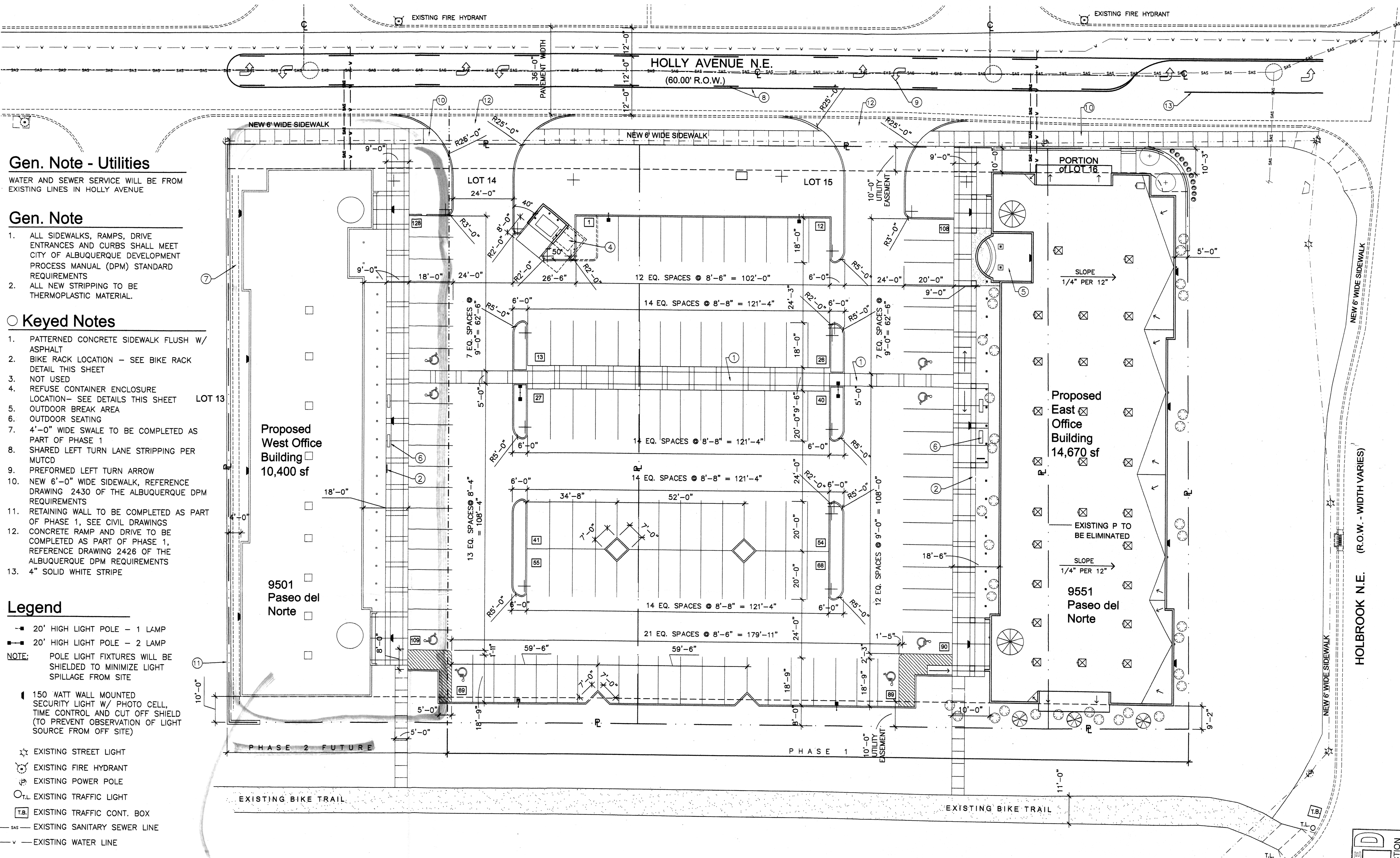




Gen. Note - Utilities

WATER AND SEWER SERVICE WILL BE FROM EXISTING LINES IN HOLLY AVENUE

Gen. Note

- ALL SIDEWALKS, RAMPS, DRIVE ENTRANCES AND CURBS SHALL MEET CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) STANDARD REQUIREMENTS
- ALL NEW STRIPPING TO BE THERMOPLASTIC MATERIAL.

