

CITY OF ALBUQUERQUE



September 20, 2017

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

**RE: Mark 3S Holly Development
9300 Holly NE
Conceptual Grading and Drainage Plan
Engineer's Stamp Date 8/24/2017 (File: C20D062)**

Dear Mr. Means:

As this area is site plan controlled, an approved Conceptual Grading and Drainage Plan is not required for subdivision. An approved Conceptual Grading and Drainage plan will be required at SPBP (as well as infrastructure and SIA).

In anticipation of seeing this project for SPS at DRB the following remarks will need to be addressed at DRB:

1. It is unclear how proposed tract C can be exempt from this subdivision as its lot line is being redrawn to create part of tract D; one platting action for C-E seems necessary.
2. Cross lot drainage easements are required across proposed tracts C, D, and E until such time that these lots develop to redirect flows directly onto Holly.

In anticipation of seeing the Conceptual Grading and Drainage plan for proposed tract C the following will be required for Hydrology:

1. Verification of street capacity (EGL and HGL). Several of the slopes along Holly are steeper than anticipated in the master plan (Means, 2003), negatively impacting the EGL.
2. Address Hydrology-related EPC comments provided 9/14/17.

Additional comments may be made, depending on the level of detail provided in these submittals. If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

File Path: P:\JWA\2017\2017.014\1\106\MS\SV1 Plot Date: 08-24-2017
File Name: 17014_Sht-WST-RL.DWG Plot Time: 3:29 pm

NOTE:

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 01/10/2017 (2016.059.1).

UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).

HIGH MESA Consulting Group
Engineers, Surveyors & Subsurface Utility Consultants

8010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

SITE DEVELOPMENT PLAN FOR SUBDIVISION MARK 3S HOLLY DEVELOPMENT - WEST

KEYED EASEMENT NOTES

EASEMENTS - EXISTING

- 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
- 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
- 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
- 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
- 10' PRIVATE WATER LINE EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.

EASEMENTS - PROPOSED

- 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION

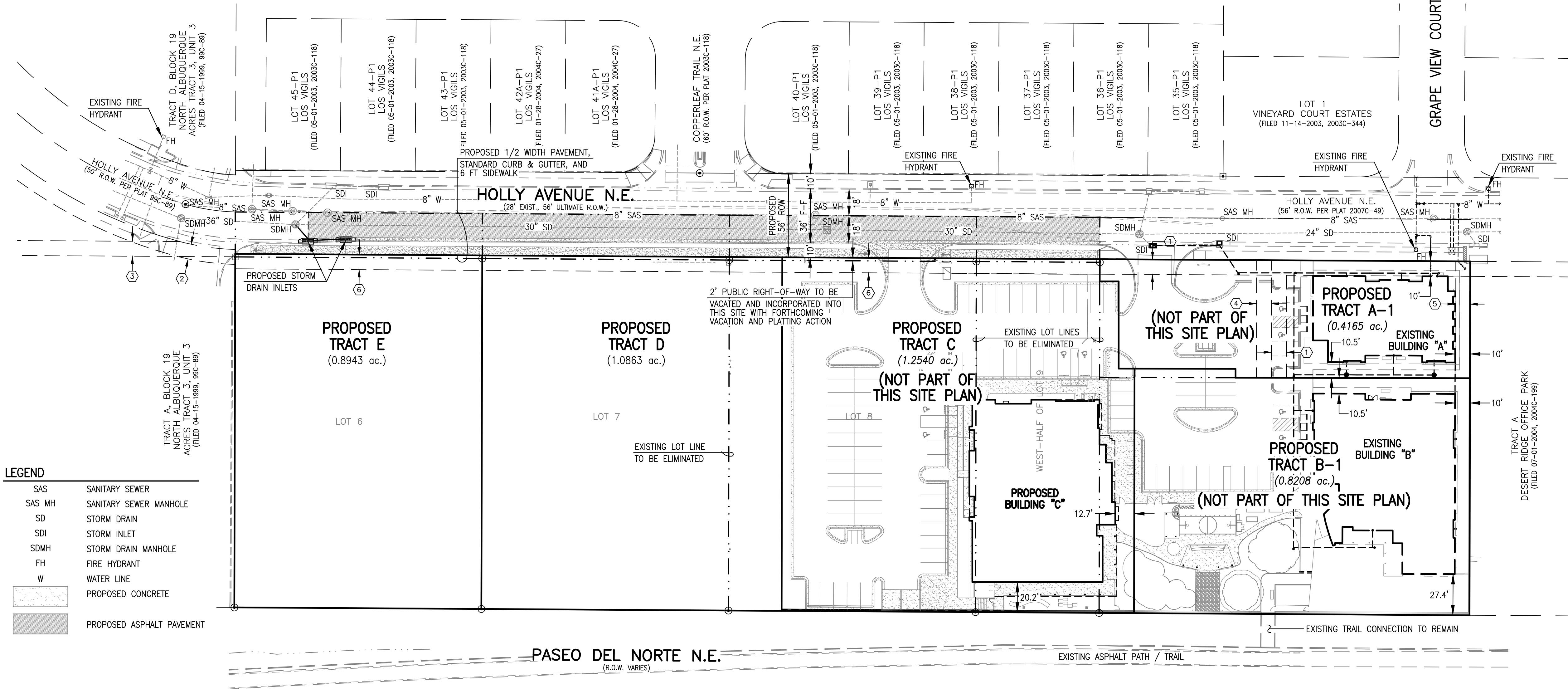
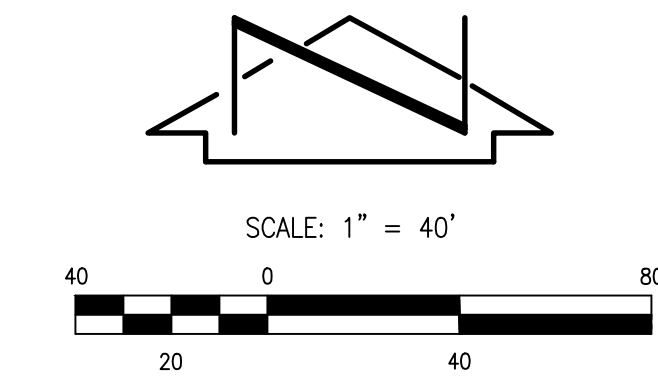
△ SITE DEVELOPMENT PLAN FOR SUBDIVISION NOTES

