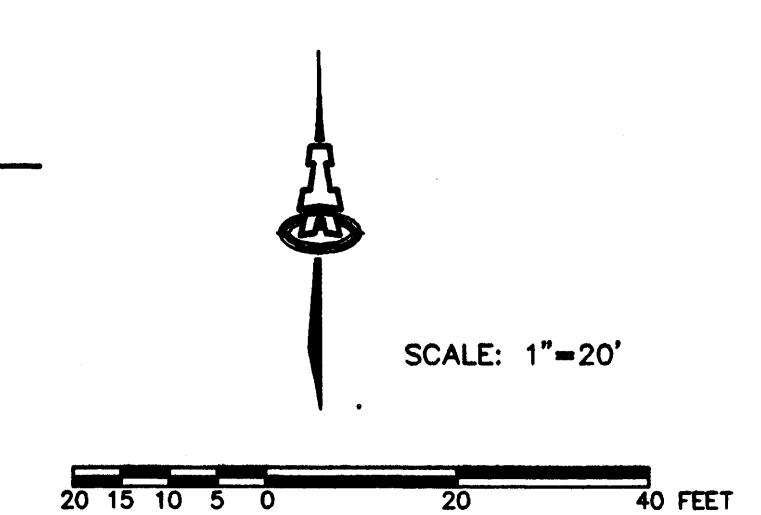




1. SITE SHALL BE SUBJECT TO THE NPDES REQUIREMENT TO HAVE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN PLACE PRIOR TO CONSTRUCTION ACTIVITIES.
2. HOLLY AVE. GRACES AS SHOWN HERON; ARE THOSE APPROVED BY THE CITY OF ALBUQUERQUE AS PART OF C.O.A. PROJECT NO.

Legal Description:
Lots 15 & 16, Block 10, North Albuquerque Acres, Tract 3 (Unit 3)

Area: 1.750 Ac. (76,230 SF)

Benchmark: ACS Monument "3-C20-1999"
NMSPC (Central Zone)
Elevation: 5569.886 (NAV 1984)

Existing Conditions: Site is situated at the northwest quadrant of the fully developed streets of Paseo del Norte and Ventura Blvd. NE. The site is undeveloped and primarily undisturbed northeast heights land. To the north is the unimproved 60-foot right-of-way of Holly Ave. and to the west lies the undeveloped remainder of the masterplanned area.

Existing topography indicates that the site is lower than Ventura Blvd. in the range of 1 to 15 feet and lower than the mid-point of Paseo del Norte in the range of 0 to 14 feet.

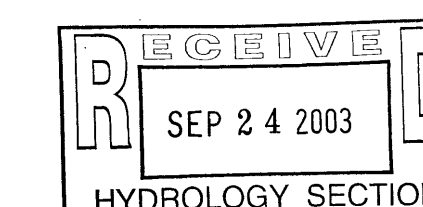
There is a governing Drainage Master Plan prepared for the Paseo del Norte project which indicated that the subject size is within the contributing area of the Paseo del Norte storm drainage conveyance system. Existing storm drain inlets are situated adjacent to the site in Paseo del Norte.

Proposed Conditions: Site is scheduled to be a fully developed commercial facility, (13,890 SF) with a drive-up pharmacy window, required parking and associated accessways, and landscaped areas. Site shall be graded to allow a finish floor elevation (F.F.) of 5540.6. As indicated on the cut/fill exhibit, a majority of the site will be filled.

Per the overall Master Site Development Plan, storm waters will be permitted to surface flow to the west per a cross lot drainage scheme. Storm waters shall be conveyed to storm drain inlets and conveyed to the accepting storm drainage system in place as part of the Paseo del Norte improvements.

Existing Hydrology: (Precipitation Zone 3) Site improvement creates four (4) drainage subbasins and site will accept two (2) offsite drainage areas from the rights-of-way of Ventura Blvd. and Paseo del Norte.

 EXISTING CONTOUR
 PROPOSED CONTOUR
 PROPOSED SPOT ELEVATION
 FLOW ARROW
 FINISH FLOOR ELEVATION
 SIDEWALK CULVERT
 TOP OF CURB
 FLOWLINE ELEVATION
 PROPOSED FLOODWALL
 AREA DRAIN
 INVERT ELEVATION
 DRAIN LINE WITH SIZE
 STORM DRAIN MANHOLE
 PERIMETER CROSS-SECTIONS
 DRAINAGE BASIN DESIGNATION
 SWALE



BASIN NO.	AREA AC.	SF	LAND	TREATMENT (%)	Q100 (cfs)	V100 (cu. ft.)
100 (offsite) 2100	0.8058 0.1703	35,100 7,418	10 80	90 20	3.85 0.47 [4.32]	6,488 614 [7,090]
200	0.6301	27,447	15	85	2.93	4,900
300	0.1048	4,563	50	50	0.32	420
400 (offsite) 2400	0.1833 0.4923	7,985 21,446	50 50	50 50	0.55 1.49 [2.04]	735 1,974 [2,709]

