

CITY OF ALBUQUERQUE



February 9, 2007

David Soule, P.E.
Rio Grande Engineering
1606 Central Ave. SE, Suite 201
Albuquerque, NM 87106

Re: Estrada Court Subdivision, SIA/Financial Guarantee Release
Engineer's Stamp dated 9-19-05 (C20-D58)
Certification dated 2-09-07

Dear Mr. Soule,

Based upon the information provided in your submittal received 2-07-07, the above referenced certification is approved for release of SIA and Financial Guarantee.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: Marilyn Maldonado, COA# 751982
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

C-20/D58

PROJECT TITLE: Estrada Court
 DRB #: 1003672 EPC #: _____

ZONE MAP/DRG. FILE #: C20/D58
 WORK ORDER #: _____

LEGAL DESCRIPTION: Estrada Court
 CITY ADDRESS: South side of Oakland between Ventura NE and Barstow NE

ENGINEERING FIRM: Rio Grande Engineering
 ADDRESS: 1606 Central SE Suite 201
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE
 PHONE: (505)321-9099
 ZIP CODE: 87106

OWNER: Eriny Properties, LTD
 ADDRESS: PO Box 93642
 CITY, STATE: Albuquerque, NM

CONTACT: Bob Keeran
 PHONE: 856-4076
 ZIP CODE: 87199

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: Phil Turner
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

Need stamp date 9-19-05

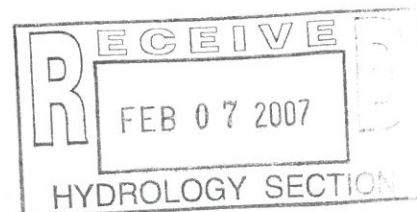
CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

CPN 751982



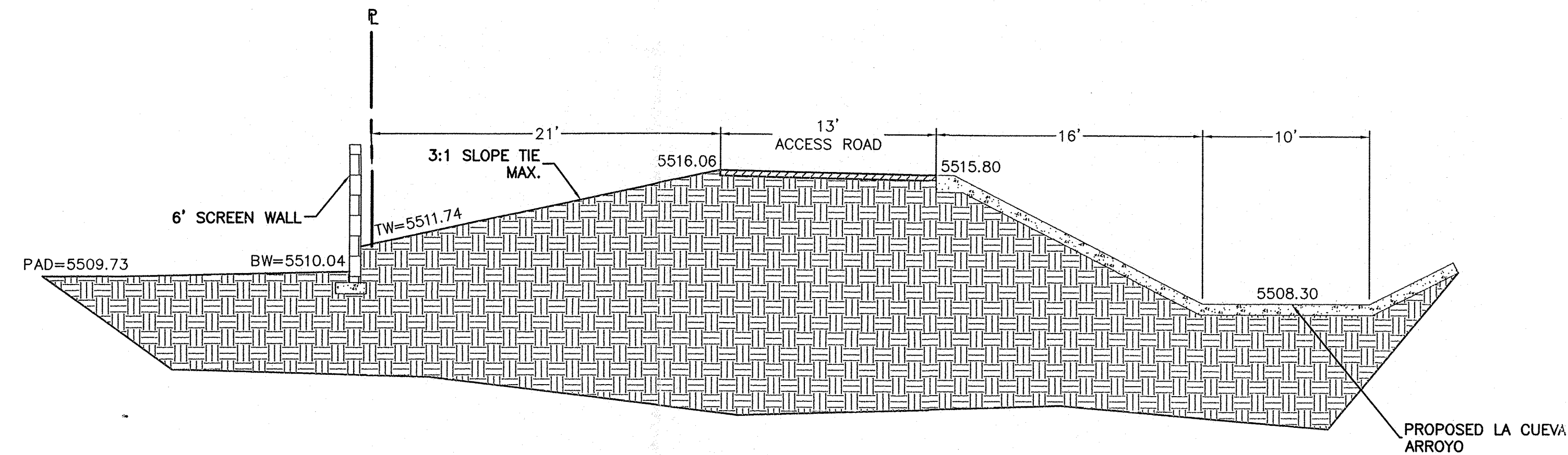
DATE SUBMITTED: 2/6/2007 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