THE PROPOSED SITE DEVELOPMENT PLAN FOR SUBDIVISION IS FOR PROPOSED TRACTS D AND E. THIS IS A STAND-ALONE SITE DEVELOPMENT PLAN FOR SUBDIVISION AND PROPOSED TRACTS C, B-1, AND A-1 ARE NOT PART OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION. REFER TO SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR MARK 3S HOLLY DEVELOPMENT (2017 AMENDMENT) FOR TRACTS A-1, B-1, AND C.

FUTURE DEVELOPMENT ON TRACTS D AND E WILL BE IN ACCORDANCE WITH THE LA CUEVA SECTOR DEVELOPMENT PLAN AND WILL REQUIRE SITE DEVELOPMENT PLAN(S) FOR BUILDING PERMIT THROUGH THE EPC AND DRB PROCESS UNLESS CURRENT REGULATIONS CHANGE. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED AT THAT TIME DEPENDING ON THE NEEDS AND CHARACTER OF THE FUTURE DEVELOPMENT. UNLESS MODIFIED BY AMENDMENT, PROPOSED TRACTS D AND E WILL EACH HAVE SEPARATE VEHICULAR AND PEDESTRIAN ACCESS CONNECTIONS TO HOLLY AT LOCATIONS TO BE DETERMINED IN ACCORDANCE WITH DPM SPACING AND REQUIREMENTS OF THE SPECIFIC DEVELOPMENTS. ACCESS BETWEEN TRACT D AND TRACT C TO THE EAST WILL NOT BE ALLOWED AS TRACT C IS PART OF A STAND-ALONE EDUCATIONAL AND DAY CARE CAMPUS. SHARED ACCESS AND CROSS-LOT ACCESS BETWEEN TRACTS D AND E MAY BE ALLOWED, ALONG WITH SHARED ACCESS TO HOLLY, IF THE SITES DEVELOP CONCURRENTLY OR AS PART OF A PLAN THAT MAKES PROVISIONS FOR SHARED ACCESS.