[illegible]

ECKERD
ECKERD DRUG STORE
PASEO DEL NORTE & VENTURA BLVD.
ALBUQUERQUE, NM

DATE	INITIAL	REVIEW
		PLANNING / CIP
		CLIENT SUBMITTAL
		BID / PERMIT
		PERMIT REV'S 1
		PERMIT REV'S 2
		GENERAL BID
		ADDITION
		CONSTRUCTION New construction

Scale: AS SHOWN
 Drawn: JTS
 Checked: FCA
 Drawing Start Date: 12/20/02
 ARCH/ROOM Job No.: 020302
 Date: 03-10-03

Sheet: C-1

CONCEPTUAL
GRADING &
DRAINAGE PLAN



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1269.4GRD.DWG/its 09/23/03

GENERAL NOTES:

1. ADD 5500 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 5-C20 HAVING AN ELEVATION OF 5552.71 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

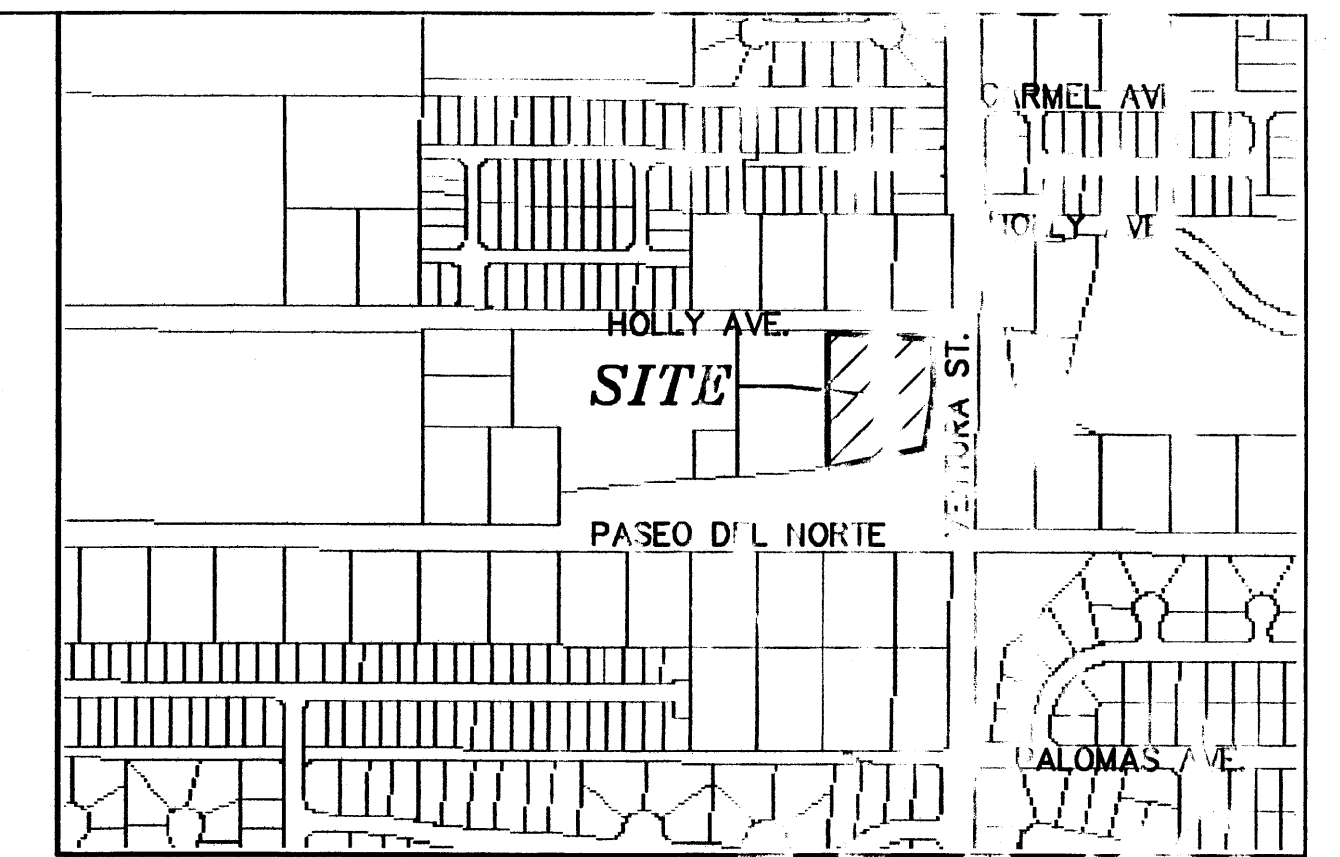
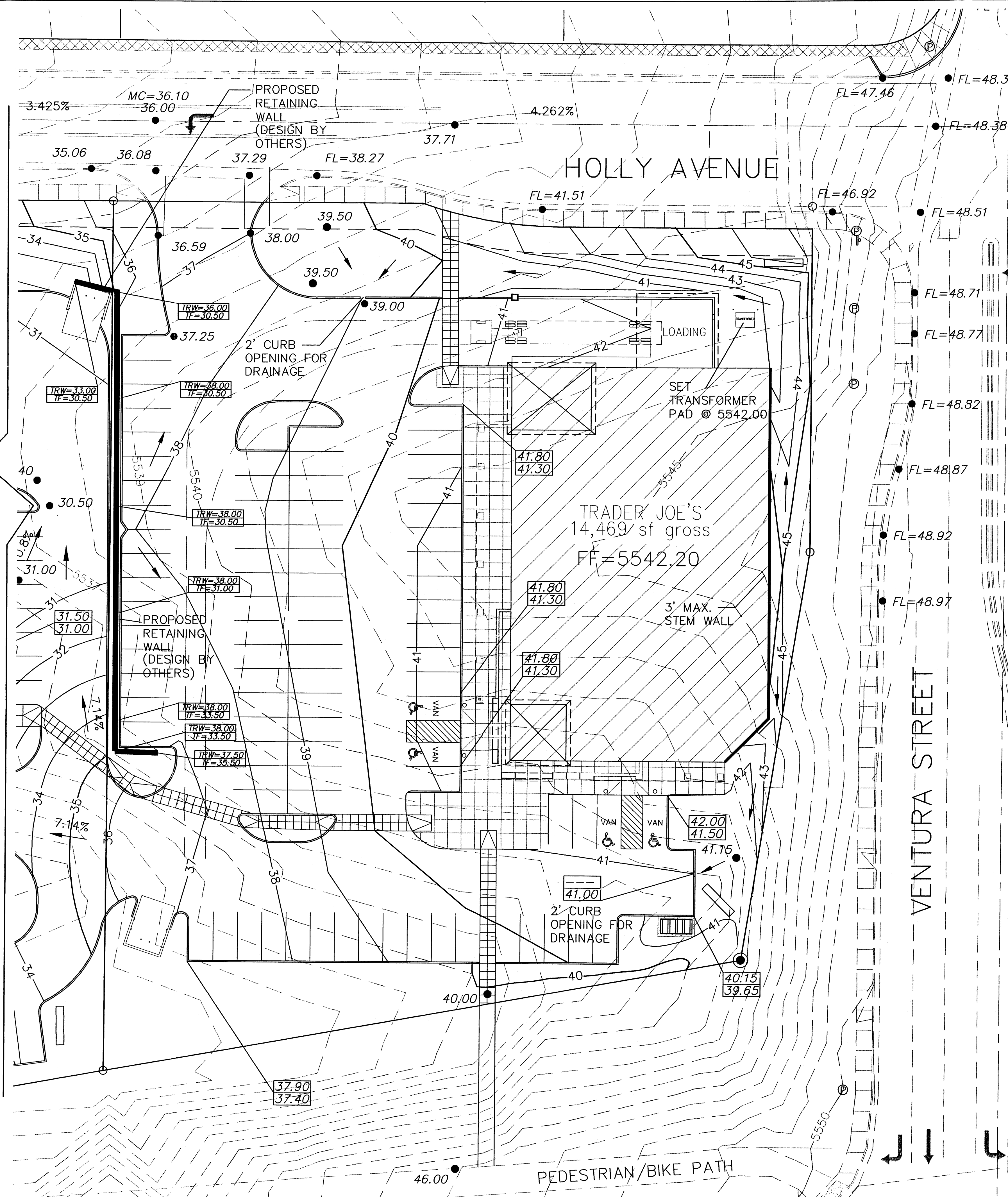
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

ADDITIONAL CONSTRUCTION NOTES

- 1) SEE THE OVERALL GRADING PLAN FOR ADJACENT GRADES. ALSO GRADES TO BE COORDINATED WITH ADJACENT PROPERTY OWNERS.
- 2) MAINTAIN 2.0% SLOPE WITHIN HANDICAP PARKING.

SEE THE OVERALL GRADING PLAN

SEE THE OVERALL GRADING PLAN



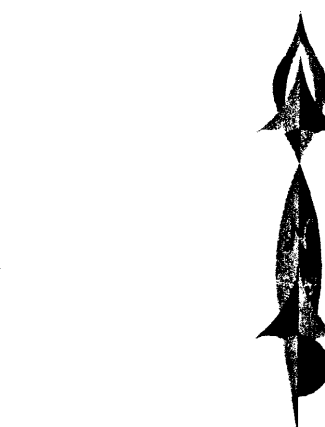
VICINITY MAP:

LEGAL DESCRIPTION:

LOT 5, VENTURA PLACE
CONTAINING 75,141.86 S.F. (1.7250 ACRE)
ZONING SU-1 MIXED USED.

