

CITY OF ALBUQUERQUE



June 7, 2019

J. Graeme Means, PE,
High Mesa Consulting Group
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

Re: Mark 3S Holly Development, BP#2018-06278
9100 Holly Ave NE,
30-Day Temporary Certificate of Occupancy- Traffic Certification Only
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 11-28-17 (DRB) (C20D062)
Certification dated 6-6-19

Dear Mr. Means

Based upon the information provided in your submittal received 6-6-19, Transportation Development will issue a 30-day Temporary Certificate of Occupancy based solely on the Traffic Certification dated 06-06-2019. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the Transportation Department must receive a complete acceptable submittal package from the applicant including.

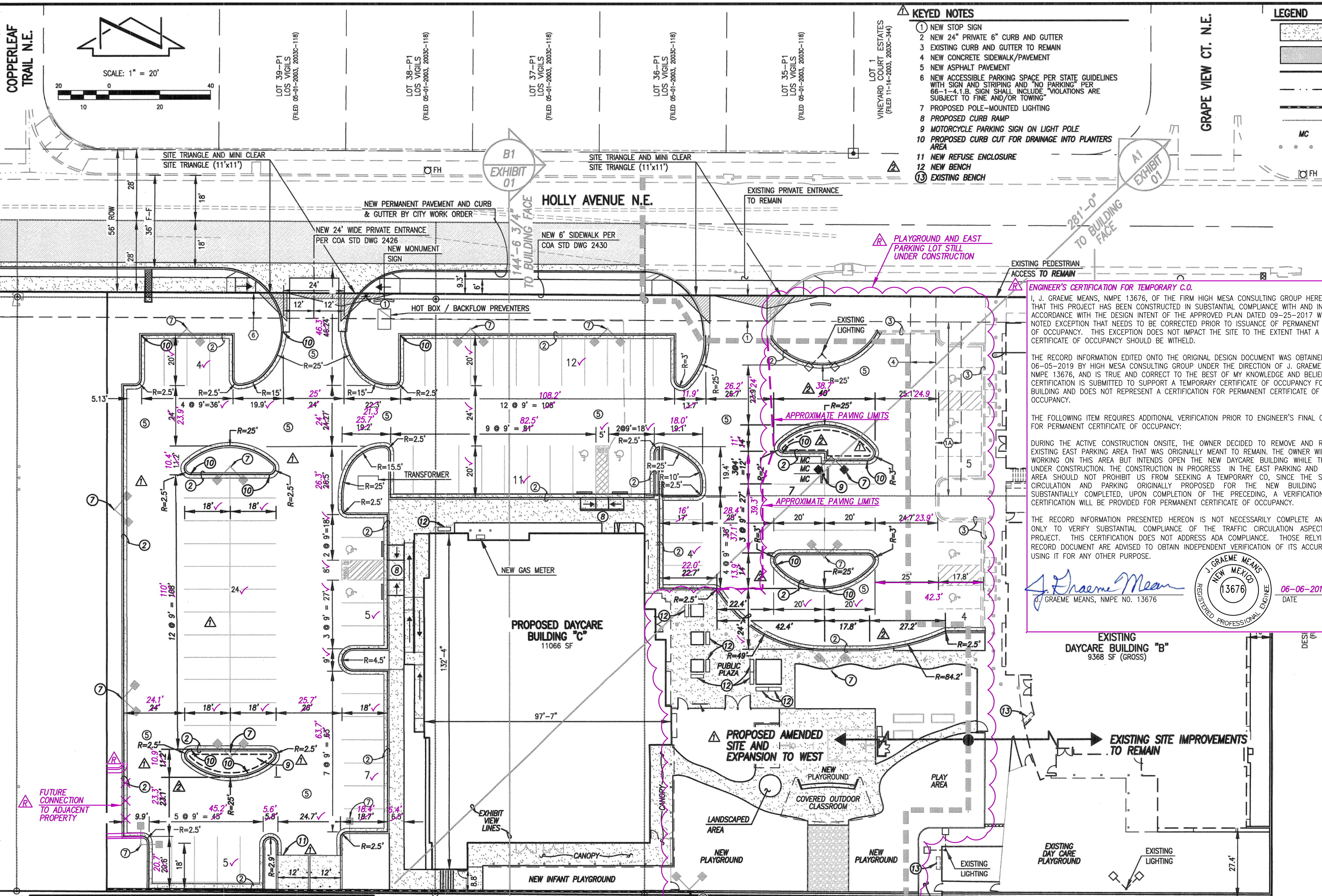
1. The approved and stamped TCL, Administrative Amendment, or Site Plan for Building Permit with any changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