Keyed Notes

- PATTERNED CONCRETE SIDEWALK FLUSH W/ ASPHALT
- BIKE RACK LOCATION - SEE BIKE RACK DETAIL THIS SHEET
- NOT USED
- REFUSE CONTAINER ENCLOSURE LOCATION - SEE DETAILS THIS SHEET
- OUTDOOR BREAK AREA
- OUTDOOR SEATING
- 4'-0" WIDE SWALE TO BE COMPLETED AS PART OF PHASE 1
- SHARED LEFT TURN LANE STRIPPING PER MUTCD
- PREFORMED LEFT TURN ARROW
- NEW 6'-0" WIDE SIDEWALK, REFERENCE DRAWING 2430 OF THE ALBUQUERQUE DPM REQUIREMENTS
- RETAINING WALL TO BE COMPLETED AS PART OF PHASE 1. SEE CIVIL DRAWINGS
- CONCRETE RAMP AND DRIVE TO BE COMPLETED AS PART OF PHASE 1, REFERENCE DRAWING 2426 OF THE ALBUQUERQUE DPM REQUIREMENTS
- 4" SOLID WHITE STRIPE

Legend

- 20' HIGH LIGHT POLE - 1 LAMP
- 20' HIGH LIGHT POLE - 2 LAMP

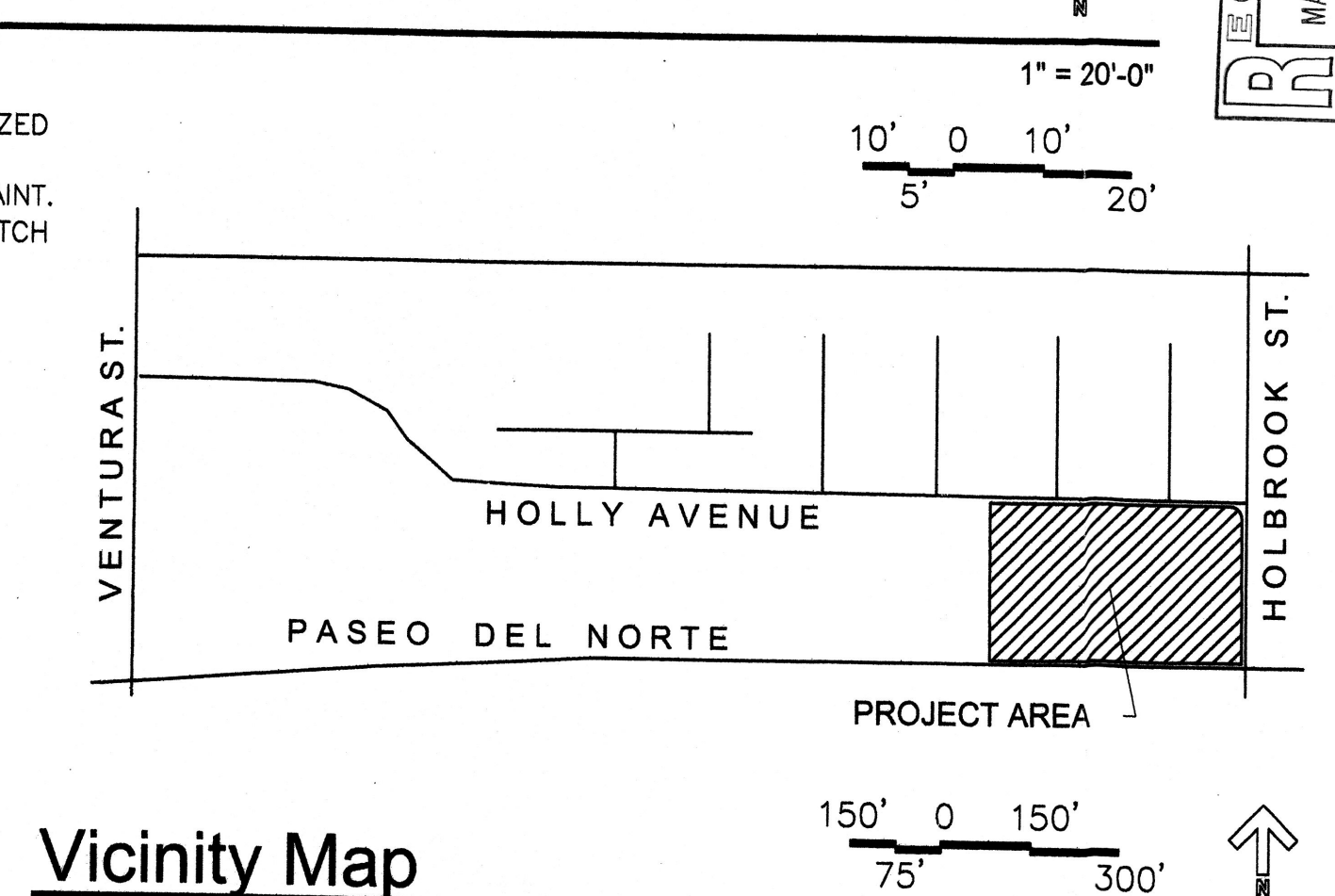
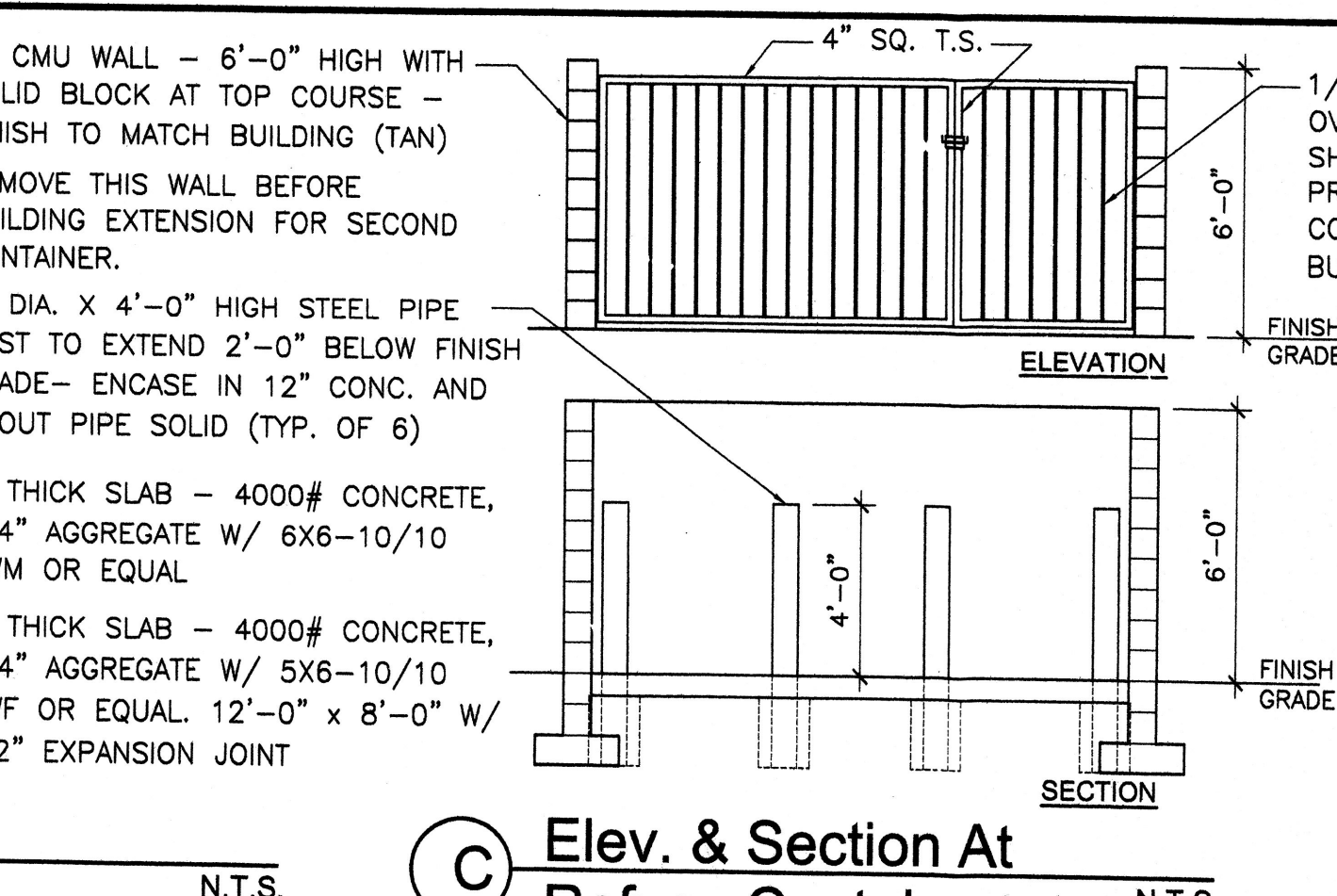
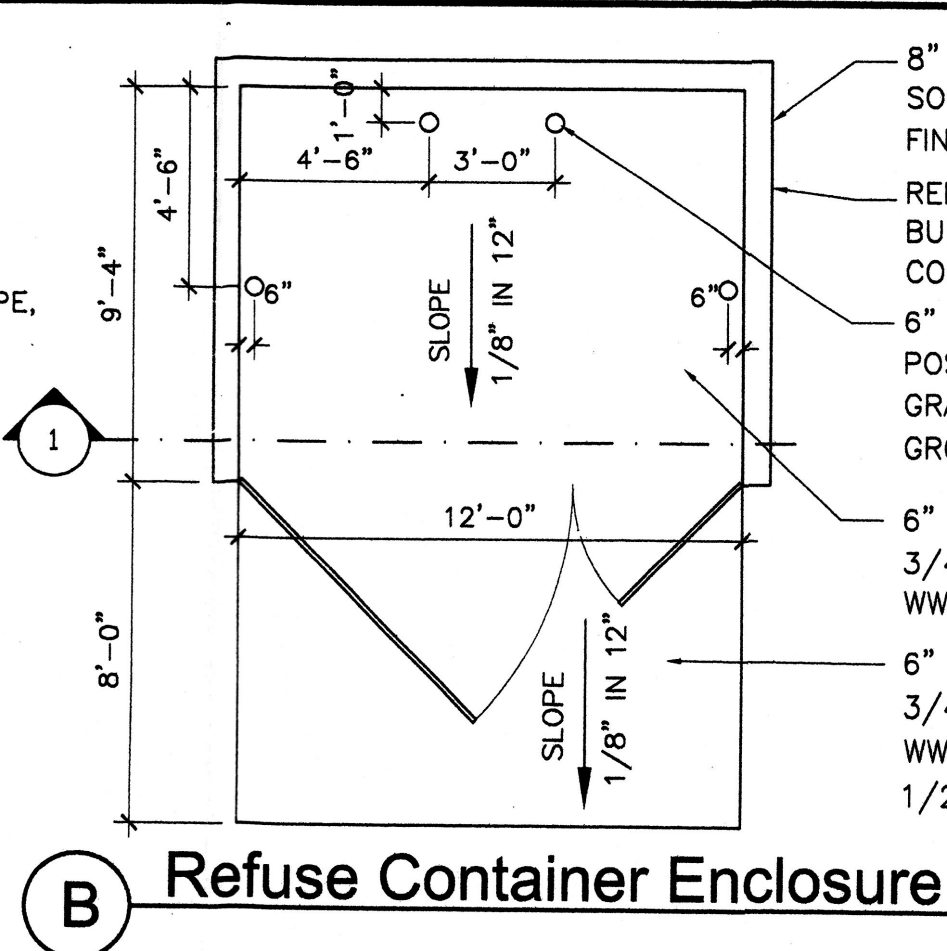
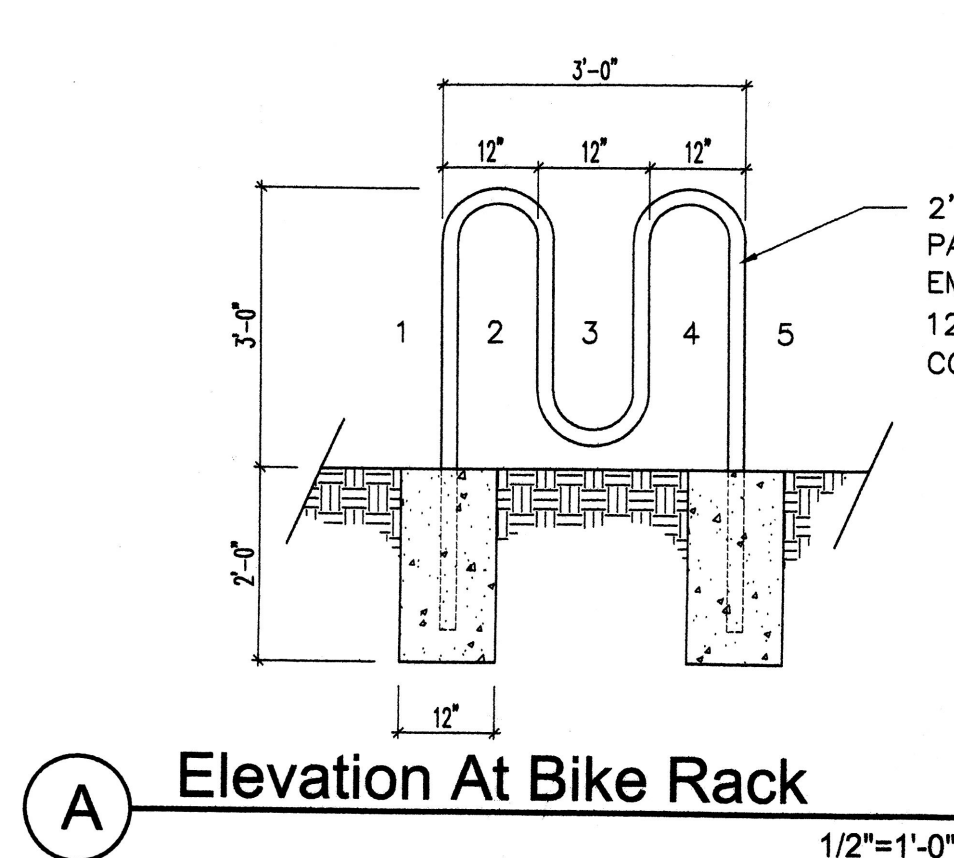
NOTE: POLE LIGHT FIXTURES WILL BE SHIELDED TO MINIMIZE LIGHT SPILLAGE FROM SITE