LEGEND

- EXISTING CURB & GUTTER
- NEW CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- PROPOSED CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- SEWAGE
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- PROPOSED RETAINING WALL
- PROPOSED STEM WALL
- EXISTING FLOW LINE



GRAPHIC SCALE

20 10 0 10 20
SCALE: 1"=20'



SHAHAB BIAZAR
P.E. #13479



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

LOT 5, VENTURA PLACE TRADER JOE'S GRADING PLAN

DRAWING: 200250-GR-TRADER.DWG
DRAWN BY: SHH
DATE: 04-26-05
SHEET #

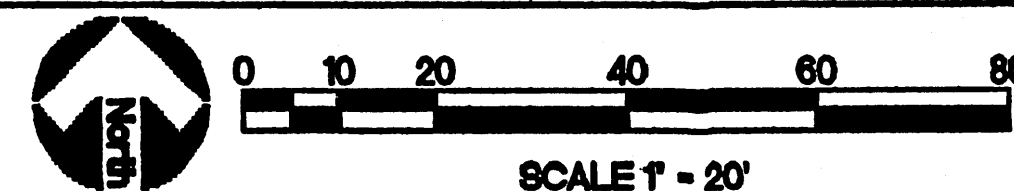
3 OF 4

ROUGH GRADING APPROVAL DATE

LAST REVISION: 05-23-05

HYDROLOGY SECTION
JUL 0 3 2005

HOLLY AVE. N.E.



GENERAL INFORMATION:

LEGAL DESCRIPTION:
LOTS 15 & 16, BLOCK 10, NORTH ALBUQUERQUE ACRES, TRACT 3 (UNIT 3)
AREA: 1.750 AC. (76,230 SF)
BENCHMARK: ACS MONUMENT "3-C20-1999"
NMSPC (CENTRAL ZONE)
ELEVATION: 5569.886 (NAV 1984)

EXISTING CONDITIONS: SITE IS SITUATED AT THE NORTHWEST QUADRANT OF THE FULLY DEVELOPED STREETS OF PASEO DEL NORTE AND VENTURA BLVD. NE. THE SITE IS UNDEVELOPED AND PRIMARILY UNDISTURBED NORTHEAST HEIGHTS LAND. TO THE NORTH IS THE UNIMPROVED 60-FOOT RIGHT-OF-WAY OF HOLLY AVE. AND TO THE WEST LIES THE UNDEVELOPED REMAINDER OF THE MASTERPLANNED AREA.

EXISTING TOPOGRAPHY INDICATES THAT THE SITE IS LOWER THAN VENTURA BLVD. IN THE RANGE OF 1 TO 15 FEET AND LOWER THAN THE MID-POINT OF PASEO DEL NORTE IN THE RANGE OF 0 TO 14 FEET.

THERE IS A GOVERNING DRAINAGE MASTER PLAN PREPARED FOR THE PASEO DEL NORTE PROJECT WHICH INDICATED THAT THE SUBJECT SITE IS WITHIN THE CONTRIBUTING AREA OF THE PASEO DEL NORTE STORM DRAINAGE CONVEYANCE SYSTEM. EXISTING STORM DRAIN INLETS ARE SITUATED ADJACENT TO THE SITE IN PASEO DEL NORTE.

PROPOSED CONDITIONS: SITE IS SCHEDULED TO BE A FULLY DEVELOPED COMMERCIAL FACILITY, (13,890 SF) WITH A DRIVE-UP PHARMACY WINDOW, REQUIRED PARKING AND ASSOCIATED ACCESSWAYS, AND LANDSCAPED AREAS. A

PER THE OVERALL MASTER SITE DEVELOPMENT PLAN, STORM WATERS WILL SURFACE FLOW TO THE WEST PER A CROSS LOT DRAINAGE AGREEMENT. STORM WATERS SHALL BE COLLECTED WITHIN STORM DRAIN INLETS AND CONVEYED TO THE EXISTING STORM DRAINAGE SYSTEM IN PLACE AS PART OF THE PASEO DEL NORTE IMPROVEMENTS.

EXISTING HYDROLOGY: (PRECIPITATION ZONE 3) SITE IMPROVEMENT CREATES FOUR (4) DRAINAGE SUBBASINS AND SITE WILL ACCEPT TWO (2) OFFSITE DRAINAGE AREAS FROM THE RIGHTS-OF-WAY OF VENTURA BLVD. AND PASEO DEL NORTE.

