

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Interim Director



Mayor Timothy M. Keller

August 15, 2019

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

RE: Mark 3S Holly Development NIDO (BP-2018-06278)
9300 Holly Ave NE
Request for Certificate of Occupancy – Permanent
Engineer's Certification – Accepted
Engineer's Stamp Date: 3/8/18
Certification Dated: 8/13/19
Hydrology File: C20D062

PO Box 1293

Dear Mr. Means,

Albuquerque

Based on the submittal received on 8/13/19, the Engineer's Certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, contact me at 924-3695 or dpeterson@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Email Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

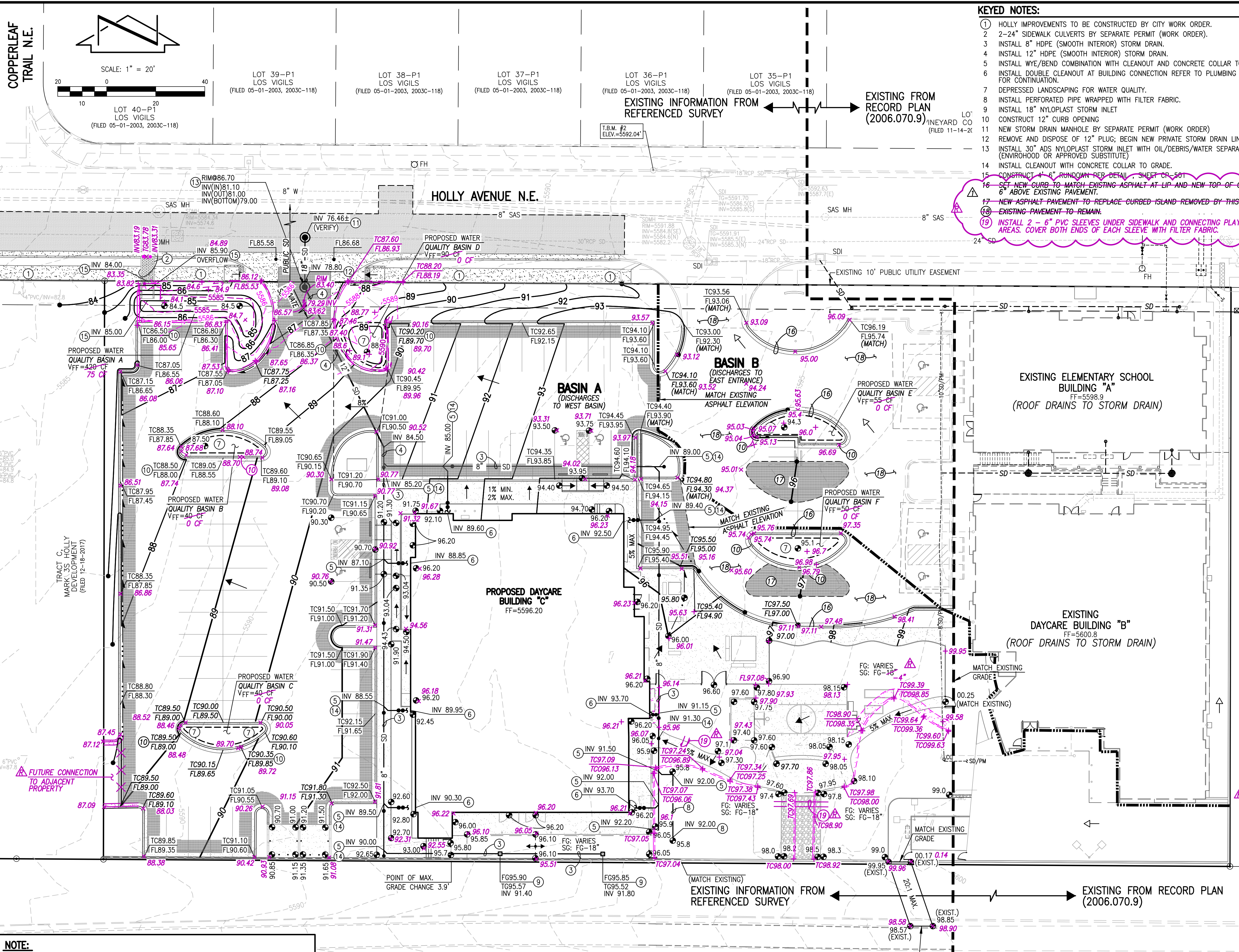
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