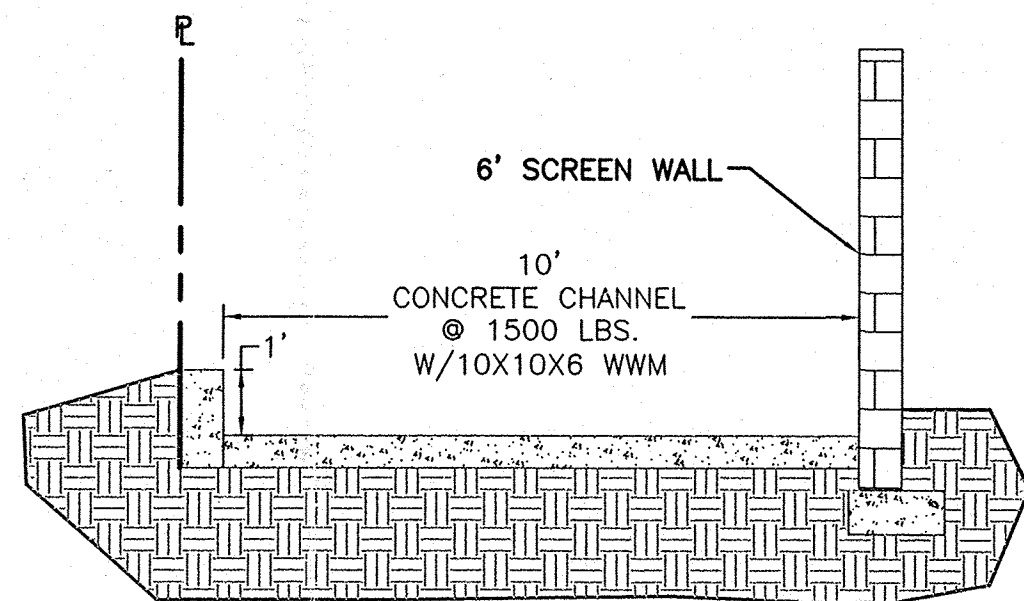
One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



SECTION A-A

NTS



SECTION B-B

NTS

LEGEND

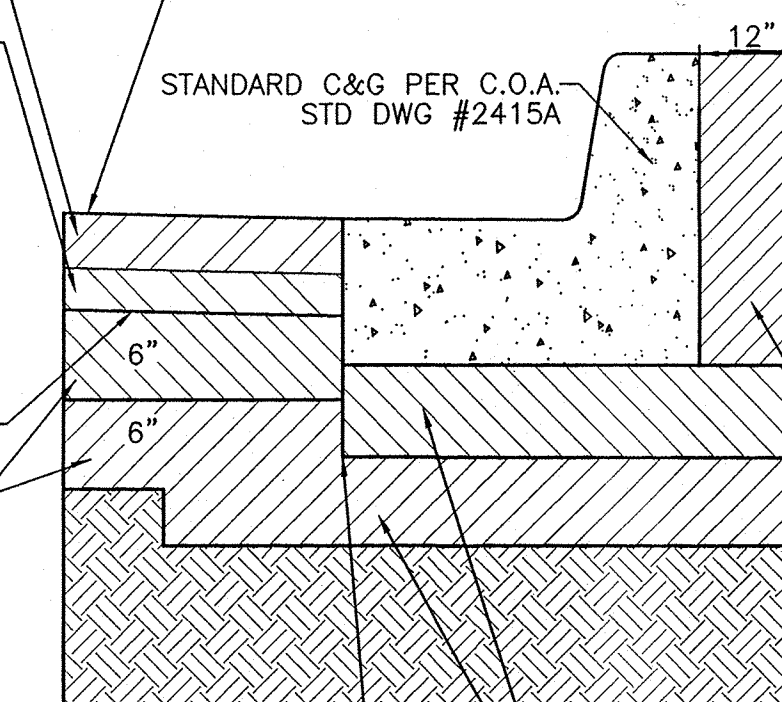
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SETBACK LINE

TACK COAT AS REQUIRED BY THE ENGINEER BETWEEN ALL ASPHALT/AGGREGATE MATERIAL LIFTS.
1~1.5" ASPHALT CONCRETE, 1500 LBS. STABILITY, TYPE C GRADATION.

1~1.5" ASPHALT CONCRETE TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLES, VALVES, COVERS/RINGS ARE SET TO GRADE. 1500 LBS. STABILITY TYPE C GRADATION.

FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED. SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED.