THIS IS AN INFILL PROJECT THAT WILL COVER THE LAST REMAINING UNDEVELOPED PROPERTY ON HOLLY AVENUE NE. THE SITE WILL BE SERVED BY EXISTING PUBLIC WATER, SANITARY SEWER AND STORM DRAIN FACILITIES IN HOLLY AVE N.E. CONSTRUCTED BY PREVIOUS PROJECTS. THE LAST REMAINING TEMPORARY SECTION OF HOLLY WILL BE PAVED WITH PERMANENT PAVEMENT AND CURB AND GUTTER BY THIS PROJECT.

GRAPE VIEW COURT N.E.



LEGEND	
SAS	SANITARY SEWER
SAS MH	SANITARY SEWER MANHOLE
SD	STORM DRAIN
SDI	STORM INLET
SDMH	STORM DRAIN MANHOLE
FH	FIRE HYDRANT
W	WATER LINE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT

△ SITE DEVELOPMENT PLAN FOR SUBDIVISION NOTES

- 1 THE SITE INCLUDES PROPOSED TRACTS D AND E. TRACTS C, B-1, AND A-1 ARE NOT PART OF THIS SITE DEVELOPMENT PLAN FOR SUBDIVISION.
- 2 PROPOSED USES TO BE CONSISTENT WITH LA CUEVA SECTOR DEVELOPMENT PLAN (SU-2/MIXED USE)
- 3 INTERNAL CIRCULATION WILL BE DEPICTED BY A REQUIRED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- 4 MAXIMUM BUILDING HEIGHT = 36 FT FOR EACH TRACT
- 5 SETBACKS FOR EACH TRACT SHALL BE AS SHOWN BY FUTURE SITE PLAN FOR BUILDING PERMIT
- 6 MAXIMUM FLOOR AREA RATIO = 0.30 FOR EACH TRACT
- 7 DESIGN GUIDELINES TO BE AS IDENTIFIED IN THE LA CUEVA SECTOR DEVELOPMENT PLAN
- 8 ACCESS TO TRACTS D AND E SHALL BE CONNECTIONS TO HOLLY AS ALLOWED BY THE DPM

PROJECT NUMBER: 1011354

APPLICATION NUMBER: 17 EPC-40034

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
SOLID WASTE MANAGEMENT	Date
FIRE MARSHAL	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