File Name: P:\data\2017\2017.014.4\ENGIN\ResD170144.CG-101-A_Rec.dwg - MODEL Plot Date: 8/12/19 Plot Time: 15:47



NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE PLAT OF RECORD (2017C-0146, RECORDED 12-18-2017).
UNLESS OTHERWISE NOTED THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1), ALSO A PARTIAL TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 05/16/2017 (2016.059.2), AND ALSO A TOPOGRAPHIC SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 10/24/2006 (2006.070.1), AND ALSO THE RECORD DRAWINGS PREPARED BY THIS FIRM, NMPE 13676, DATED 09/27/2007 (2006.070.9).

PASEO DEL NORTE N.E.

RECORD DRAWING

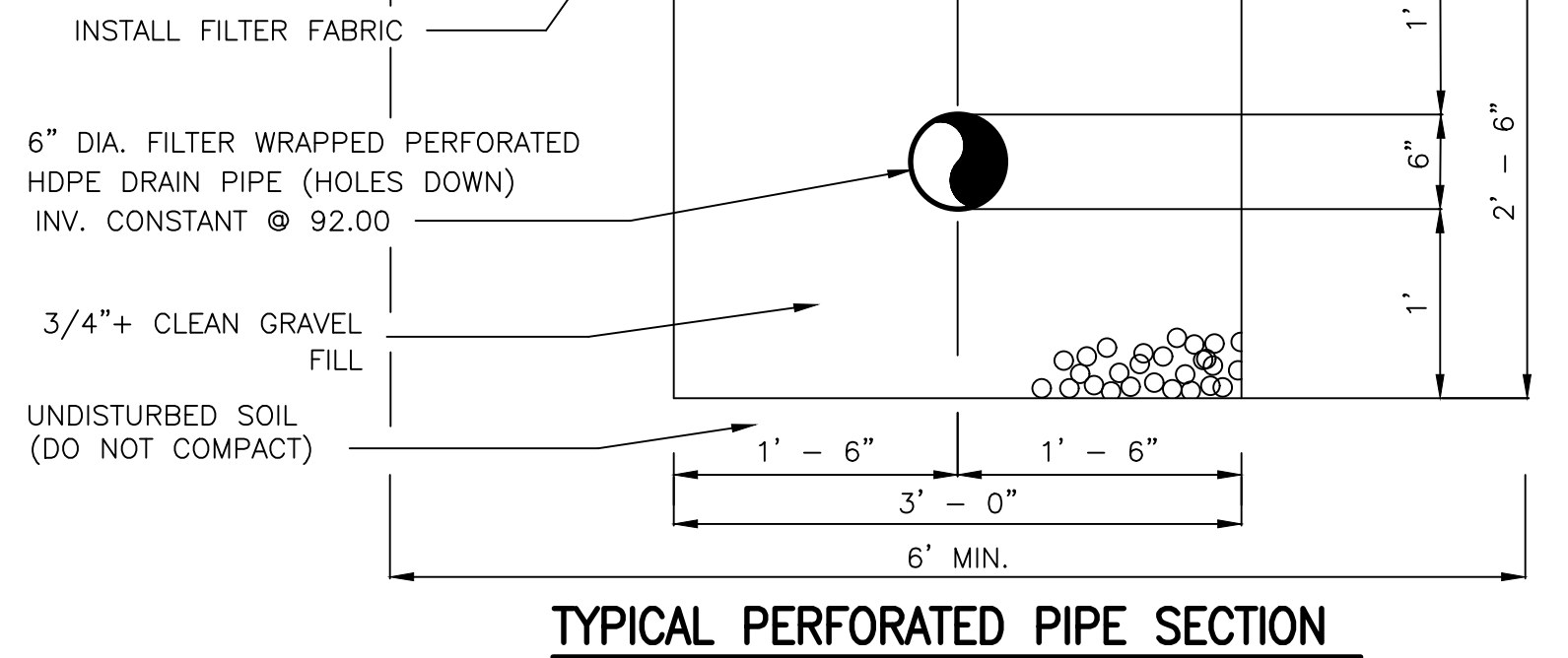
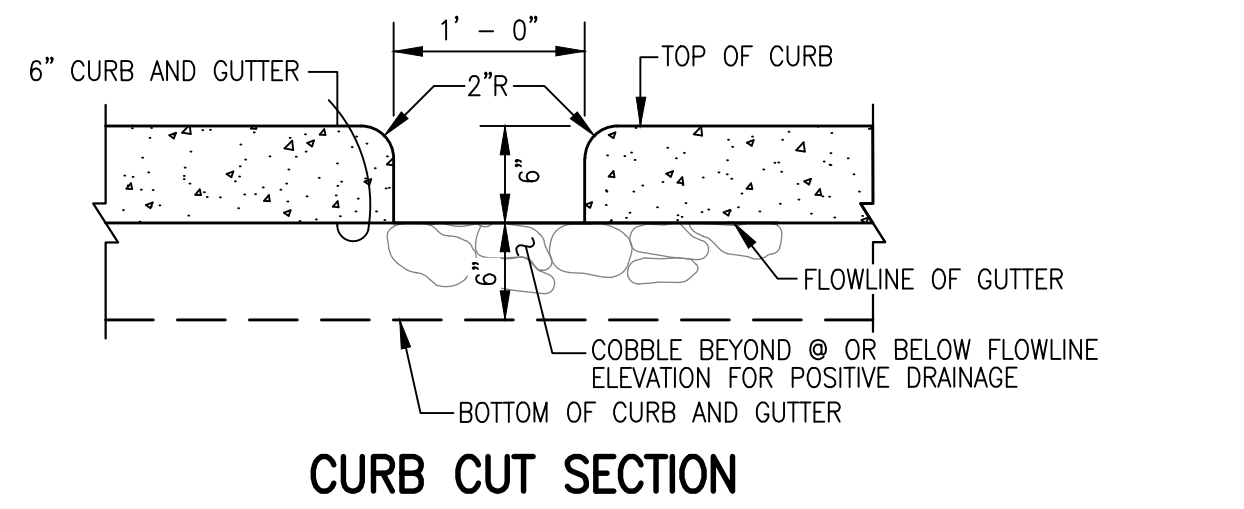
KEYED NOTES:

- HOLLY IMPROVEMENTS TO BE CONSTRUCTED BY CITY WORK ORDER.
- 2-24" SIDEWALK CULVERTS BY SEPARATE PERMIT (WORK ORDER).
- INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN.
- INSTALL 12" HDPE (SMOOTH INTERIOR) STORM DRAIN.
- INSTALL WYE/BEND COMBINATION WITH CLEANOUT AND CONCRETE COLLAR TO GRADE.
- INSTALL DOUBLE CLEANOUT AT BUILDING CONNECTION REFER TO PLUMBING PLANS FOR CONTINUATION.
- DEPRESSED LANDSCAPING FOR WATER QUALITY.
- INSTALL PERFORATED PIPE WRAPPED WITH FILTER FABRIC.
- INSTALL 18" NYLOPLAST STORM INLET
- CONSTRUCT 12" CURB OPENING
- NEW STORM DRAIN MANHOLE BY SEPARATE PERMIT (WORK ORDER)
- REMOVE AND DISPOSE OF 12" PLUG; BEGIN NEW PRIVATE STORM DRAIN LINE.
- INSTALL 30" ADS NYLOPLAST STORM INLET WITH OIL/DEBRIS/WATER SEPARATOR (ENVIROHOOD OR APPROVED SUBSTITUTE)
- INSTALL CLEANOUT WITH CONCRETE COLLAR TO GRADE.
- CONSTRUCT 4" 6" RUNDOWN-REF DETAIL SHEET CR-501
- SET NEW CURB TO MATCH EXISTING ASPHALT AT UP AND NEW TOP OF CURB 6" ABOVE EXISTING PAVEMENT.
- NEW ASPHALT PAVEMENT TO REPLACE CURBED ISLAND REMOVED BY THIS PROJECT.
- EXISTING PAVEMENT TO REMAIN.
- INSTALL 2 - 6" PVC SLEEVES UNDER SIDEWALK AND CONNECTING PLAY AREAS. COVER BOTH ENDS OF EACH SLEEVE WITH FILTER FABRIC.