1' SUBGRADE SOIL, R-VALUE > 50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE $\pm 2.0\%$, ASTM D1557, OR OPT. MOISTURE, TO $\pm 4\%$, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.



CONSTRUCTION JOINT
90% MIN. COMPACTION.
2-6" LIFTS, SUBGRADE SOIL
95% MIN. COMPACTION
TO ASTM D1557

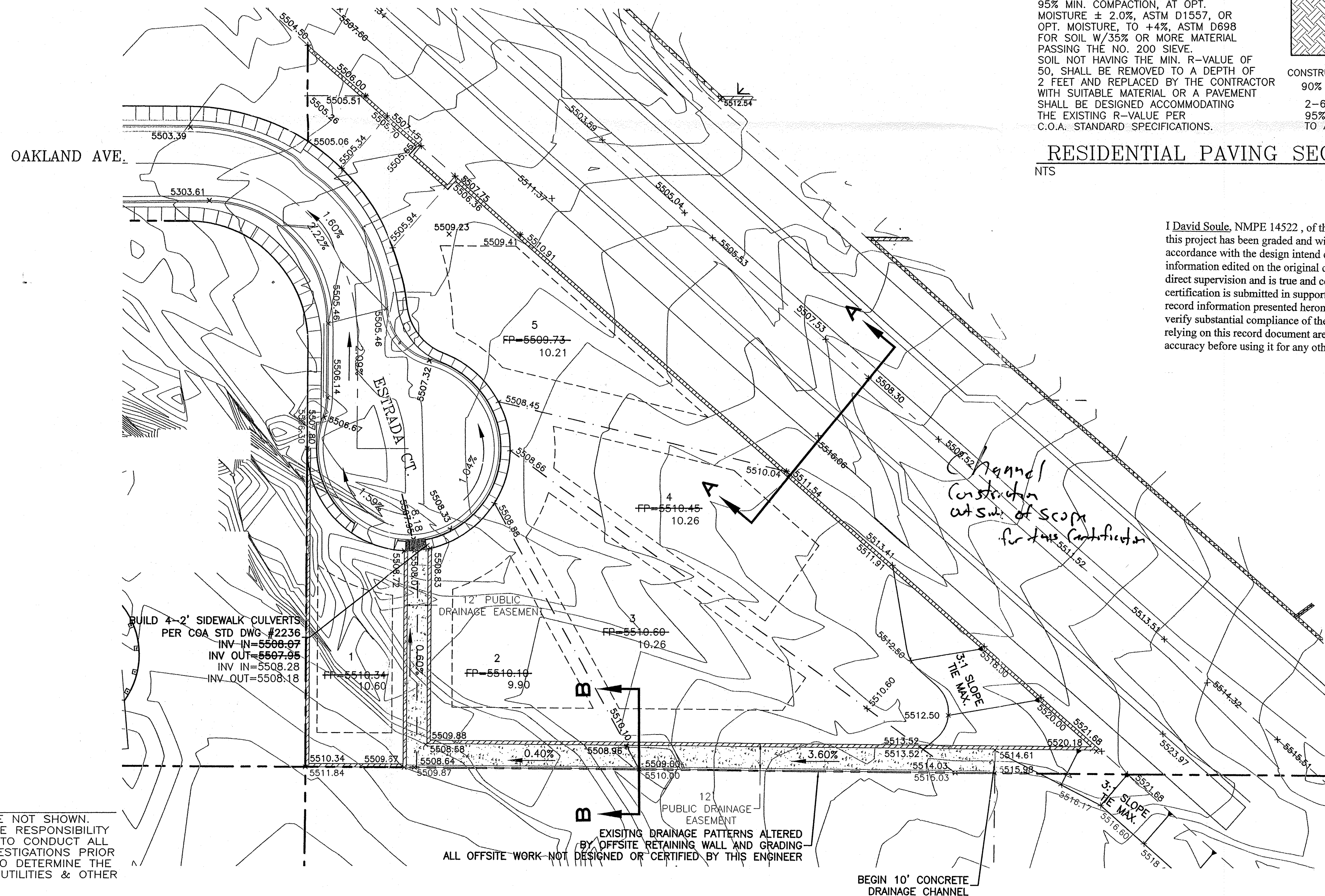
RESIDENTIAL PAVING SECTION (STANDARD CURB)

NTS

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9/19/05. The record information edited on the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The certification is submitted in support of a request for Release of Financial Guarantee. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



