

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

July 26, 2017

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM, 87199

**RE: 8920 Oakridge Court
Grading Plan
Stamp Date: 7/25/17
Hydrology File: C20D052**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your re-submittal received 7/26/2017, the Grading Plan is approved for Building Permit.

Albuquerque

Once the private facilities maintenance agreement is approved by AMAFCA, please provide a copy for our records.

New Mexico 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

www.cabq.gov

Reneé C. Brissette

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** c20d077

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN (adjusted retaining wall)
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No (adjusted retaining wall)

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Weighted E Method

Existing Developed Basins										100-Year, 6-hr.			10-day	
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)	
			%	(acres)	%	(acres)	%	(acres)						%
ALLOWED	19316	0.443	43%	0.1906768	34.0%	0.151	16.0%	0.07095	50%	0.222	1.983	0.073	2.11	0.103
PROPOSED	19316	0.443	0%	0	34.0%	0.151	40.0%	0.17737	26%	0.115	1.442	0.053	1.58	0.069
REAR YARD	12514	0.287	0%	0	54.0%	0.155	46.0%	0.13215	0%	0.000	1.782	0.043	1.20	0.043

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 3)

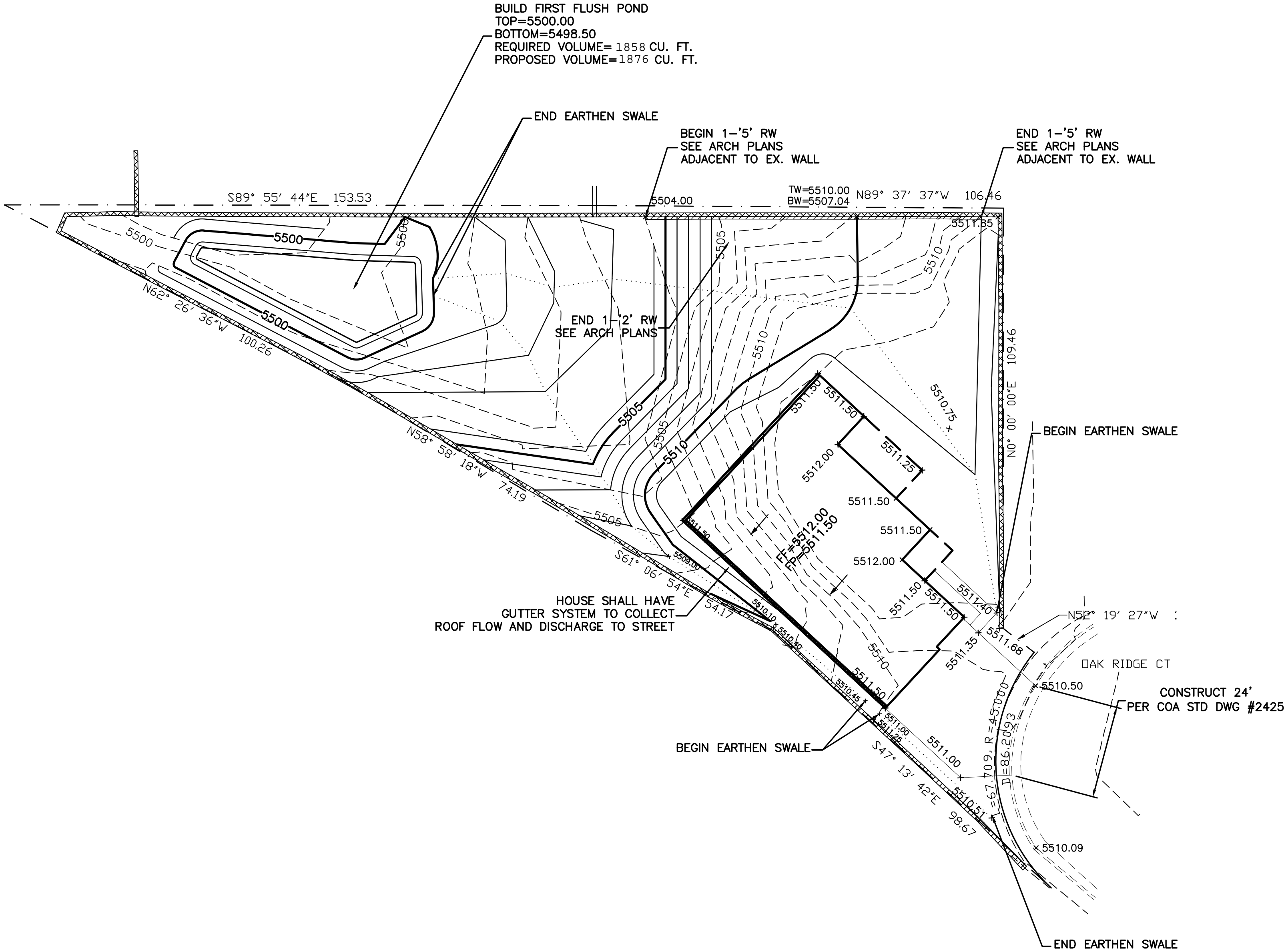
Ea= 0.66	Qa= 1.87
Eb= 0.92	Qb= 2.6
Ec= 1.29	Qc= 3.45
Ed= 2.36	Qd= 5.02