CALCULATIONS

CALCULATIONS: 1269.4 Eckerd Drug Store : January 30, 2004
Calculations are based on the Drainage Design Criteria for City of Albuquerque Section 22.2 D74. Vol 12 dated Jan. 1999

AREA OF SITE		76230	SF	1.75	Ac.
HISTORIC FLOWS:					
On-Site Historic Land Condition	On-Site Developed Land Condition	Area a	Area b	Area c	Area d
Area a = 76230 SF	Area a = 0 SF	Area b = 15086 SF	Area c = 6214 SF	Area d = 5920 SF	
Area b = 0 SF	Area b = 0 SF	Area c = 6214 SF	Area d = 5920 SF		
Area c = 0 SF	Area c = 0 SF	Area d = 5920 SF			
Area d = 0 SF	Area d = 0 SF				
Total Area = 76230 SF	Total Area = 76230 SF				

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)		Weighted E	Area a + Area b + Area c + Area d	Area a + Area b + Area c + Area d
Historic E = 0.92 in.	Developed E = 1.99 in.			
On-Site Volume of Runoff V360 = 824 CF	Developed V360 = 12628 CF			
On-Site Peak Discharge Rate: Qp = QpAa + QpAb + QpAc + QpAd / 43,560				
For Precipitation Zone 3				
Qp = 1.87	Qp = 3.45			
Qbb = 2.60	Qpd = 5.02			
Historic Qp = 4.6 CFS	Developed Qp = 7.7 CFS			

SUB-BASIN 100		Area of sub-basin flow	31100	SF	0.8	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	2.12	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	4904	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	2.9	cfs	
SUB-BASIN 100 OFFSITE		Area of sub-basin flow	7418	SF	0.2	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	0.99	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	614	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	0.5	cfs	

100

TREATMENT
A = 0%
B = 10%
C = 0%
D = 50%

SUB-BASIN 200		Area of sub-basin flow	27447	SF	0.6	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	2.14	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	4904	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	2.9	cfs	
SUB-BASIN 300		Area of sub-basin flow	4563	SF	0.1	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	1.11	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	420	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	0.3	cfs	

200

TREATMENT
A = 0%
B = 15%
C = 0%
D = 85%

SUB-BASIN 300		Area of sub-basin flow	4563	SF	0.1	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	1.11	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	420	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	0.3	cfs	
SUB-BASIN 400		Area of sub-basin flow	7985	SF	0.2	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	1.11	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	733	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	0.6	cfs	
SUB-BASIN 400 OFFSITE		Area of sub-basin flow	21446	SF	0.5	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	1.11	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	1973	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	1.5	cfs	

300

TREATMENT
A = 0%
B = 50%
C = 30%
D = 0%

SUB-BASIN 400		Area of sub-basin flow	7985	SF	0.2	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	1.11	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	733	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	0.6	cfs	
SUB-BASIN 400 OFFSITE		Area of sub-basin flow	21446	SF	0.5	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	1.11	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	1973	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	1.5	cfs	

400

TREATMENT
A = 0%
B = 50%
C = 50%
D = 0%

SUB-BASIN 400 OFFSITE		Area of sub-basin flow	21446	SF	0.5	Ac.
The following calculations are based on Treatment areas as shown in table to the right						
Sub-basin Weighted Excess Precipitation (see formula above)		Weighted E	=	1.11	in.	
Sub-basin Volume of Runoff (see formula above)		V360	=	1973	CF	
Sub-basin Peak Discharge Rate (see formula above)		Qp	=	1.5	cfs	

400

TREATMENT
A = 0%
B = 50%
C = 30%
D = 0%

100 TOTAL

TOTAL-BASIN 100 = 39 + 0.5 = 43

400 TOTAL

TOTAL-BASIN 400 = 96 + 1.5 = 20

C-20

VICINITY MAP

KEYED CONSTRUCTION NOTES

- 2' PCC RUNDOWN PER COA STD DWG #2415.
- 2' WIDE CONC VALLEY GUTTER PER COA STD DWG #2415.

GENERAL NOTES:

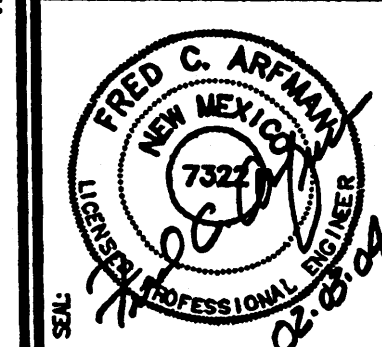
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- HOLLY AVE. GRADES AS SHOWN HEREON; ARE DESIGN GRADES AS APPROVED BY THE CITY OF ALBUQUERQUE AS PART OF C.O.A. PROJECT NO.
- DEVELOPMENT OF THIS SITE IS DEPENDENT UPON PUBLIC/PRIVATE INFRASTRUCTURE TO BE CONSTRUCTED BY THE DEVELOPER OF THE PROJECT ADJACENT TO THE WEST.

