

CITY OF ALBUQUERQUE



October 4, 2005

David Soule, P.E.
Rio Grande Engineering.
3500 Comanche Blvd. NE
Albuquerque, NM 87107

**Re: Estrada Court, Lots 6 & 7, Block 3, Tract 3, Unit 3, NAA
Grading Plan - Engineer's Stamp dated 9-19-05 (C20-D58)**

Dear Mr. Soule,

Based upon the information provided in your submittal dated 9-21-05, the above referenced plan is approved as amended. This will be the plan that must be certified for Release of Financial Guaranty.

If you have any questions, you can contact me at 924-3990.

Sincerely,

A handwritten signature in black ink, which appears to read 'Phillip J. Lovato', is written over the typed name.

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Estrada Court ZONE MAP/DRG. FILE #: C20/D58
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 6,7, Block 3, Tract 3, Unit 3, North Albuquerque Acres
CITY ADDRESS: South side of Oakland between Ventura NE and Barstow NE

ENGINEERING FIRM: Rio Grande Engineering CONTACT: David Soule, PE
ADDRESS: 3500 Comanche Blvd. NE PHONE: (505)321-9099
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

OWNER: Erimy Properties, LTD CONTACT: Bob Keeran
ADDRESS: PO Box 93642 PHONE: 856-4076
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: Phil Turner CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN(Resubmittal)
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEERS CERTIFICATION (TCL)
____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

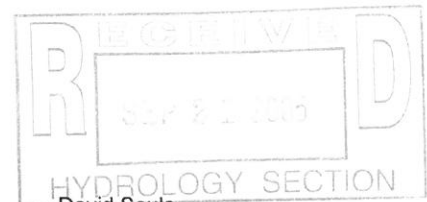
CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANACIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 9/19/2005 BY: David Soule