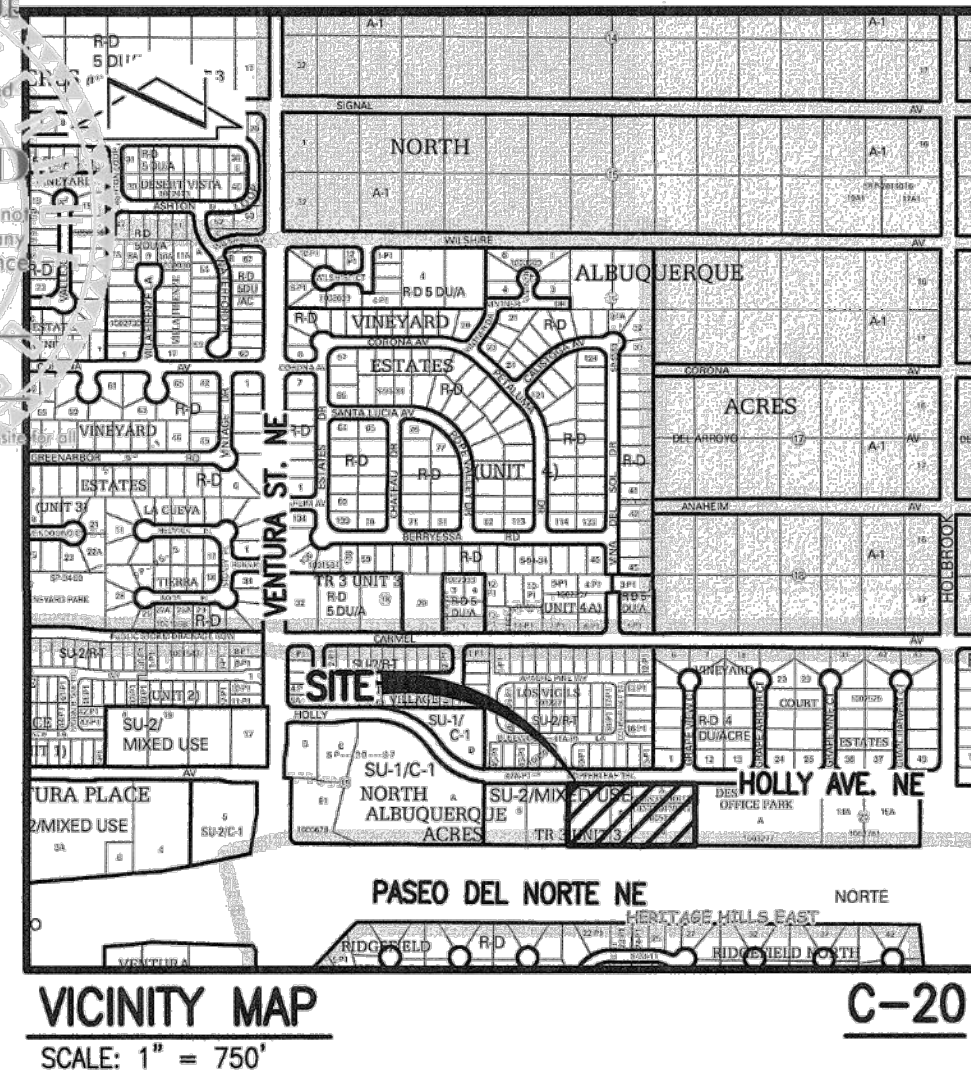
EG via: email
C: CO Clerk, File



KEYED NOTES

- 1 NEW STOP SIGN
- 2 NEW 24" PRIVATE 6" CURB AND GUTTER
- 3 EXISTING CURB AND GUTTER TO REMAIN
- 4 NEW CONCRETE SIDEWALK/PAVEMENT
- 5 NEW ASPHALT PAVEMENT
- 6 NEW ACCESSIBLE PARKING SPACE PER STATE GUIDELINES WITH SIGN AND STRIPING AND "NO PARKING" PER 66-1-4.1.B. SIGN SHALL INCLUDE "VIOLATIONS ARE SUBJECT TO FINE AND/OR TOWING"
- 7 PROPOSED POLE-MOUNTED LIGHTING
- 8 PROPOSED CURB RAMP
- 9 MOTORCYCLE PARKING SIGN ON LIGHT POLE
- 10 PROPOSED CURB CUT FOR DRAINAGE INTO PLANTERS AREA
- 11 NEW REFUSE ENCLOSURE
- 12 NEW BENCH
- 13 EXISTING BENCH

LEGEND



ENGINEER'S CERTIFICATION FOR TEMPORARY C.O.
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-25-2017 WITH ONE NOTED EXCEPTION THAT NEEDS TO BE CORRECTED PRIOR TO ISSUANCE OF PERMANENT CERTIFICATE OF OCCUPANCY. THIS EXCEPTION DOES NOT IMPACT THE SITE TO THE EXTENT THAT A TEMPORARY CERTIFICATE OF OCCUPANCY SHOULD BE WITHHELD.