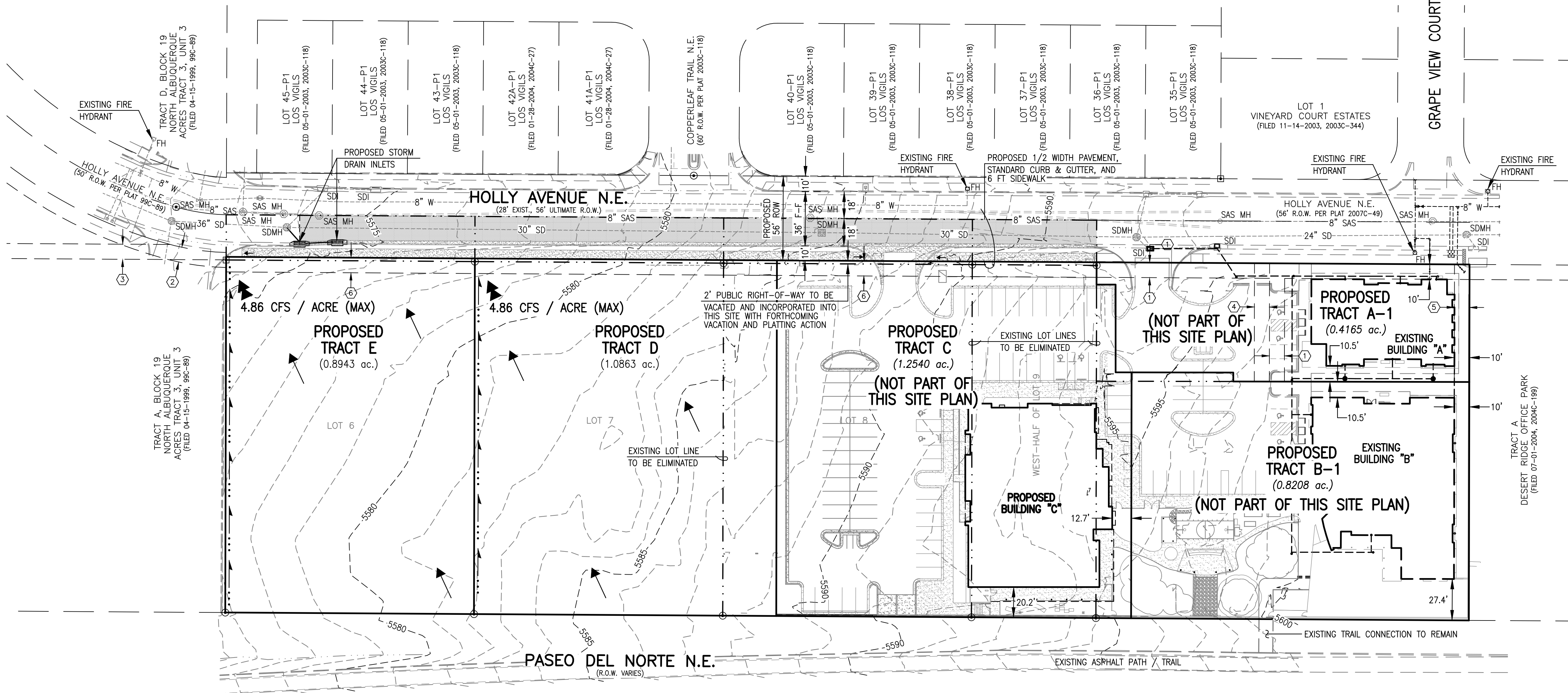
INDEX OF DRAWINGS



SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
△ 2	CONCEPTUAL GRADING PLAN