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

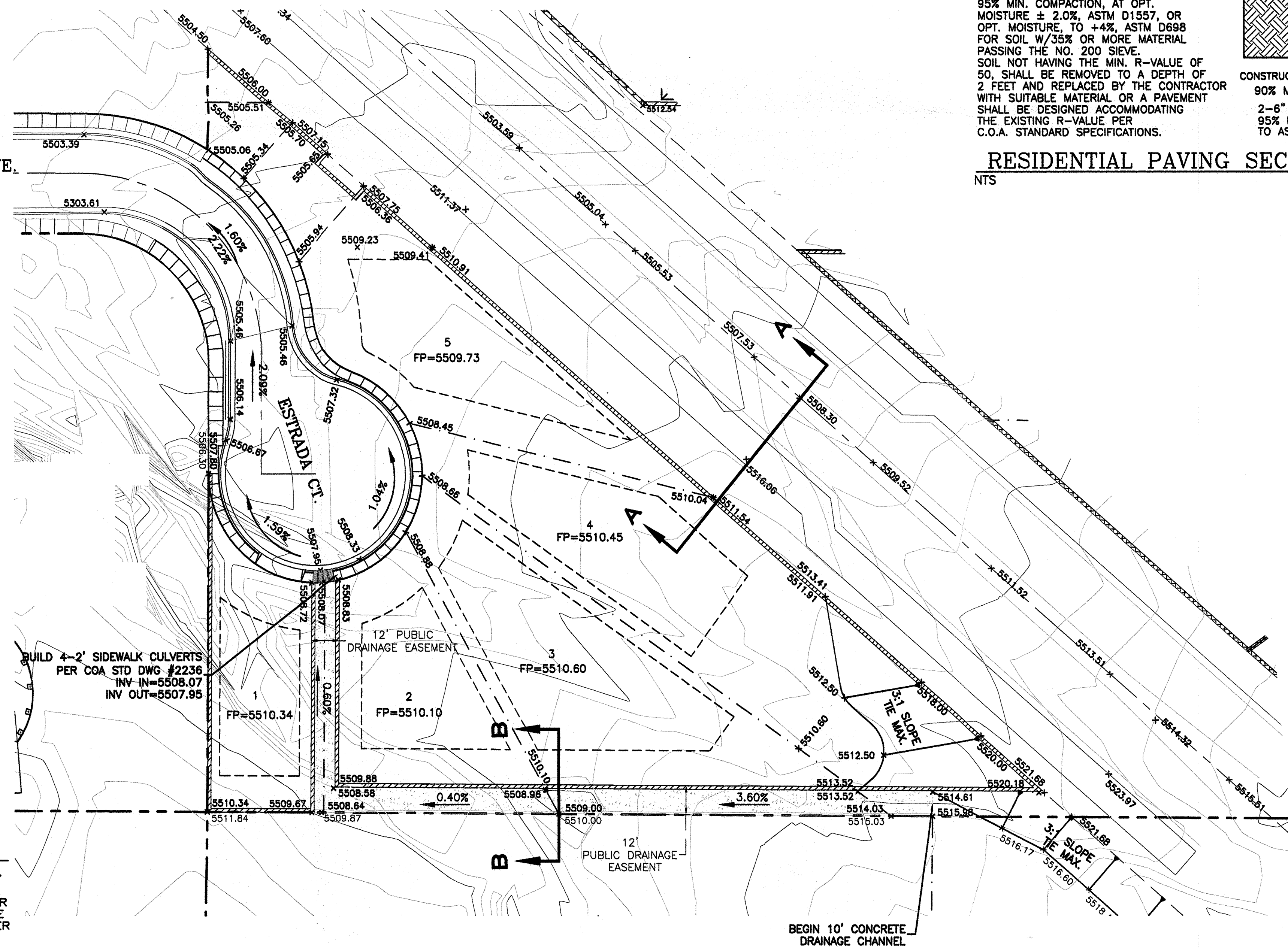
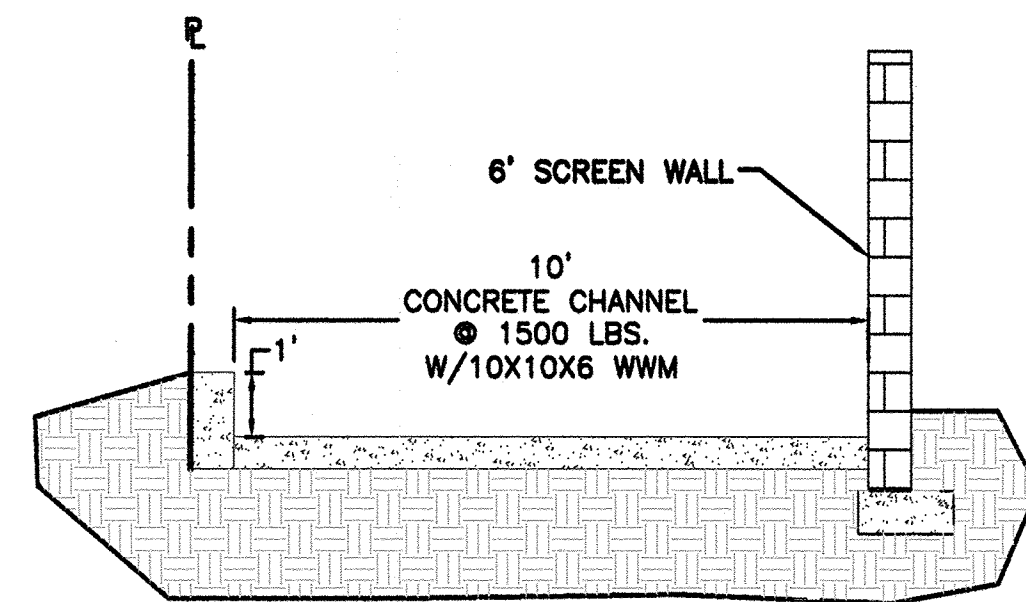