- 150 WATT WALL MOUNTED SECURITY LIGHT W/ PHOTO CELL, TIME CONTROL AND CUT OFF SHIELD (TO PREVENT OBSERVATION OF LIGHT SOURCE FROM OFF SITE)

- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- EXISTING TRAFFIC LIGHT
- EXISTING TRAFFIC CONT. BOX
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE

Proposed Site Plan

PASEO DEL NORTE and HOLBROOK



Project Data

OWNER: THE VAUGHAN EQUITIES LLC I
ALBUQUERQUE, NEW MEXICO

ARCHITECT: BRISCOE ARCHITECTS, P.C.
2001 CARLISLE BLVD. NE, SUITE A
ALBUQUERQUE, NM 87110
JOHN BRISCOE AIA 505.262.0193

BUILDING ADDRESS: PASEO DEL NORTE AND HOLBROOK
ALBUQUERQUE - NM

LEGAL DESCRIPTION: LOTS 14,15 & 16
NORTH ALBUQUERQUE ACRES, TRACT 3
BLOCK 20
(LOTS 15 AND 16 WILL BE REPLATED TO A
SINGLE LOT)

ZONE ATLAS PAGE: C-20-Z

ZONING: SU-2 / Mixed Use - Lots 10-16, Bldg. 20,
Tract 3, Unit 3 are limited to office and
institutional uses only of O-1 and R-1.

USAGE: OFFICES

Parking Requirements

EAST - Phase 1 = 14,127 SF (NET LEASABLE SF)
WEST - Phase 2 = 9,897 SF (NET LEASABLE SF)
TOTAL BLDG. AREA = 24,024 SF @ 1/200 = 120 SPACES REQUIRED
128 SPACES PROVIDED

8 ACCESSIBLE SPACES REQUIRED AND PROVIDED, 4 PER BUILDING

BIKE SPACES REQUIRED
EAST - Phase 1 = 4 BIKE SPACES ARE REQUIRED, 5 ARE PROVIDED
WEST - Phase 2 = 3 BIKE SPACES ARE REQUIRED, 5 ARE PROVIDED

Setbacks

Paseo
5' REQUIRED, 9' PROVIDED

Holbrook
5' REQUIRED AND PROVIDED

West Sideyard
0 REQUIRED, 4' PROVIDED

Holly
10' REQUIRED (RESIDENTIAL ACROSS HOLLY TO NORTH)
10' PROVIDED
MAXIMUM SETBACK FROM HOLLY IS 30'
NO PARKING OR DRIVE AISLE WITHIN 30' OF HOLLY

Other Requirements
15' MIN. SIDEWALK AT ENTRY FACADE OF BUILDINGS

Signage

24" MAX. HT., INDIVIDUAL LETTER FOR BUILDING MOUNTED SIGNS
AND LOGOS.

Project Number: 1003761

Application Number: 05-00491

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT
PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION
DATED AND THE FINDINGS AND CONDITIONS
IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRG plans with a work
Order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Site Development Plan Signoff Approv

5-24-05
Traffic Engineering, Transportation Division DATE

3-30-05
Utilities Development DATE

3/30/05
Parks and Recreation Department DATE

5/24/05
Bradley A. Bigham
City Engineer DATE

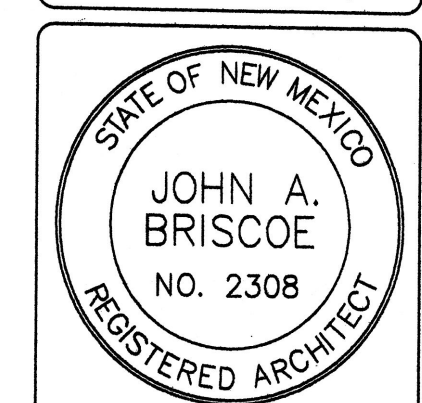
NA
Environmental Health Department (conditional) DATE

5-24-05
Solid Waste Management DATE

5/26/05
DRB Chairperson, Planning Department DATE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

04 November 2004
REVISED 10 May 2005
© 2004 Briscoe Architects, P.C.



Briscoe Architects, p.c.
ARCHITECTURAL SERVICES FOR THE
COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE, SUITE A
ALBUQUERQUE, NM 87110-4943
V: 505.262.0193 F: 505.881.9114 E: briscoe@msn.com

Proposed Buildings
The Vaughan Equities LLC I
Paseo del Norte @ Holbrook, NE
Albuquerque, NM

SHEET NO.

1

- GENERAL NOTES:
1. ADD 5600 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-5-D20 HAVING AN ELEVATION OF 5642.683 FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/21/2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION. THE AS-BUILT GRADES WERE PROVIDED BY HALL SURVEYING CO. (PRESTON E. HALL, LS# 10042).

THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE 13479

01/22/2007
DATE



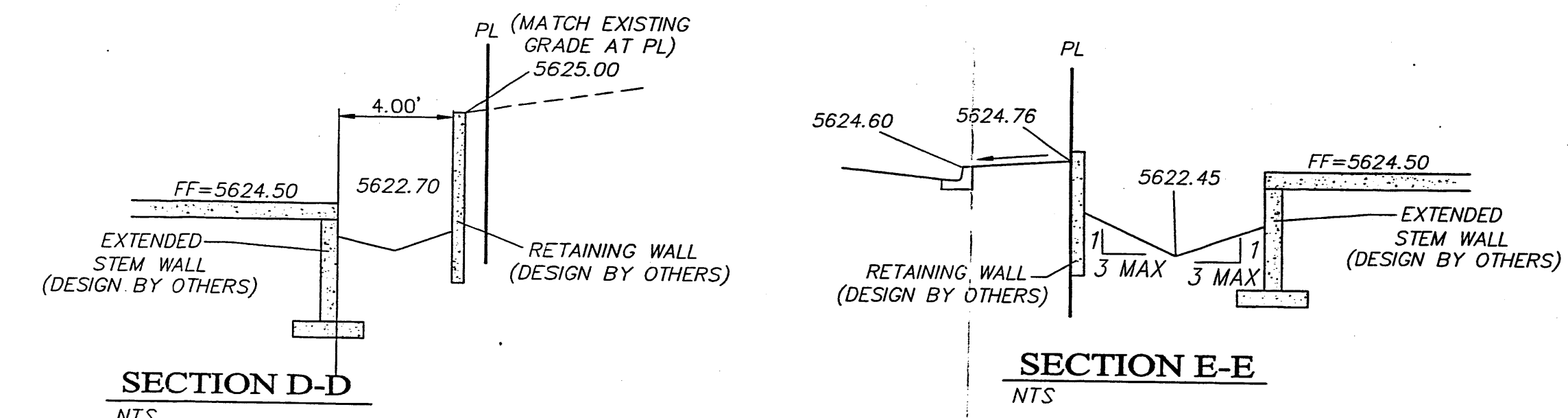
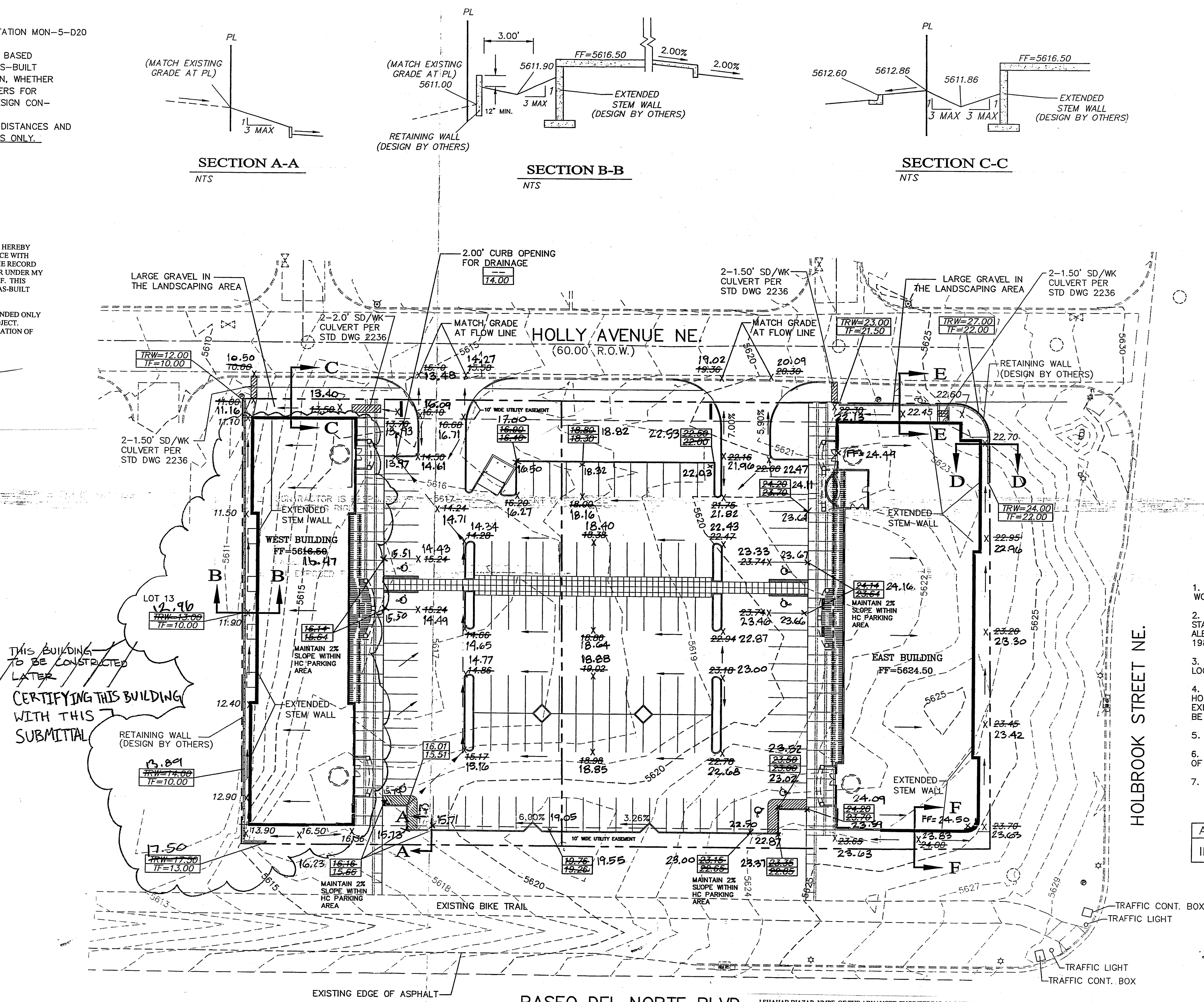
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EROSION RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING FENCE
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TOP OF EXTENDED STEM WALL
- TOP OF FOOTING
- SINGLE "A" INLET
- DOUBLE "A" INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE
- AS BUILT GRADE