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 06-05-2019 BY HIGH MESA CONSULTING GROUP UNDER THE DIRECTION OF J. GRAEME MEANS, NMPE 13676, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED TO SUPPORT A TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE NEW BUILDING AND DOES NOT REPRESENT A CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE FOLLOWING ITEM REQUIRES ADDITIONAL VERIFICATION PRIOR TO ENGINEER'S FINAL CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY:

DURING THE ACTIVE CONSTRUCTION ONSITE, THE OWNER DECIDED TO REMOVE AND REPLACE THE EXISTING EAST PARKING AREA THAT WAS ORIGINALLY MEANT TO REMAIN. THE OWNER WILL CONTINUE WORKING ON THIS AREA BUT INTENDS OPEN THE NEW DAYCARE BUILDING WHILE THIS AREA IS UNDER CONSTRUCTION. THE CONSTRUCTION IN PROGRESS IN THE EAST PARKING AND PLAYGROUND AREA SHOULD NOT PROHIBIT US FROM SEEKING A TEMPORARY C.O. SINCE THE SITE ACCESS, CIRCULATION AND PARKING ORIGINALLY PROPOSED FOR THE NEW BUILDING HAS BEEN SUBSTANTIALLY COMPLETED, UPON COMPLETION OF THE PRECEDING, A VERIFICATION VISIT AND CERTIFICATION WILL BE PROVIDED FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC CIRCULATION ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS ADA COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

J. Graeme Means
J. GRAEME MEANS, NMPE NO. 13676
06-06-2019 DATE

EXISTING DAYCARE BUILDING "B"
9368 SF (GROSS)

PROPOSED AMENDED SITE AND EXPANSION TO WEST
NEW PLAYGROUND
COVERED OUTDOOR CLASSROOM
PLAY AREA
EXISTING SITE IMPROVEMENTS TO REMAIN

NEW INFANT PLAYGROUND
LANDSCAPED AREA
CANOPY
NEW PLAYGROUND
EXISTING LIGHTING
PUBLIC SPACE

EXISTING TRAIL CONNECTION TO REMAIN
TO BE REFRESHED WITH NEW GRAVEL PAVED WITH ASPHALT PAVEMENT

EXISTING ASPHALT PATH / TRAIL
PASEO DEL NORTE N.E.

PROPOSED WALL (SEE ELEVATIONS)
EXISTING WALL (SEE ELEVATIONS)

NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY THIS FIRM, NMPS 11184, DATED 01/10/2017 (2016.059.1).

UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1), ALSO A PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).

KEYED EASEMENT NOTES

EASEMENTS - EXISTING

- 1 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2007C-49
- 2 PORTION OF 1 TO BE VACATED BY FORTHCOMING ACTION
- 3 10' PUBLIC ACCESS AND PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-89
- 4 10' PNM OVERHEAD EASEMENT GRANTED BY PLAT 99C-89
- 5 10' PRIVATE SANITARY SEWER EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)
- 6 10' PRIVATE WATER LINE EASEMENT GRANTED BY PLAT 2007C-49 TO SERVE TRACT B. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF TRACT A. (TO BE VACATED BY FORTHCOMING ACTION.)

EASEMENT - PROPOSED

- 7 10' PUBLIC UTILITY EASEMENT GRANTED BY FORTHCOMING PLATTING ACTION

RECORD DRAWING LEGEND

- CONSTRUCT RECORD INFORMATION (VERIFIED BY ENGINEER)
✓ AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY ENGINEER)
28.8' .9' RECORD INFORMATION (VERIFIED BY ENGINEER)

RECORD DRAWING

HIGH MESA Consulting Group
Engineers, Planners & Scientists • Utility Consultants

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.945.4250 • Fax: 505.945.4254 • www.highmesagroup.com

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (2017 AMENDMENT) MARK 3S HOLLY DEVELOPMENT

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
R.J.C.	8/17	G.M.	STAFF INITIAL REVIEW COMMENTS	2017.014.2
J.Y.R./T.N.T.	9/17	G.M.	ADDRESS EPC CONDITIONS	DATE 09-2017
G.M.	9/17	G.M.	TCL TEMP CERTIFICATION	SHEET 1 OF 13



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ TEMPORARY CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____