CITY OF ALBUQUERQUE



June 7, 2019

J. Graeme Means, PE, High Mesa Consulting Group 6010-B Midway Park Blvd NE Albuquerque, NM 87109

Re: Mark 3S Holly Development, BP#2018-06278 9100 Holly Ave NE, 30-Day Temporary Certificate of Occupancy- Traffic Certification Only Transportation Development Final Inspection Engineer's/Architect's Stamp dated 11-28-17 (DRB) (C20D062) Certification dated 6-6-19

Dear Mr. Means

Based upon the information provided in your submittal received 6-6-19, Transportation Development will issue a <u>30-day Temporary Certificate of Occupancy</u> based solely on the Traffic Certification dated 06-06-2019. This letter serves as a "green tag" from Transportation Development for a <u>30-day Temporary Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the Transportation Department must receive a complete acceptable submittal package from the applicant including.

- Albuquerque
- 1. The approved and stamped TCL, Administrative Amendment, or Site Plan for Building Permit with any changes drawn in red.

NM 87103

www.cabq.gov

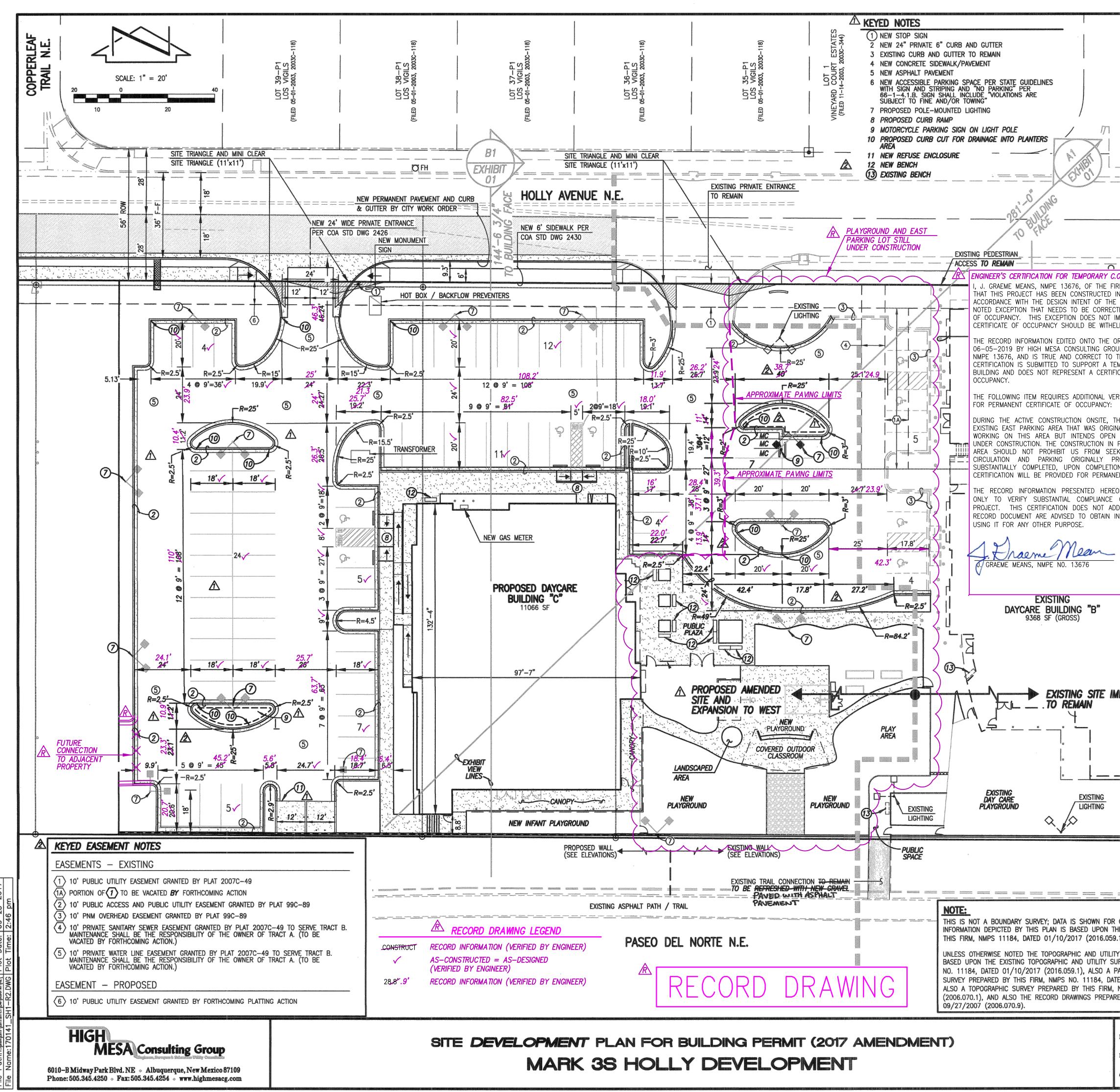
- 2. Transportation Certification letter on either the plan or applicants letterhead.
- 3. A Drainage Transportation Information Sheet (DTIS)
- 4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez Plan Checker, Planning Dept. Development Review Services

EG via: email C: CO Clerk, File



W1/121 Plot Date: 09-25-2017 DWG Plot Time: 2:46 pm le Path: P.(MM/2017/2017/014.1/B0C/BUC le Name: 170141_SH1-R2

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City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title:	Building Permit #:		Hydrology File #:		
DRB#:	EPC#:		Work Order#:		
Legal Description:					
City Address:					
Applicant:			Contact:		
Address:			_		
Phone#:			_E-mail:		
Other Contact:			Contact:		
Address:					
Phone#:	Fax#:		_E-mail:		
TYPE OF DEVELOPMENT:	PLAT (# of lots)	RESIDENCE	DRB SITE	ADMIN SITE	
IS THIS A RESUBMITTAL?	Yes No				
DEPARTMENT TRANSPORTAT	IONHY	DROLOGY/DRAINAGE			
Check all that Apply:		TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL			
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFIC PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PEI ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING?	RMIT APPLIC ' (TCL)	TEMPORARY C TEMPORARY C TEMPORARY C TEMPORARY C TRELIMINARY TRELIMINARY TRELIMINARY TRELIMINAL PLAT A	ERTIFICATE OF PLAT APPROV R SUB'D APPRO BLDG. PERMI APPROVAL COF FINANCIAL FERMIT APPROVAL MIT APPROVAL MIT APPROVAL D CERTIFICATI APPROVAL C DEVELOPMENT IFY)	OCCUPANCY VAL OVAL IT APPROVAL GUARANTEE DVAL L ON	
DATE SUBMITTED:	By:				
COA STAFF:		C SUBMITTAL RECEIVED:			