LEGEND

---	EXISTING CONTOUR
---+---	PROPOSED CONTOUR
◆ 78.3	PROPOSED SPOT ELEVATION
FF = 6681.0	FINISH FLOOR ELEVATION
---	FLOW ARROW
---	SIDEWALK CULVERT
TC 81.9 FL 61.4	TOP OF CURB ELEVATION
②	PROPOSED FLOODWALL
INV=72.5	AREA DRAIN
---	INVERT ELEVATION
---	DRAIN LINE WITH SIZE
---	STORM DRAIN MANHOLE
③	PERIMETER CROSS-SECTIONS
④	DRAINAGE SUB-BASIN
---	SWALE
TC	TOP OF CURB
TA	TOP OF ASPHALT
TP	TOP OF PAVING
TSW	TOP OF SIDEWALK

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
1269.4GRD.DWGThor 03/10/04

ARCHICON, L.C.
Architecture & Interiors
401 N. CENTRAL, SUITE C-100
PHOENIX, ARIZONA 85012
(602) 222-4286
FAX (602) 222-4286
WWW.ARCHICON.COM



REVISION	DATE	BY	CHKD

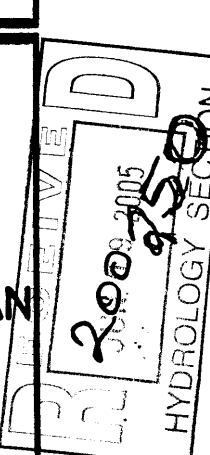
ECKERD
ECKERD DRUG STORE
PASEO DEL NORTE & VENTURA BLVD.
ALBUQUERQUE, NM.