CONSTRUCTION NOTES:

- Two (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- UTILITY INFORMATION SHOWN HEREON IS BASED UPON ON-SITE SURFACE EVIDENCE, REVIEW OF AVAILABLE ABQWUA AND CITY OF ALBUQUERQUE RECORD DRAWINGS AND DISTRIBUTION MAPS AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP (2016.059.1 AND 2016.059.2). IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NOS. 16DE200007 AND 17AP210205). UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
- THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- BACKFILL COMPACTION SHALL BE ACCORDING TO MAJOR LOCAL STREET USE.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR EARTHWORK REQUIREMENTS, AS APPLICABLE.

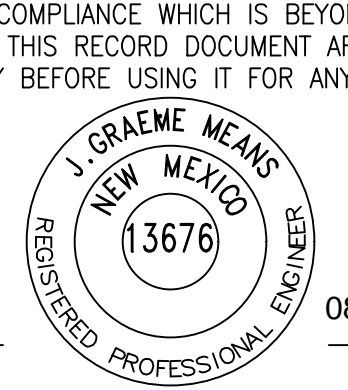
TRACT A
DESERT RIDGE OFFICE PARK
(FILED 07-01-2004, 2004C-199)



ENGINEER'S CERTIFICATION- PERMANENT CO
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED, GRADED AND WILL DRAIN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03/08/2018 WITH THE NOTED EXCEPTION OF NOT MEETING THE WATER QUALITY VOLUME SHOWN ON THE APPROVED PLANS. THE REQUIRED WATER QUALITY VOLUME TO BE RETAINED ON SITE TOTALLED TO 906 CF. AS-BUILT VOLUMES RETAINED TOTALLED TO 175 CF. REQUIRED VOLUME 906 CF. VOLUME RETAINED 175 CF = 731 CF BYPASS. A PAYMENT IN LIEU TO ADDRESS THE DIFFERENCE BETWEEN THE REQUIRED VOLUME AND THE AS-BUILT VOLUME WILL BE MADE.

THE SUPPLEMENTAL RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTS WAS OBTAINED 06/12/2019 AND 08/01/2019 BY HIGH MESA CONSULTING GROUP UNDER THE DIRECTION OF CHARLES G. CALA, JR., SUBMITTED TO SUPPORT A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS ADA COMPLIANCE WHICH IS BEYOND THE SCOPE OF GRADING AND DRAINAGE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



HIGH MESA Consulting Group
Engineers, Surveyors & Subcontractors Utility Consultants

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

**GRADING AND DRAINAGE PLAN
MARK 3S HOLLY DEVELOPMENT**

RECORD DRAWING LEGEND	
CONSTRUCT	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
38' 42"	RECORD INFORMATION FROM AS-BUILT SURVEY
25.2	RECORD INFORMATION FROM AS-BUILT SURVEY
28.95.92	RECORD INFORMATION FROM AS-BUILT SURVEY

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
R.J.C.	02/18	GM	COA HYDROLOGY COMMENTS	2017.014.4
S.C.C./J.Y.R.	08/19	G.M.	AS-BUILT AND CERTIFICATION	01-2018
G.M.				CG-101-A



TREASURY DIVISION DAILY DEPOSIT

Transmittals for:
PROJECTS Only

City of Albuquerque Treasury

J-24 Deposit

Date: 8/13/2019 Office: ANNEX
Station ID Cashier: TRSRMS
Batch: 10578 Trans: 20
Account: 461615 Activity ID7547210
Dept ID: Project ID24.ms4
Alloc Amt: \$5,848.00
Trans Amt: \$5,848.00
Bus.Unit: pcdmd