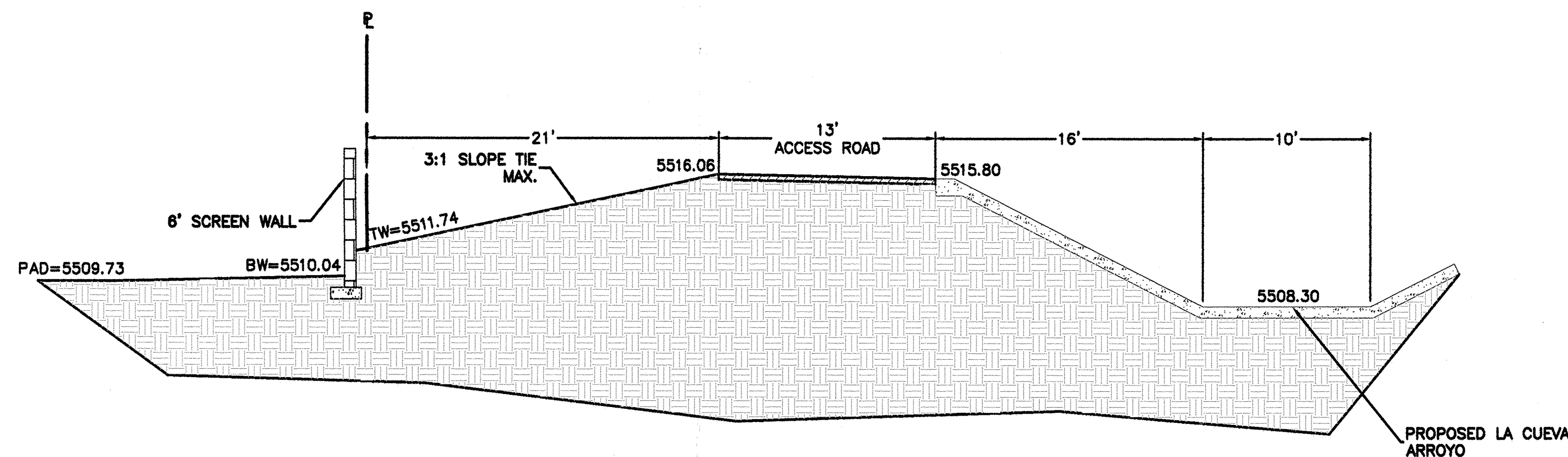
1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