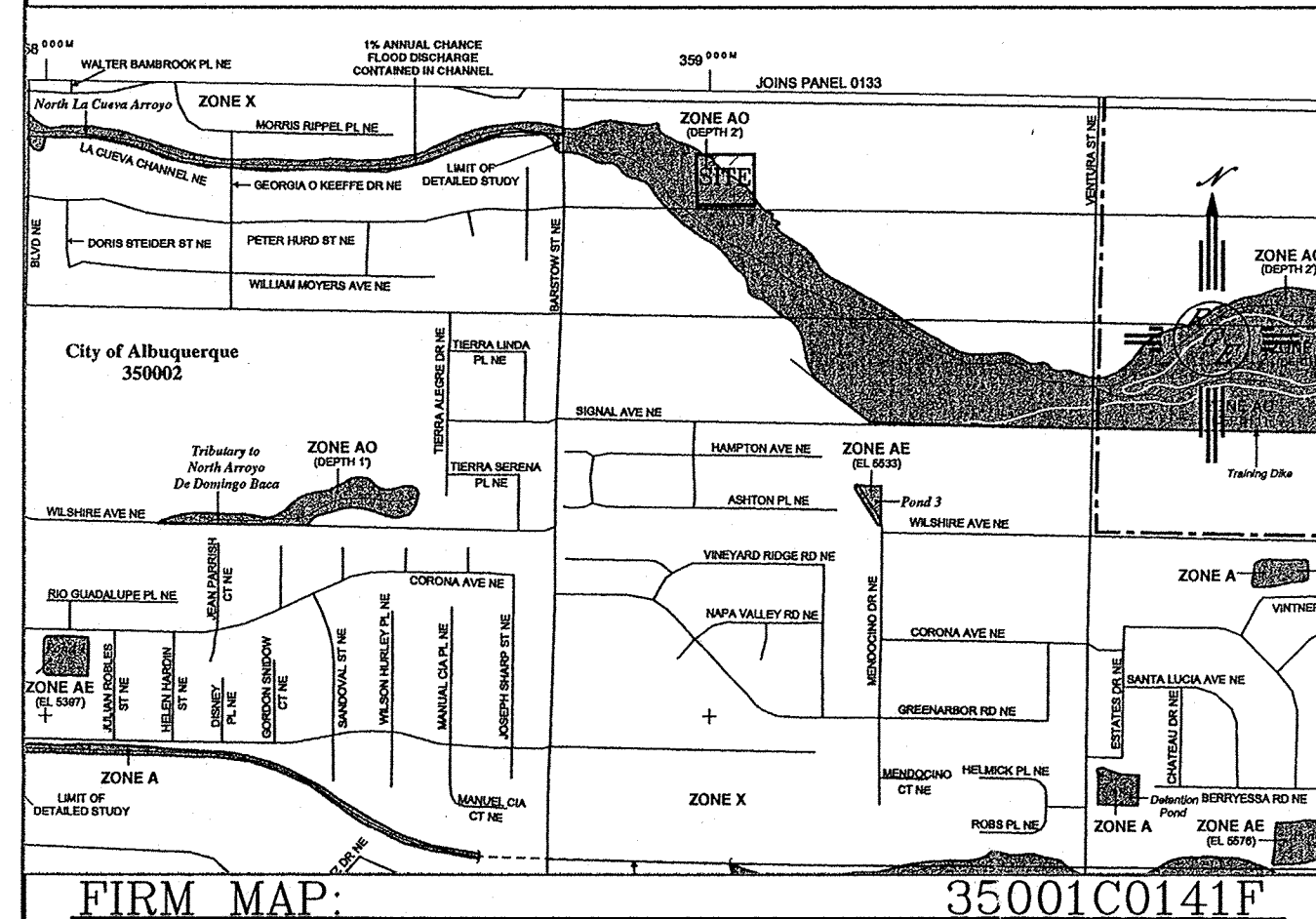
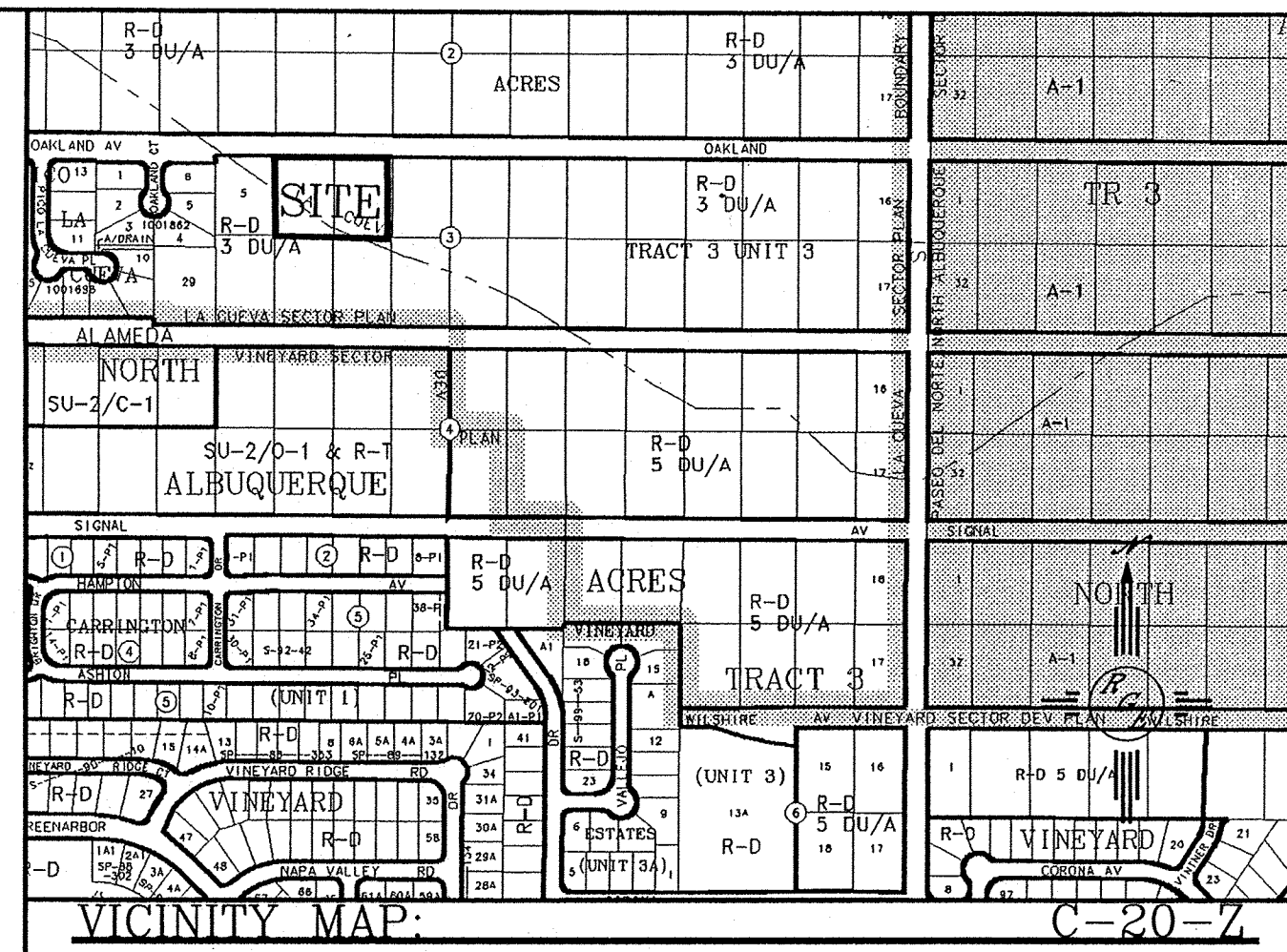
Handwritten note: "Handwritten construction outside of scope for this certification"



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ALL OFFSITE WORK NOT DESIGNED OR CERTIFIED BY THIS ENGINEER

BEGIN 10' CONCRETE DRAINAGE CHANNEL



LEGAL DESCRIPTION:

LOT 6,7, NORTH ALBUQUERQUE ACRES BLK 3

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
- ALL DRIVEPADS SHALL BE BUILT WHERE SHOWN.
- ALL CURB AND GUTTER TO BE STANDARD UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EARTH EXPOSED SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	ESTRADA COURT	DRAWN BY WCWJ
DAVID SOULE P.E. #14522	GRADING AND DRAINAGE PLAN	DATE 6-29-05
	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 672-0999	2455-GRD-LAYOUT-9-19-04X
		SHEET # 1 OF 2
		JOB # 2455