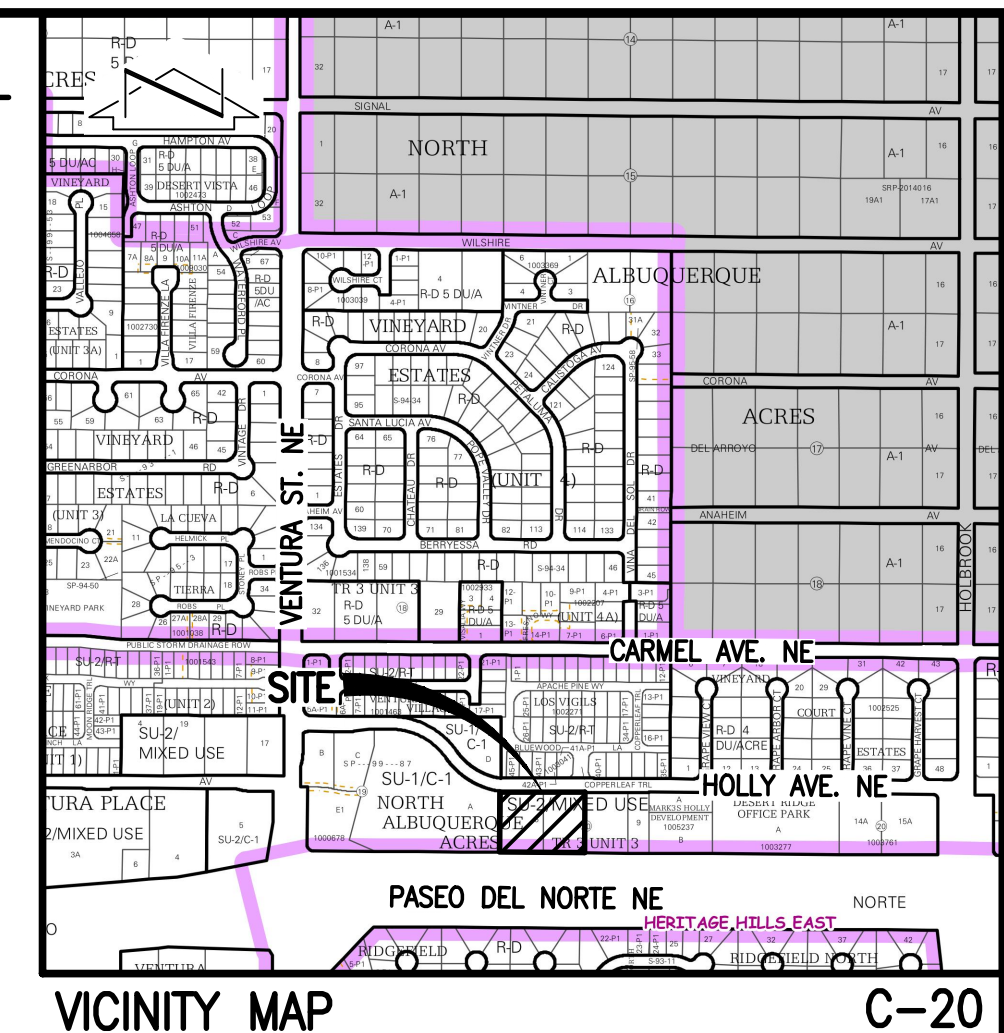


8/2/2017
8/24/17

DESIGNED BY	ND	DATE	BY	REVISIONS		JOB NO.
				STAFF	INITIAL REVIEW COMMENTS	
R.J.C.	△	8/17	G.M.			2017.014.1
J.Y.R./T.N.T.						DATE 08-2017
G.M.						SHEET 1 OF 2



LEGEND	
SAS	SANITARY SEWER
SAS MH	SANITARY SEWER MANHOLE
SD	STORM DRAIN
SDI	STORM INLET
SDMH	STORM DRAIN MANHOLE
FH	FIRE HYDRANT
W	WATER LINE
←	DIRECTION OF FLOW
← ... ←	FLOWLINE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT



VICINITY MAP C-20

SCALE: 1" = 750'

ZONING

SU-2 / MIXED USE

LEGAL DESCRIPTION

KEYED NOTES

EASEMENTS – EXISTING

- ① 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
 - ② 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
 - ③ 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
 - ④ 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
 - ⑤ 10' PRIVATE WATER LINE EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A.
-
- EASEMENTS — PROPOSED
- ⑥ 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION

CONCEPTUAL DRAINAGE NARRATIVE

TRACTS D AND E AS SHOWN HEREON ARE BEING REPLATTED AS SHOWN. THERE IS NO DEVELOPMENT OR GRADING PLANNED AT THIS TIME. THE SITE DRAINS FROM SOUTHEAST TO NORTHWEST TO HOLLY AVE NE. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE WILL BE FREE DISCHARGE TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE FOLLOWING PLANS PREPARED BY THIS OFFICE FOR THIS SITE AND SURROUNDING AREAS:

LOMR FOR NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION (HMC6
12/08/2003) APPROVED BY FEMA 03/23/2004.

DRAINAGE REPORT FOR LOS VIGILS SUBDIVISION (HMCG 12/31/2002, C20/D41).

GRADING AND DRAINAGE PLAN FOR DESERT RIDGE OFFICE PARK (HMC# C20/D51).

DRAINAGE REPORT FOR VINEYARD COURT ESTATES (HMC# 08/21/2003)

GRADING AND DRAINAGE PLANS FOR HOLLY MARK 3S DEVELOPMENT (HMC# 02/05/2007 AND 05/11/2015).

THE HOLLY STREET FRONTAGE, INCLUDING TWO PLANNED STORM INLETS, WILL BE CONSTRUCTED AT THIS TIME BASED UPON THE PROFILE AND DESIGN CALCULATIONS FOR THE OPPOSITE SIDE OF THE STREET.

WHEN THE SITE DEVELOPS, WATER QUALITY FIRST FLUSH REQUIREMENTS SHALL BE ADDRESSED. NO RETENTION PONDING FOR DISCHARGE CONTROL IS REQUIRED OR PROPOSED BEYOND FIRST FLUSH PROVISIONS.

NOTE:

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 01/10/2017 (2016.059.1).


UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1), ALSO A PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).

8/2/2017
8/24/17

HIGH MESA Consulting Group

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

CONCEPTUAL GRADING PLAN
MARK 3S HOLLY DEVELOPMENT - WEST

DESIGNED BY <u>R.J.C.</u> DRAWN BY <u>J.Y.R./T.N.T.</u> APPROVED BY <u>G.M.</u>	NO.	DATE	BY	REVISIONS	JOB NO.
		8/17	G.M.	STAFF INITIAL REVIEW COMMENTS	2017.014.1
					DATE 08-2017
					SHEET 2 OF 2