Pond volume required

FIRST FLUSH	1858.54 cf
RETAIN REAR YARD	142.29 CF

Narrative

The subject property is within the boundary of the Oakridge Court subdivision. Which is located within the boundaries of the North Albuquerque Acres Master Drainage Master Plan. The Imperv is less than the allowed conditions assumptions. Due to the existing grades the house and impervious areas will drain to the street. the rear yard will drain to the rear and be retained.

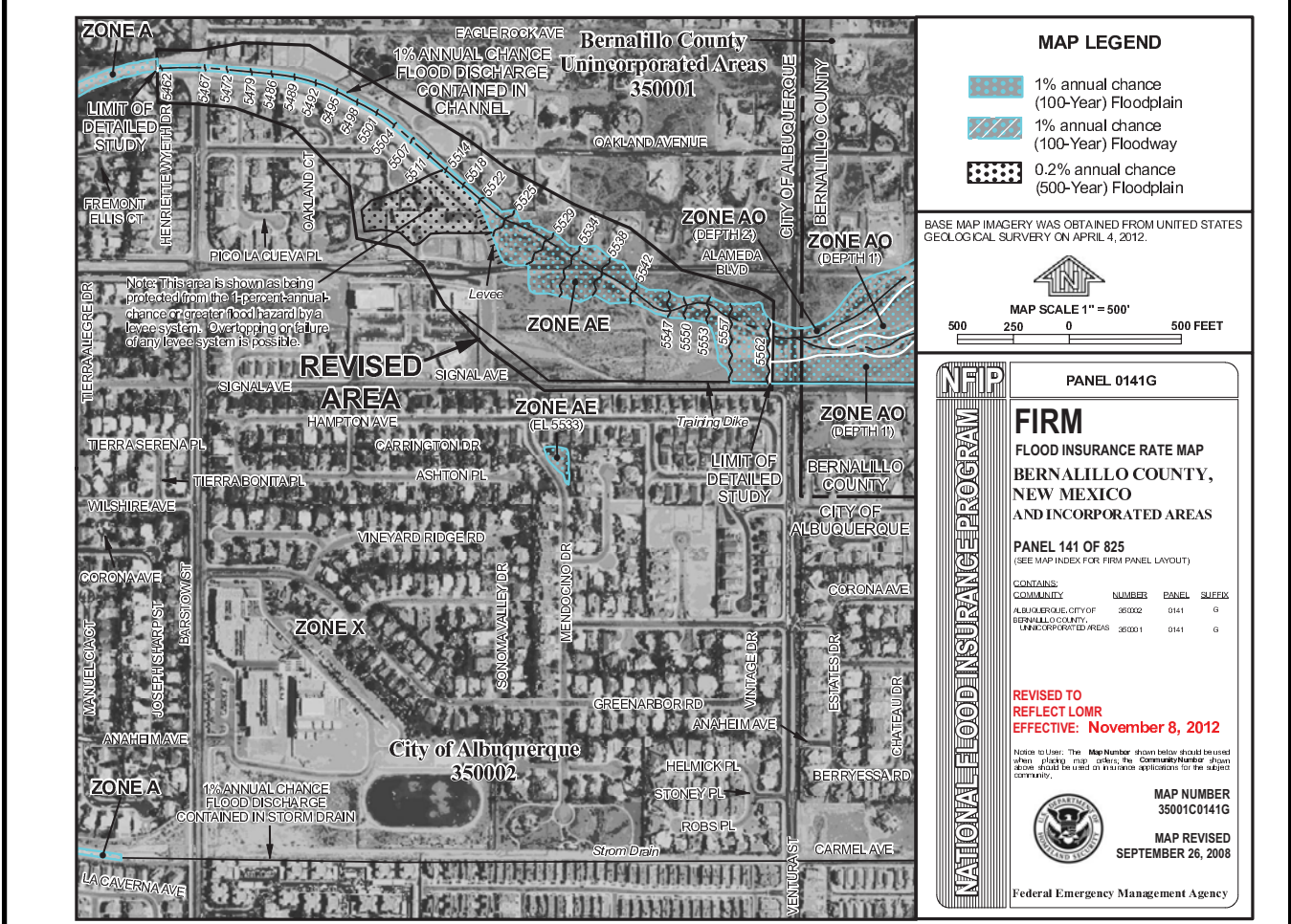
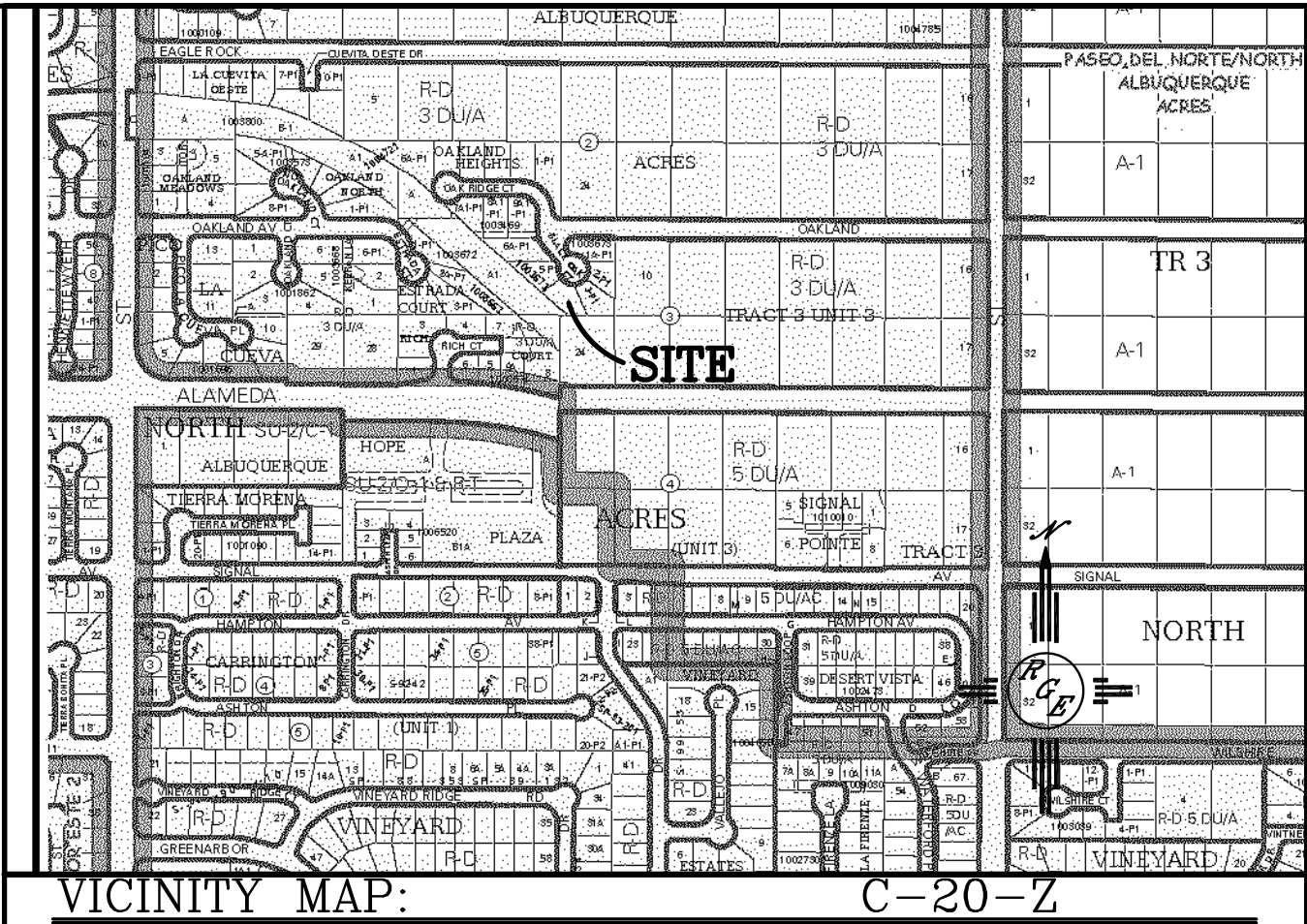


CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



FIRM MAP: FM35001C0141G (REVISED)

LEGAL DESCRIPTION:

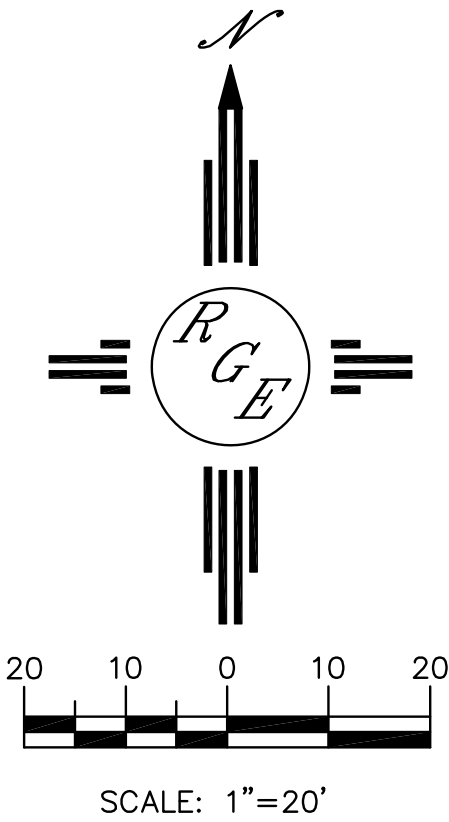
LOT 6-A-P1 OAKLAND HTS


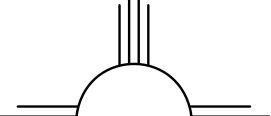
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGY USING NAVD DATUM 1988.
5. EXISTING EXPOSED RETAINING WALL SHALL BE UTILIZED TO RETAIN UP TO ALLOWED HEIGHT IF APPROVED BY A LICENSED STRUCTURAL ENGINEER

LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX--- EXISTING INDEX CONTOUR
- XXXX--- PROPOSED CONTOUR
- XXXX--- PROPOSED INDEX CONTOUR
- XXXX--- SLOPE TIE
- XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- ===== EXISTING CURB AND GUTTER
- PROPOSED CMU SCREEN WALL 0'-3' MAX RETAINAGE (DESIGN BY OTHERS)



ENGINEER'S SEAL	LOT 6-A-P1 OAKLAND HTS	DRAWN BY WCWJ
		DATE 7-25-17
	GRADING AND DRAINAGE PLAN	21757-LAYOUT-6-23-17
	7/25/17	 <div><i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</div>
DAVID SOULE P.E. #14522		JOB # 21757