Check Tendered : \$5,848.00

Payment In-Lieu for Storm Water Quality Volume Requirement

CASH COUNT	AMOUNT	ACCOUNT NUMBER	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
TOTAL CHECKS	\$ 5848.00	461615	305	PCDMD	24_MS4	7547210	\$ 5848.00
TOTAL AMOUNT						TOTAL DEPOSIT	\$5848.00

Hydrology#: C20D062 Name: Mark 3S Holly, 33738sf imp
Payment In-Lieu For Storm Water Quality
Volume Requirement

Address/Legal Description: 9100 Holly Ave NE
TR A-1 VACATION REQUEST AND PLAT OF TRACTS A-1, C AND D, MARK3S HOLLY
DEVELOPMENT

DEPARTMENT NAME: Planning Department/Development Review Services, Hydrology

PREPARED BY Dana Peterson PHONE 924-3695

BUSINESS DATE 8/12/19

DUAL VERIFICATION OF DEPOSIT 
EMPLOYEE SIGNATURE

AND BY _____
EMPLOYEE SIGNATURE

REMITTER: _____

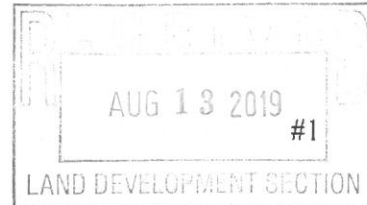
AMOUNT: _____

BANK: _____

CHECK #: _____ DATE ON CHECK: _____

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2nd St. NW. **Bring three copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2nd St. NW, or e-mail with the Hydrology submittal to PLNDRS@cabq.gov.

718783



**PRIVATE FACILITY
DRAINAGE COVENANT**

This Drainage Covenant ("Covenant"), between Mark 3S, Inc. ("Owner"), whose address is 6501 Wyoming Blvd NE, Unit G, Albuquerque, NM 87109, and whose telephone number is (505)271-1288 and the City of Albuquerque, New Mexico, a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. **Recital.** The Owner is the current owner of the following described real property located at [give legal description, and street address]
Tract A-1 Mark 3S Holly Development; 9360 Holly Ave Ne, Albuquerque, NM 87122

recorded on 12/18/2017, pages 146 through , as Document No. 201711919 in the records of the Bernalillo County Clerk, State of New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. **Description and Construction of Drainage Facility.** The Owner shall construct the following "Drainage Facility" within the Property at the at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City:
Water Quality Retention Ponds A-G

The Drainage Facility is more particularly described in **Exhibit A** attached hereto and made a part hereof.

3. **Maintenance of Drainage Facility.** The Owner shall maintain the Drainage Facility at Owner's sole cost in accordance with the approved Drainage Report and plans.

4. **Benefit to Property.** The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.

5. **Inspection of Drainage Facility.** The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

Doc# 2018025939

1 03/26/2018 03:07 PM Page 1 of 4
COV R:\$25.00 Linda Stover, Bernalillo County



6. Liability of City. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

OWNER:

By [signature]: *Amit Patel*
Name [print]: Amit Patel
Title: President
Dated: 3/9/18

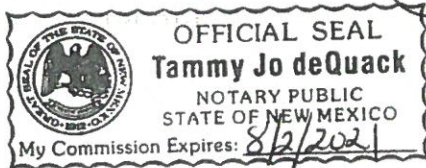
CITY OF ALBUQUERQUE:

By: *Shahab Biazar*
Shahab Biazar, P.E., City engineer
Dated: 3/20/18

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 9th day of March,
2018, by Amit Patel (name of person signing permit),
President (title of person signing permit) of
Mark 3S, Inc. (Owner).



Tammy Jo deQuack
Notary Public
My Commission Expires: 8/2/2021

CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 20th day of
March 2018, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque,
a municipal corporation, on behalf of said corporation.

Charlotte Rabache
Notary Public
My Commission Expires: March 15, 2021



(EXHIBIT A ATTACHED)

HOLLY AVE N.E.

POND A

POND D

POND E

POND F

POND G

PROPOSED
DAYCARE

POND B

POND C

EXHIBIT A (REF. C.O.A HYDROLOGY FILE C-20/D062)