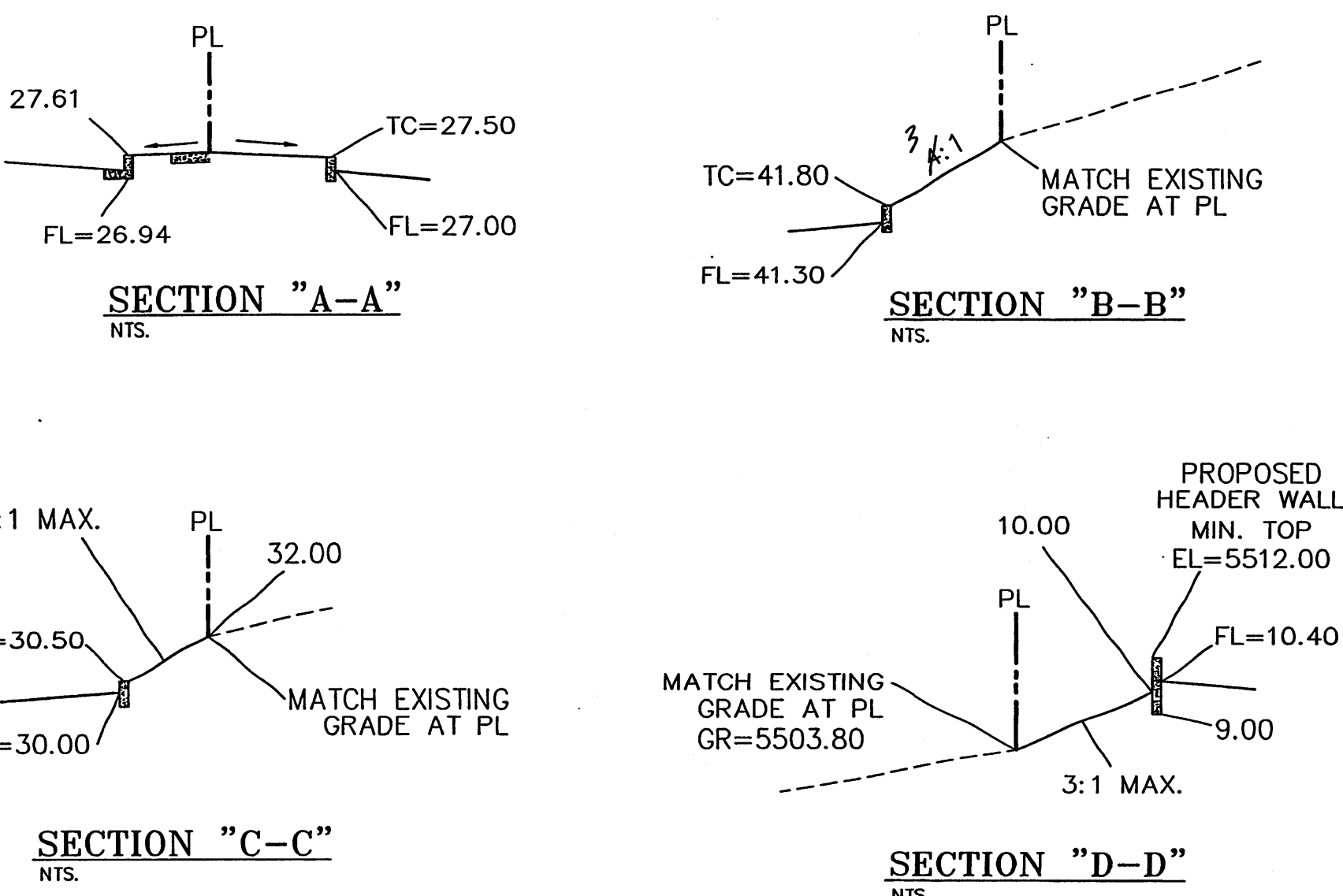
DATE	INITIAL	REVIEW	DATE	INITIAL

Scale:
Drawn: THOR
Checked: FCA
Drawing Date: 03/10/04
WORKBOOK Job No: 0203023
Day File Name: C-1

GRADING &
DRAINAGE PLAN

For Information Only





NOTICE TO CONTRACTORS

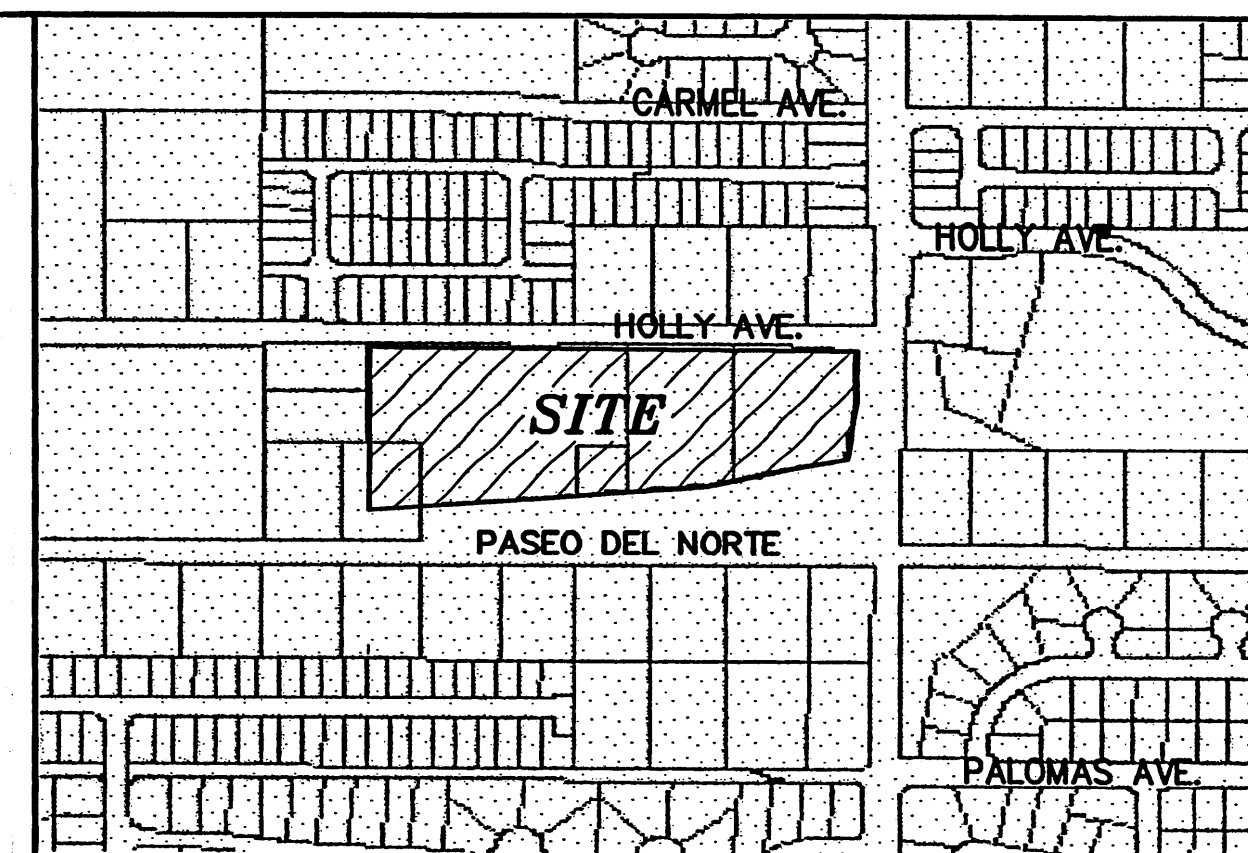
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6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

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3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5569.886 FEET ABOVE SEA LEVEL.
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2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
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4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