LETTER OF TRANSMITTAL

DATE:	7/5/2005	JOB NO:	2455
ATTENTION: brad			
RE: Estrada Court			
C-20/ D58			

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David Soule



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

LEGEND

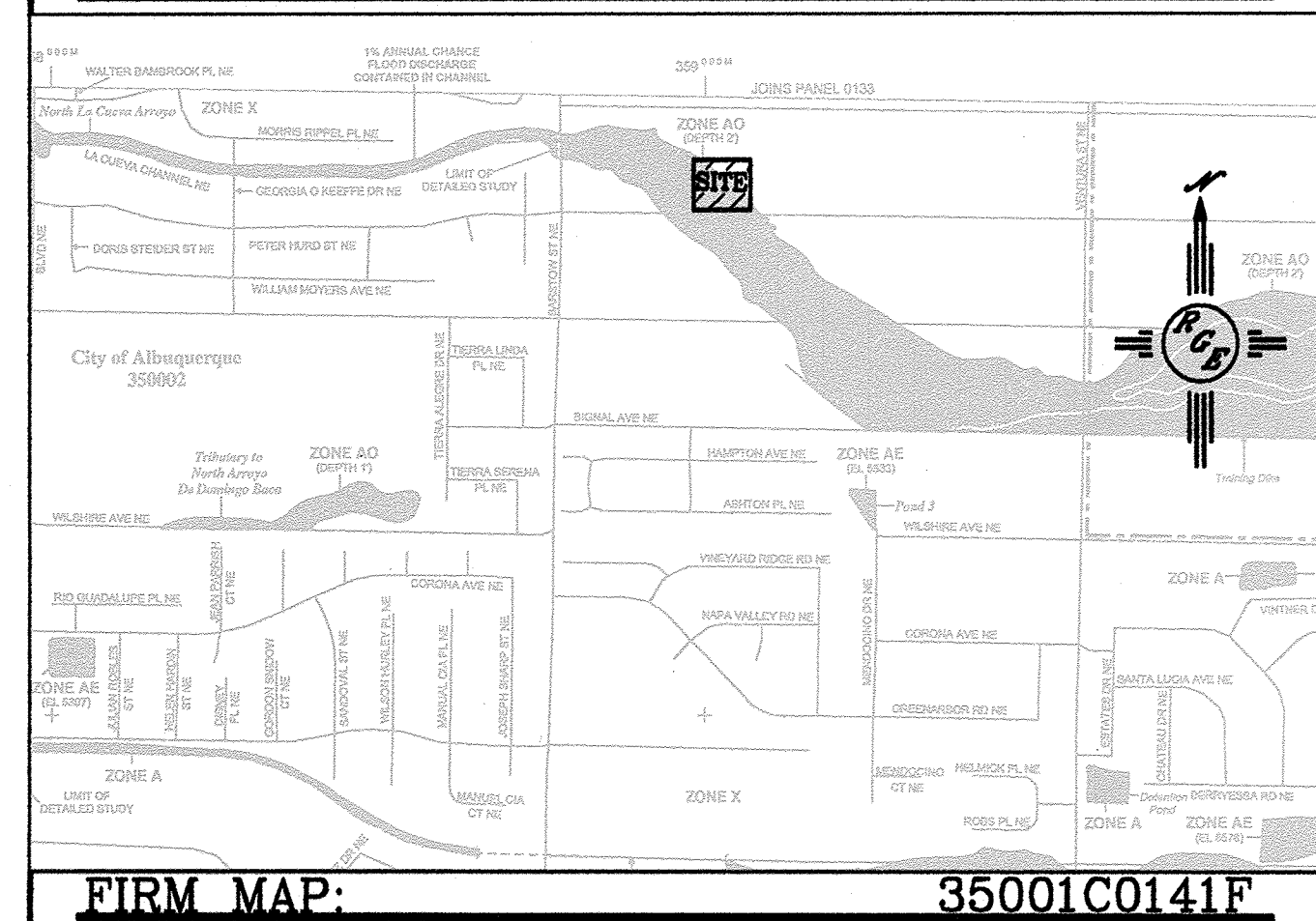
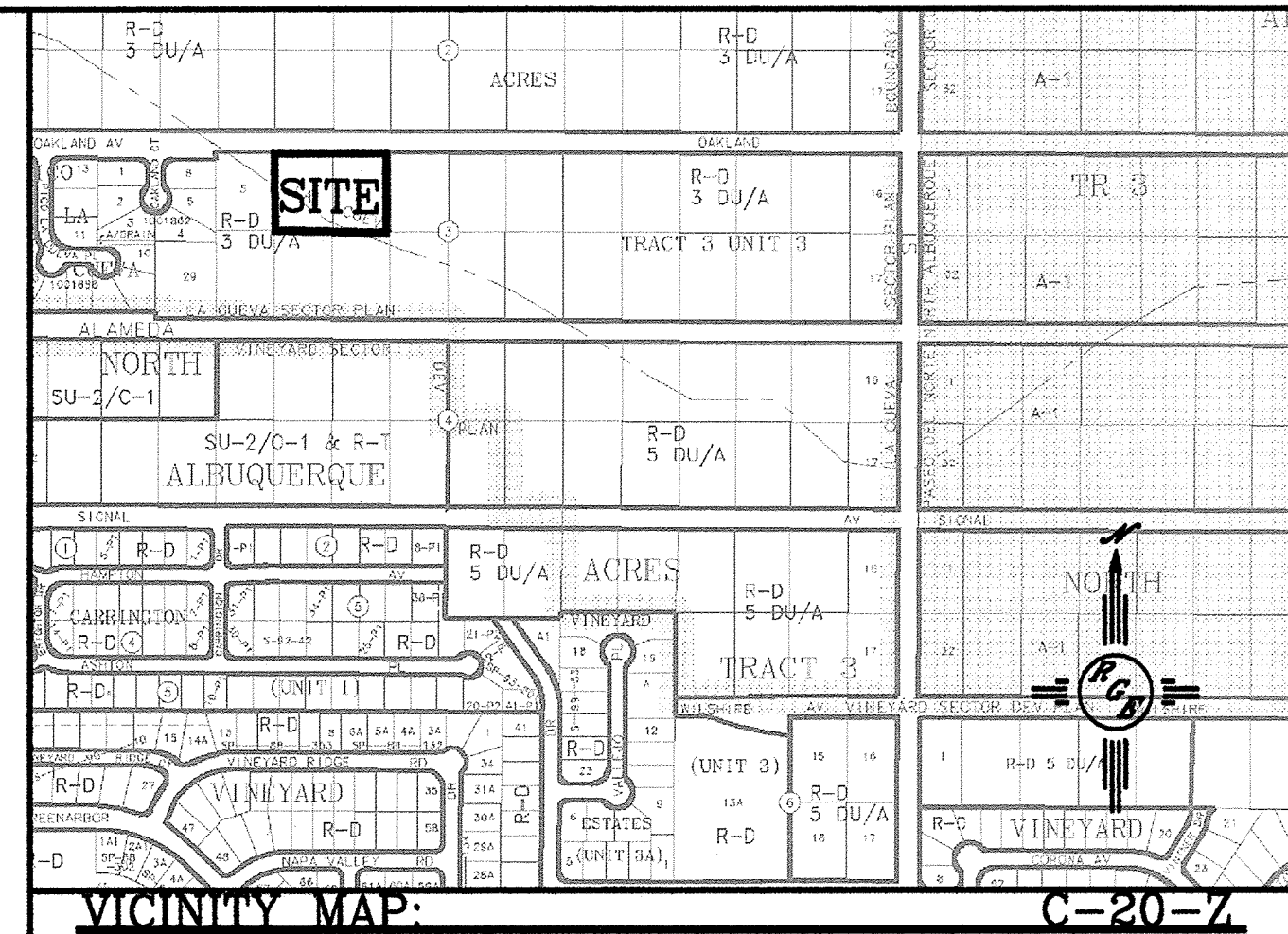
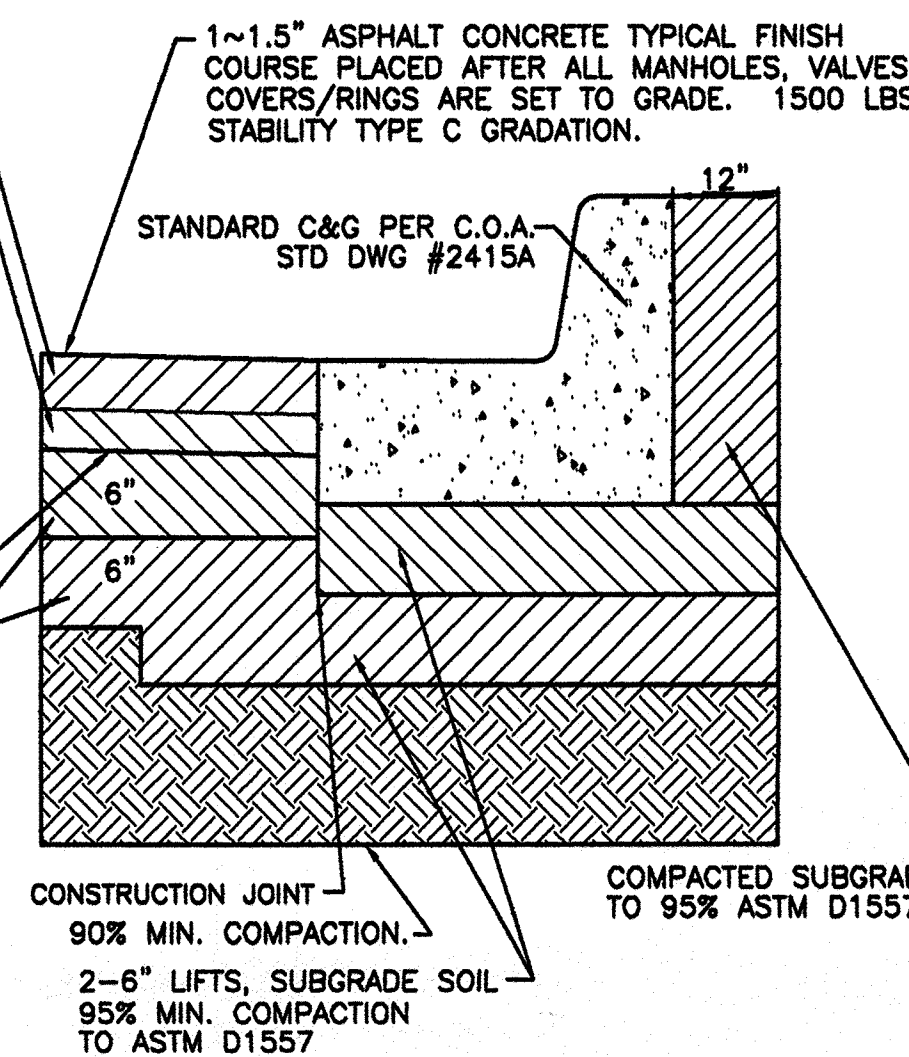
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SETBACK LINE