THIS BUILDING TO BE CONSTRUCTED LATER
CERTIFYING THIS BUILDING WITH THIS SUBMITTAL



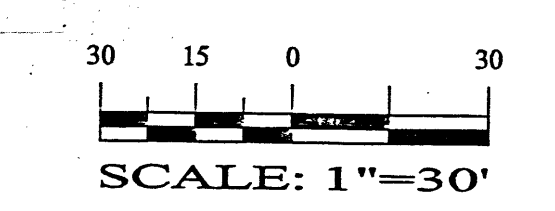
I, SHAHAB BIAZAR, NMPE, OF THE FIRM ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/21/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE # 13479
DATE 1/11/06

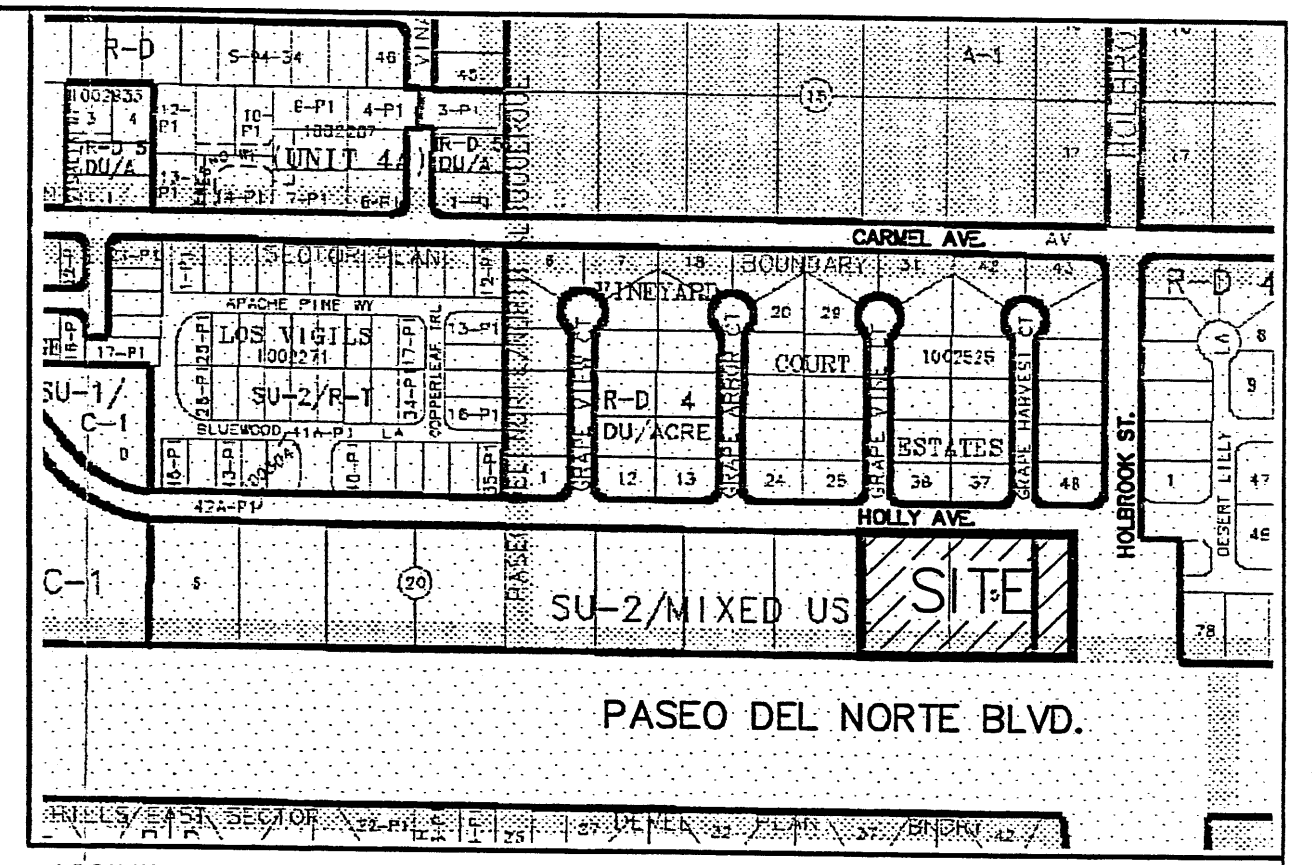


GRAPHIC SCALE



ROUGH GRADING APPROVAL

DATE

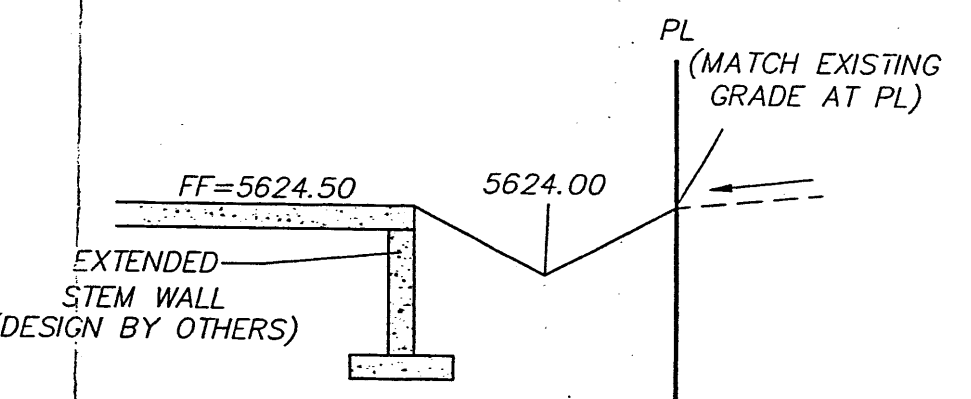


VICINITY MAP:

C-20-Z

LEGAL DESCRIPTION:

LOTS 14, 15 & PORTION OF LOT 16, BLOCK 20, TRACT 3 NORTH ALBUQUERQUE ACRES, CONTAINING 90,472.17 SQUARE FEET (2.0770 ACRES) MORE OR LESS.

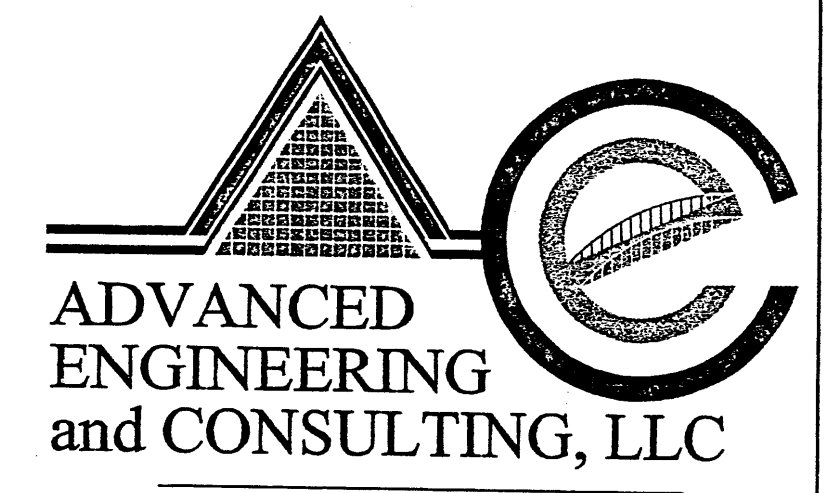
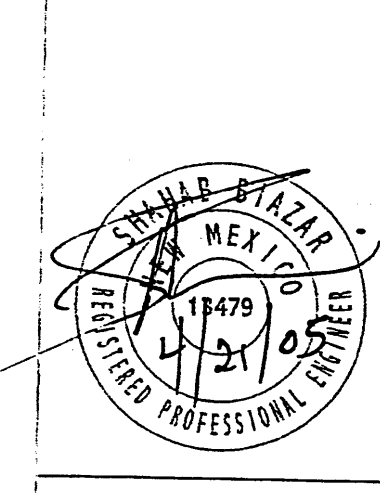


SECTION F-F

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
INSPECTOR		



ADVANCED
ENGINEERING
and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

THE VAUGHAN EQUITIES, LLC GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200452-GR.DWG	SHH	10/28/2004	1 OF 1