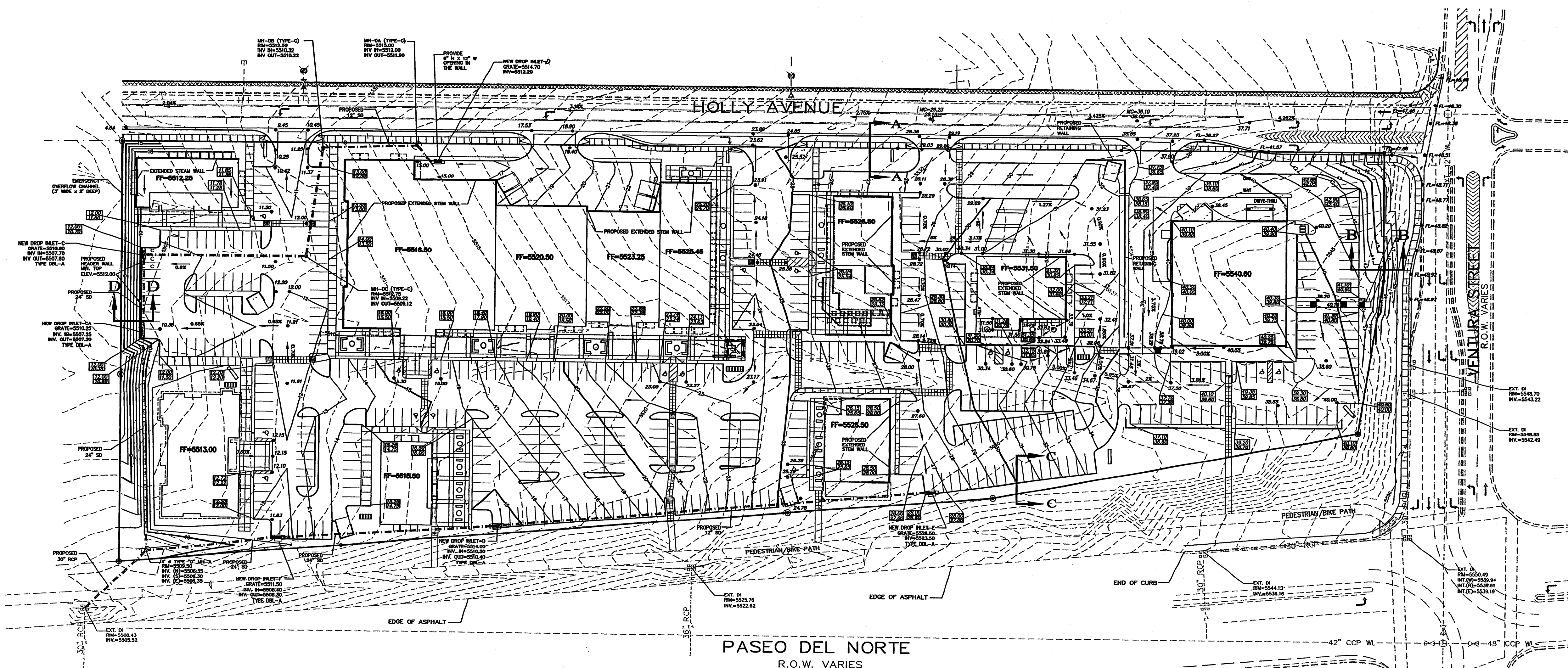
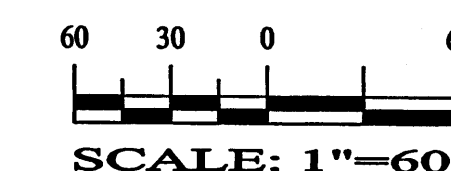
LEGAL DESCRIPTION:

LOTS 9-15 AND REMAINING PORTIONS OF LOTS 16-24, BLOCK 10, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES. CONTAINING 449,389.14 S.F. (10.31655 ACRE). ZONING SU-1 MIXED USED.

LEGEND

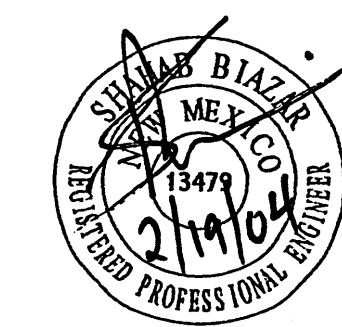
- ===== EXISTING CURB & GUTTER
- ===== NEW CURB & GUTTER
- 5100----- EXISTING CONTOUR (MAJOR)
- 5102----- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- ===== PROPOSED SIDEWALK
- PROPOSED GRADE
- 36.28 PROPOSED SPOT ELEVATION
- * 5265.16 EXISTING GRADE
- EXISTING POWER LINES
- PROPOSED STORM SEWER PIPE
- EXISTING CURB AND GUTTER

GRAPHIC SCALE



ROUGH GRADING APPROVAL

DATE



SHAHAB BIAZAR
P.E. #13479



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

VENTURA PLACE OVERALL GRADING PLAN

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