TACK COAT AS REQUIRED BY THE
ENGINEER BETWEEN ALL
ASPHALT/AGGREGATE MATERIAL LIFTS.
1~1.5" ASPHALT CONCRETE, 1500 LBS.
STABILITY, TYPE C GRADATION.

FINISH SURFACE OF SUBGRADE SHALL BE
MOISTURE CONTROLLED AT COMPACTION
MOISTURE RANGE, OR PRIME COAT APPLIED
AS REQUIRED BY THE ENGINEER UNTIL
NEXT/FINAL SURFACE IS COMPLETED.
SUBGRADE PREPARATION SHALL BE
PERFORMED AFTER ALL SUBSURFACE R/W
UTILITIES CONSTRUCTION IS COMPLETED.
1' SUBGRADE SOIL, R-VALUE>50.
PLACED IN 2-6" COMPACTED LIFTS.
95% MIN. COMPACTION, AT OPT.
MOISTURE \pm 2.0%, ASTM D1557, OR
OPT. MOISTURE, TO \pm 4%, ASTM D698
FOR SOIL W/35% OR MORE MATERIAL
PASSING THE NO. 200 SIEVE.
SOIL NOT HAVING THE MIN. R-VALUE OF
50, SHALL BE REMOVED TO A DEPTH OF
2 FEET AND REPLACED BY THE CONTRACTOR
WITH SUITABLE MATERIAL OR A PAVEMENT
SHALL BE DESIGNED ACCOMMODATING
THE EXISTING R-VALUE PER
C.O.A. STANDARD SPECIFICATIONS.

RESIDENTIAL PAVING SECTION (STANDARD CURB)

NTS



LEGAL DESCRIPTION:

LOT 6,7, NORTH ALBUQUERQUE ACRES BLK 3

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
- ALL DRIVEPADS SHALL BE BUILT WHERE SHOWN.
- ALL CURB AND GUTTER TO BE STANDARD UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL	ESTRADA COURT	DRAWN BY WCHWJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 6-29-05
DAVID SOULE P.E. #14522	Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2453-GRD LAYOUT-B-18-04X
		SHEET # 1 OF 2
		JOB # 2455

