

# CITY OF ALBUQUERQUE



July 21, 2005

David Soule, PE  
Rio Grande Engineering  
1606 Central Ave SE  
Albuquerque, NM 87106

**Re: Estrada Court Subdivision Revised Grading Plan  
Engineer's Stamp dated 7-5-05 (C20/D58)**

Dear Mr. Soule,

Based upon the information provided in your submittal dated 7-7-05, the above referenced plan is approved as amended. This is now the plan that must be certified for release of SIA and Financial Guarantees.

P.O. Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

New Mexico 87103

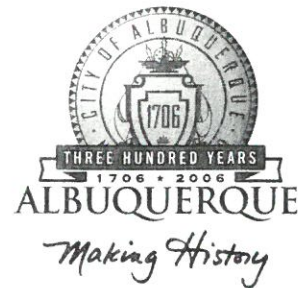
[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: file

# CITY OF ALBUQUERQUE



June 3, 2005

David Soule, PE  
Rio Grande Engineering  
1606 Central Ave SE  
Albuquerque, NM 87106

**Re: Estrada Court Oakland Subdivision Drainage Report  
Engineer's Stamp dated 4-30-05 (C20/D58)**

Dear Mr. Soule,

Based upon the information provided in your submittal dated 5-2-05, the above referenced report is approved for Preliminary Plat action by the DRB. Prior to that board acting on the project, I will need a public easement for the berm south of Alameda.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

www.cabq.gov

C: Chuck Caruso, DMD  
file

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(REV. 01/28/2003rd)

PROJECT TITLE: Estrada Court Oakland Subd  
North Oakland Corut  
DRB #: 1003672 EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: c20/ D58  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 6,7, Block 3, Tract 3, Unit 3, North Albuquerque Acres  
CITY ADDRESS: South side of Oakland between Ventura NE and Barstow NE

ENGINEERING FIRM: Rio Grande Engineering  
ADDRESS: 3500 Comanche Blvd. NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE  
PHONE: (505)321-9099  
ZIP CODE: 87107

OWNER: Eriny Properties, LTD  
ADDRESS: PO Box 93642  
CITY, STATE: Albuquerque, NM

CONTACT: Bob Keeran  
PHONE: 856-4076  
ZIP CODE: 87199

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Phil Turner  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

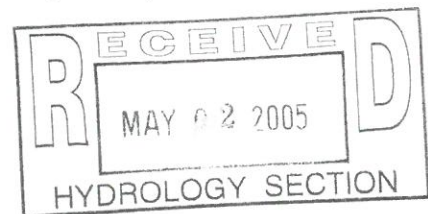
CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANACIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

*fee paid*

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: 4/30/2005 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.