

Based on these parameters, the allowable discharge from Subbasin 2 and 3 is 3.16 cfs. The allowable discharge per NAAMDPA is 6.12 cfs/acre.

A temporary sediment basin pond is proposed at the northwest corner of Subbasin 2. This basin will be removed upon final lot development. When the two east lots develop, they shall discharge their runoff into prop basin 1A in the location indicated on this plan and at the NAA allowable rate.

4. Methodology

HYDROLOGIC CALCULATIONS were performed following the procedures outlined in DPM Section 6-2(A)(7) - Hydrograph for Small Watersheds. The following parameters and assumptions were used:

- PRECIPITATION ZONE: The site falls within Precipitation Zone 3 per DPM Figure 6.2.3.
- DESIGN STORM: 100-year, 6-hour storm event.
- RUNOFF ESTIMATION: Peak discharge was calculated using the method outlined in DPM Section 6-2(A)(5).
- EXCESS PRECIPITATION: Weighted excess precipitation (E) values were derived using Table 6.2.13 from DPM Section 6-2(A)(4), based on land treatment and zone.

5. Hydrology Calculations

Hydrograph computations, peak discharge values, excess precipitation values, and routing results are shown in the calculation tables below.

6. Conclusion

The proposed grading and drainage plan is compliant with the City of Albuquerque DPM requirements. Each lot detains and manages its own runoff through properly graded surfaces, ponding areas, and drainage infrastructure.

LEGEND

- — — — — PROPERTY LINE
- — — — — BUILDING ENVELOPE
- - - - - EX CONTOUR MAJOR
- - - - - EX CONTOUR MINOR
- — — — — PROP CONTOUR MAJOR
- — — — — PROP CONTOUR MINOR
- — — — — EXISTING SUBBASIN
- — — — — PROPOSED SUBBASIN
- — — — — PROPOSED SWALE
- ← ← ← ← ← EXISTING FLOW ARROWS
- ← ← ← ← ← PROPOSED FLOW ARROWS

CDS
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9384 VALLEY VIEW DR NW, SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
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NO.	DATE:	DESCRIPTION	BY
		DESIGNED	SD
		DRAWN	SD
		CHECKED	JMS
		DATE	06.11.25

PRELIM APPROVAL

12/08/2025

JACKSON'S RESIDENCE
8601 EAGLE ROCK AVE NE
ALBUQUERQUE NM

DRAINAGE PLAN

PROJECT NAME:
SHEET TITLE:

CDS PROJ. NO. 760125
OTHER PROJ. NO.
SHEET NO: 5 OF 5